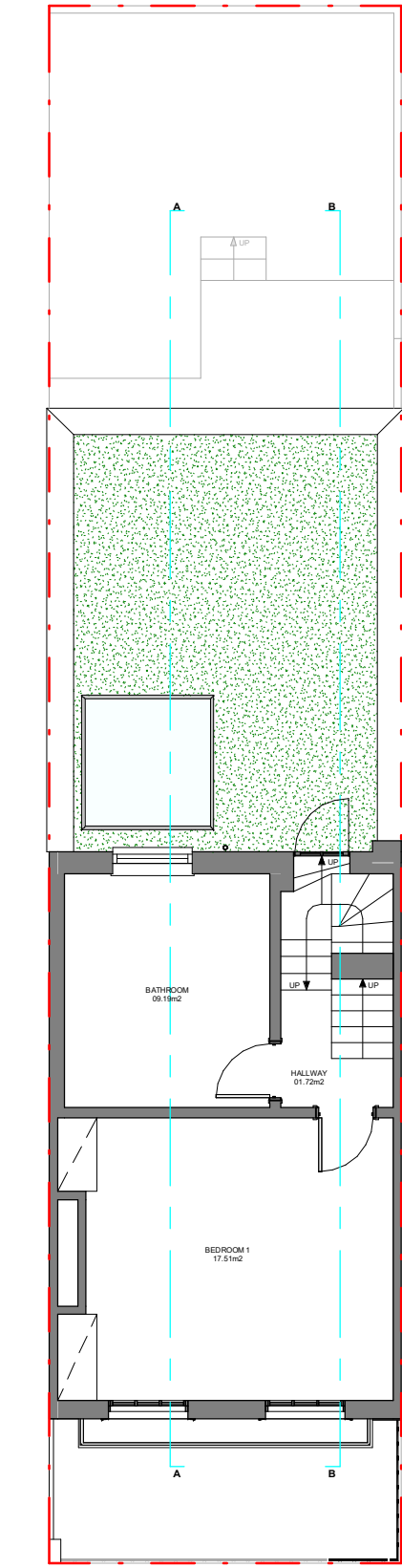
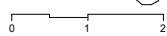
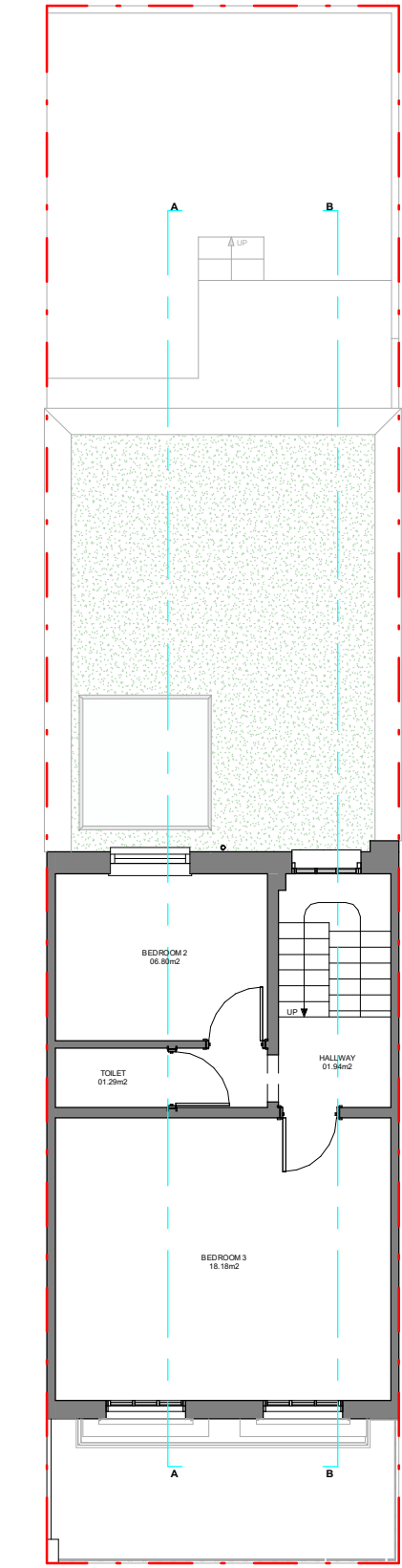
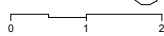


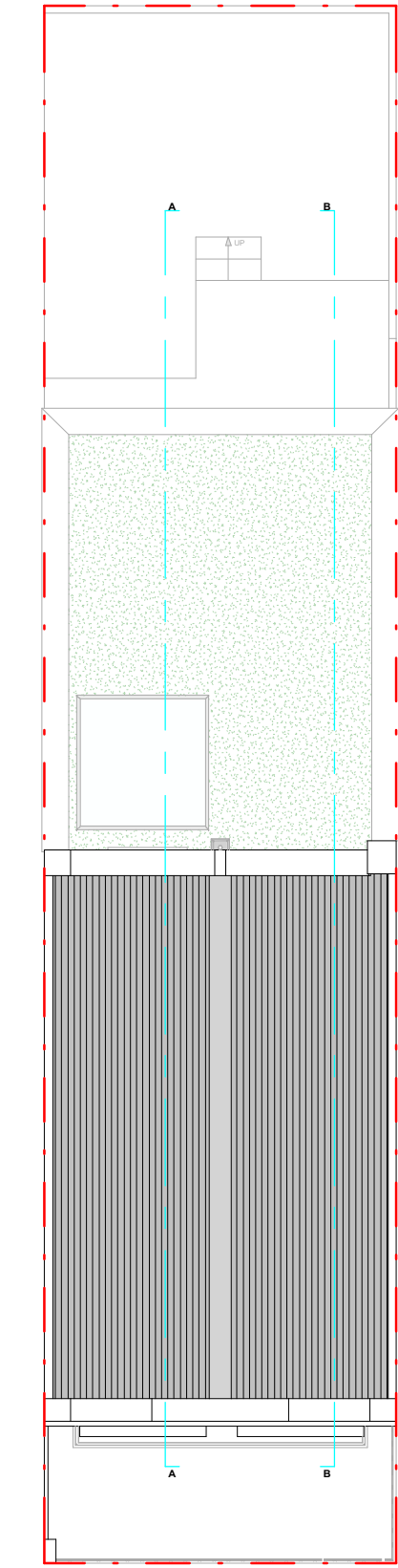
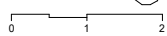
GROUND FLOOR PLAN  
SCALE 1:100@A3



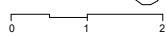
FIRST FLOOR PLAN  
SCALE 1:100@A3



SECOND FLOOR PLAN  
SCALE 1:100@A3



ROOF PLAN  
SCALE 1:100@A3



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## PLEASE NOTE

1. All dimensions to be verified on site.
2. All dimensions are in millimeters.
3. No work shall commence until all approvals and agreements have been obtained. These include, Planning, Building Regulations, Thames Water and party Wall.
4. The Copyright of this drawing belongs to Proficiency Design & Build.

CLIENT:

Brian & Jamie

PROJECT:

Ground Floor Rear Extension +  
First Floor Rear Extension

ADDRESS:

101 Castlehaven Road,  
London, NW1 8SJ

TITLE:

EXISTING  
PLANS

DATE:

28/02/2023

PROJECT NUM:

P-071

SCALE:

1/100 (@ A3)

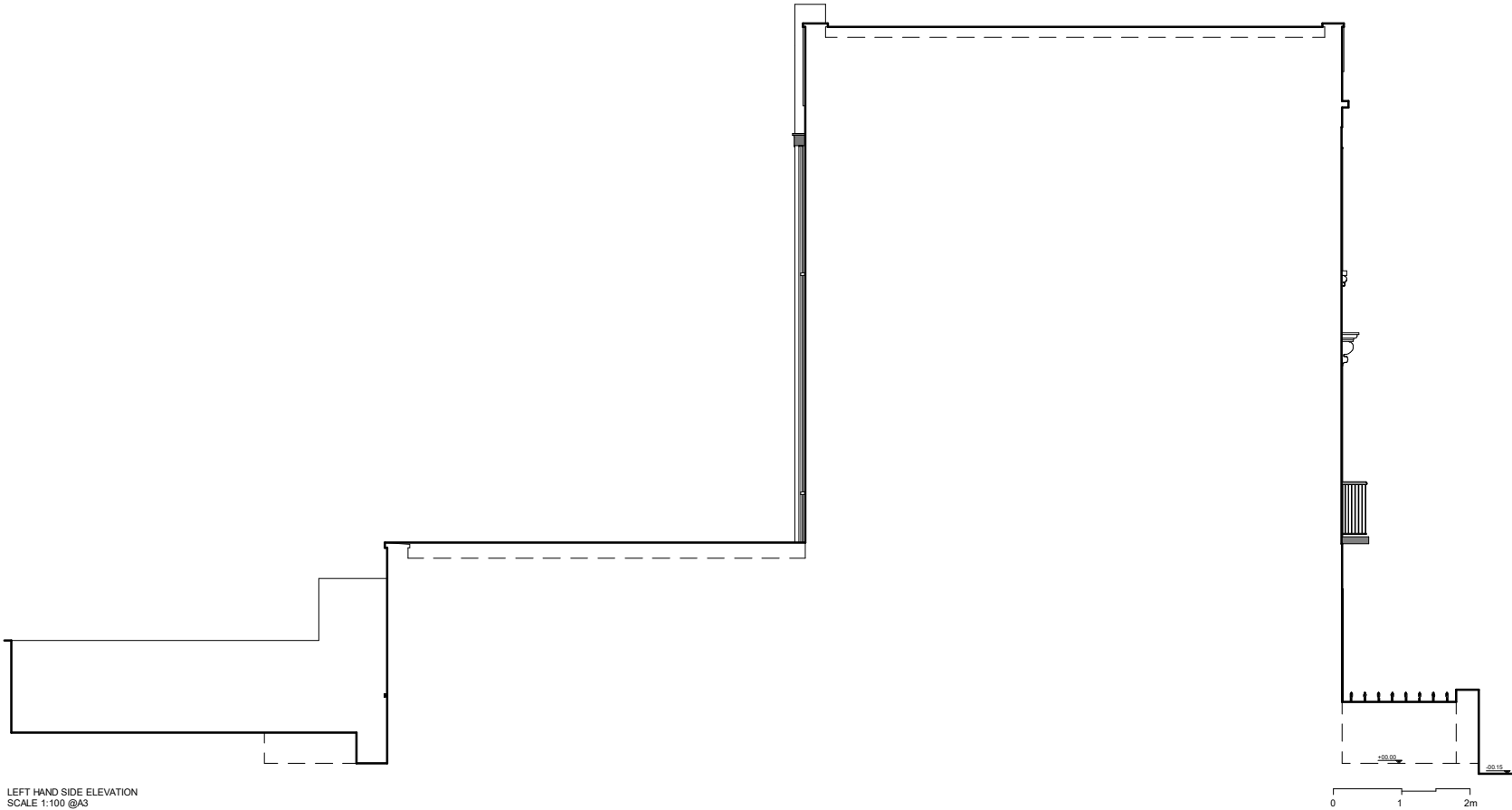
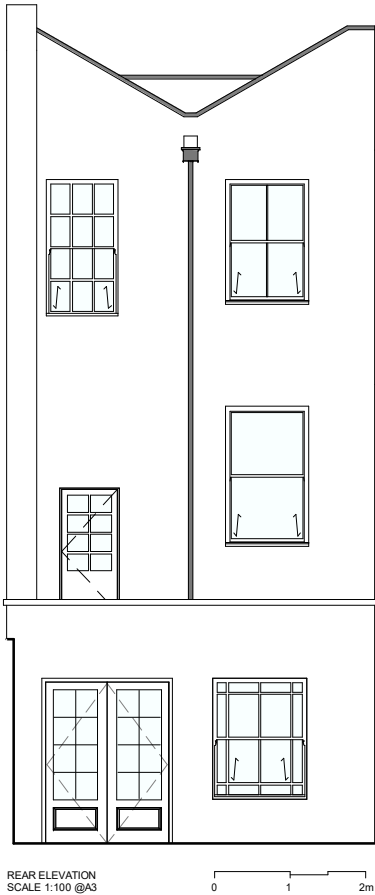
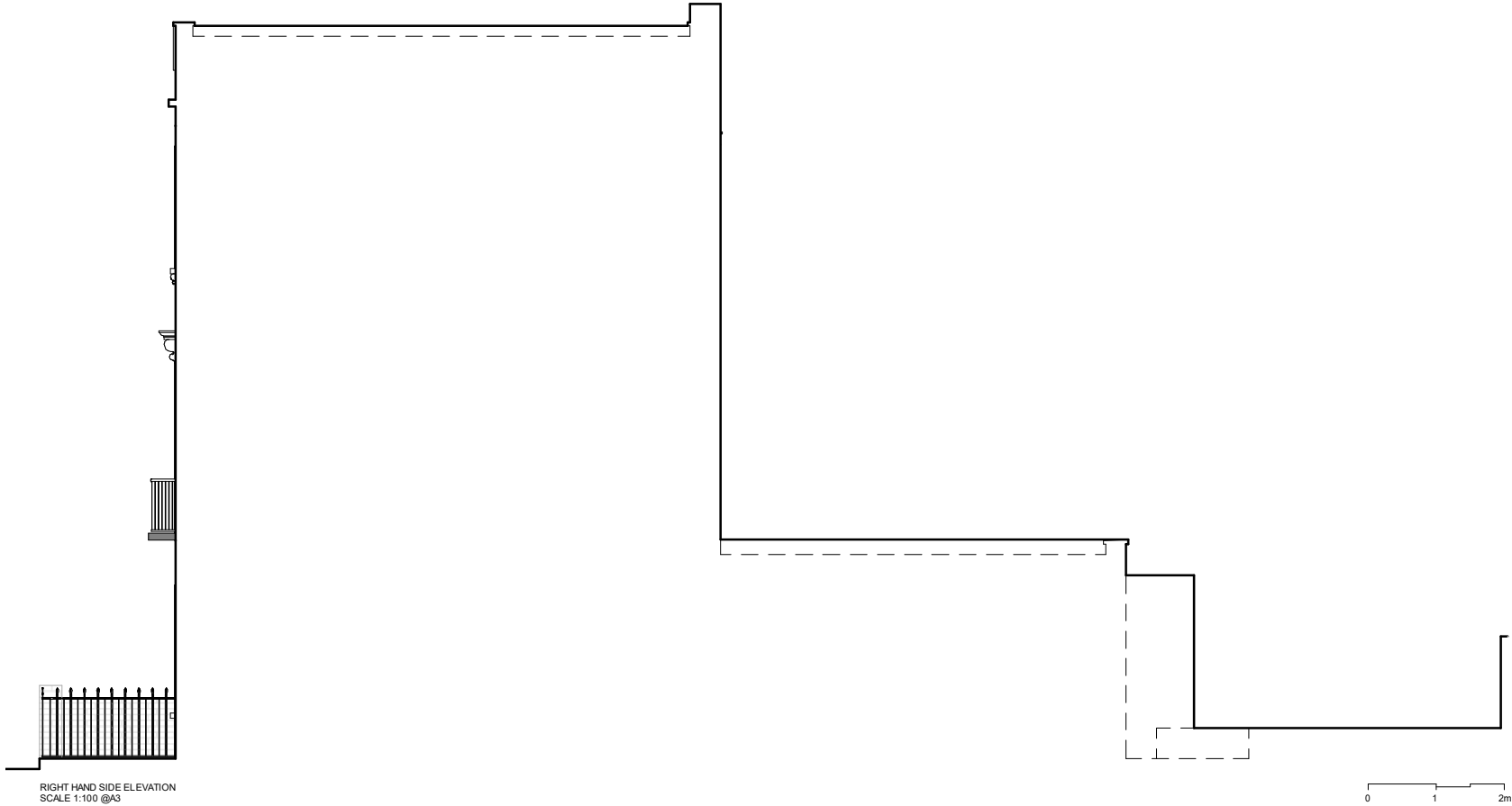
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EX-01

REV:

STATUS:

EXISTING ELEVATIONS

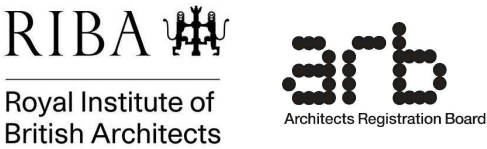


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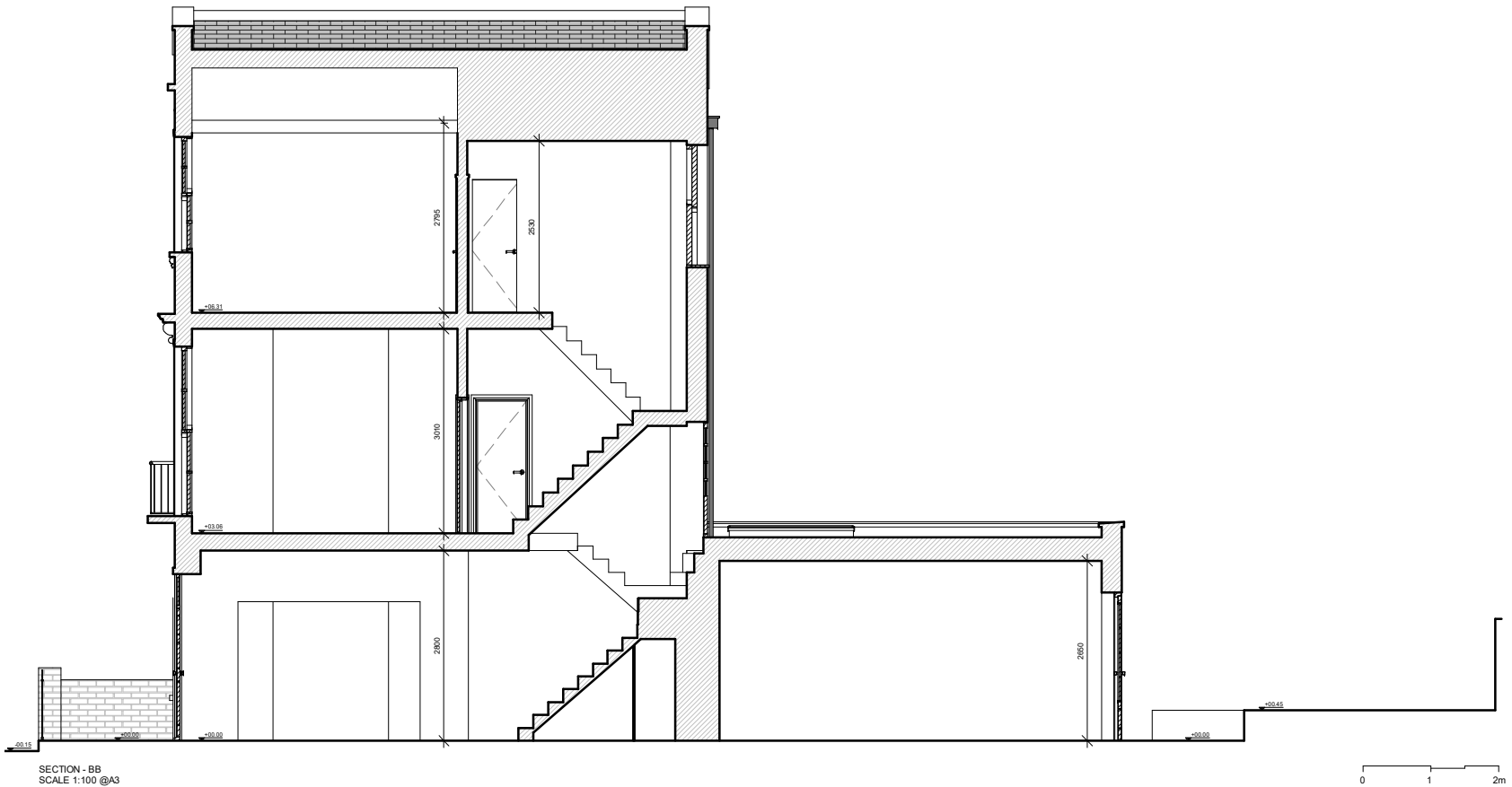
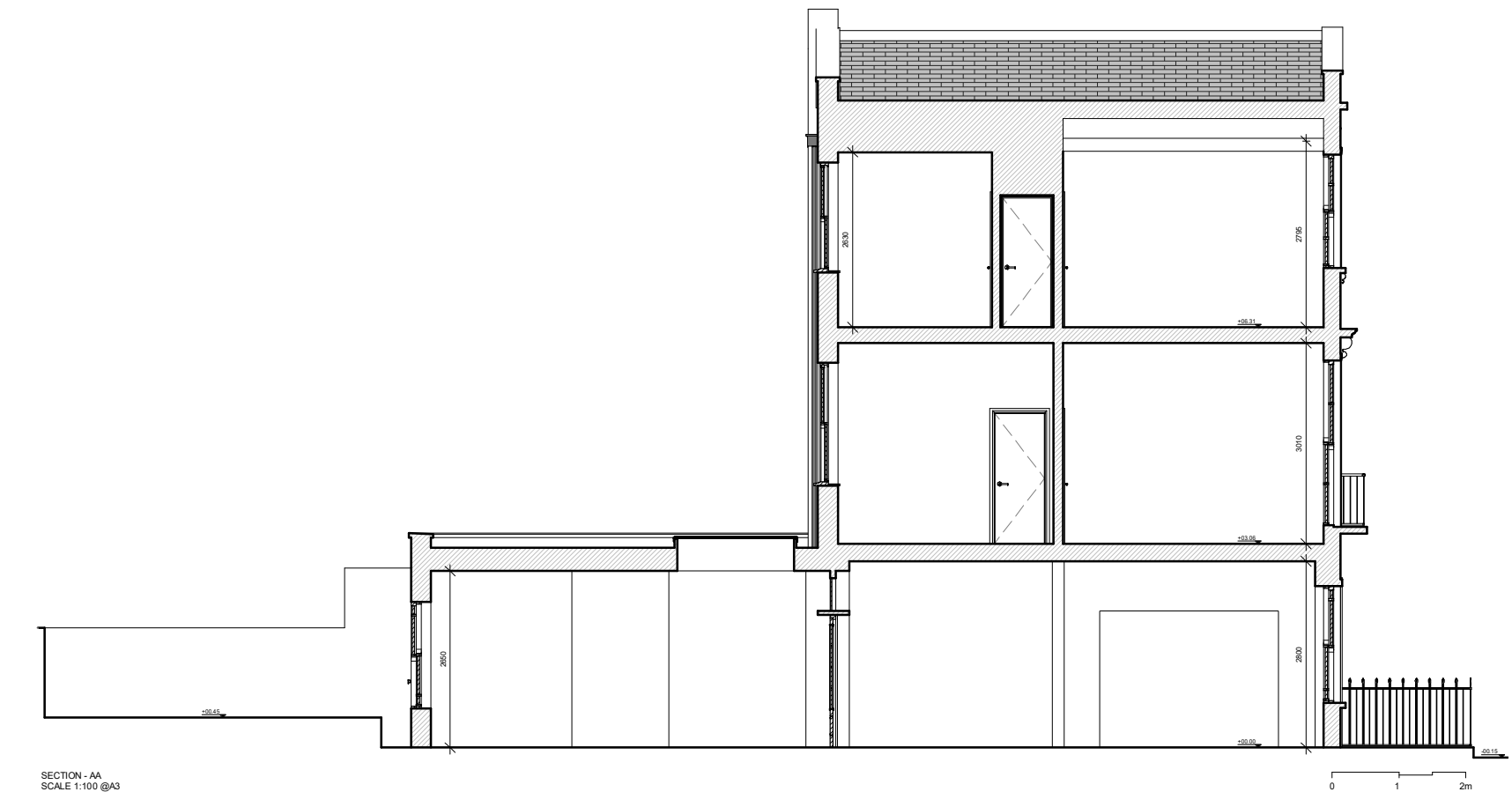
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CLIENT:		Brian & Jamie	
PROJECT:		Ground Floor Rear Extension + First Floor Rear Extension	
ADDRESS:		101 Castlehaven Road, London, NW1 8SJ	
TITLE:		EXISTING ELEVATIONS	
DATE: 28/02/2023		PROJECT NUM: P-071	
SCALE: 1/100 (@ A3)		DRAWING NUM: EX-02	
REV:	STATUS:		

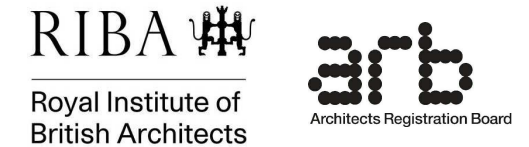


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  2. All dimensions are in milimeters.
  3. No work shall commence until all approvals and agreements have been obtained. These include, Planning, Building Regulations, Thames Water and party Wall.
  4. The Copyright of this drawing belongs to Proficiency Design & Build.

CLIENT:

**Brian & Jamie**

PROJECT:

**Ground Floor Rear Extension +  
First Floor Rear Extension**

ADDRESS:

**101 Castlehaven Road,  
London, NW1 8SJ**

TITLE:

**EXISTING  
SECTIONS: AA & BB**

DATE:	PROJECT NUM:
<b>28/02/2023</b>	<b>P-071</b>


SCALE:	DRAWING NUM:
<b>1/100 (@ A3)</b>	<b>EX-03</b>


REV:	STATUS:
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PLEASE NOTE

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2. All dimensions are in milimeters.  
3. No work shall commence until all approvals and agreements have been obtained.  
These include, Planning, Building Regulations, Thames Water and party Wall.  
4. The Copyright of this drawing belongs to Proficiency Design & Build.

CLIENT:

Brian & Jamie

PROJECT:

First Floor Rear extension  
+ Loft conversion  
with Mansard

ADDRESS:

101 Castlehaven Road,  
London, NW1 8SJ

TITLE:

SITE PHOTOGRAPHS

DATE:  
04/01/2023

PROJECT NUM:  
P-071

SCALE:

DRAWING NUM:  
EX-04

REV:

STATUS:



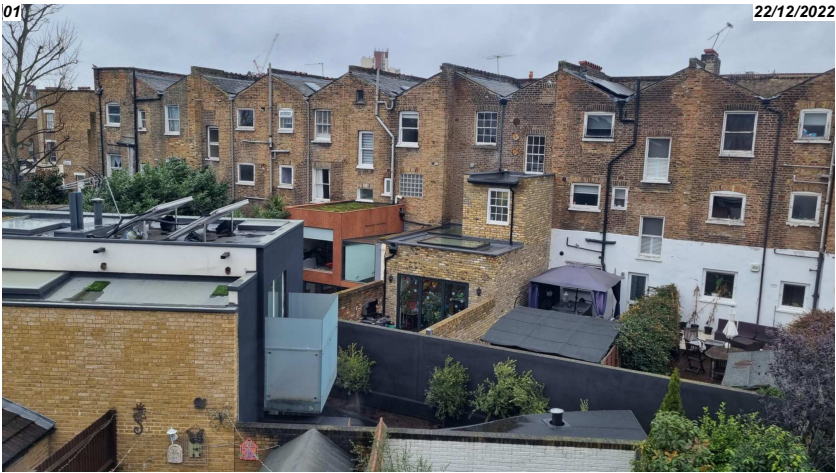
- No.101 Front Elevation Context.



- No.101 Rear Elevation LHS Context.



- No.101 Rear Elevation Context.



- No.101 Rear Context seen from 2nd floor.



- No.101 Rear Elevation RHS Context.