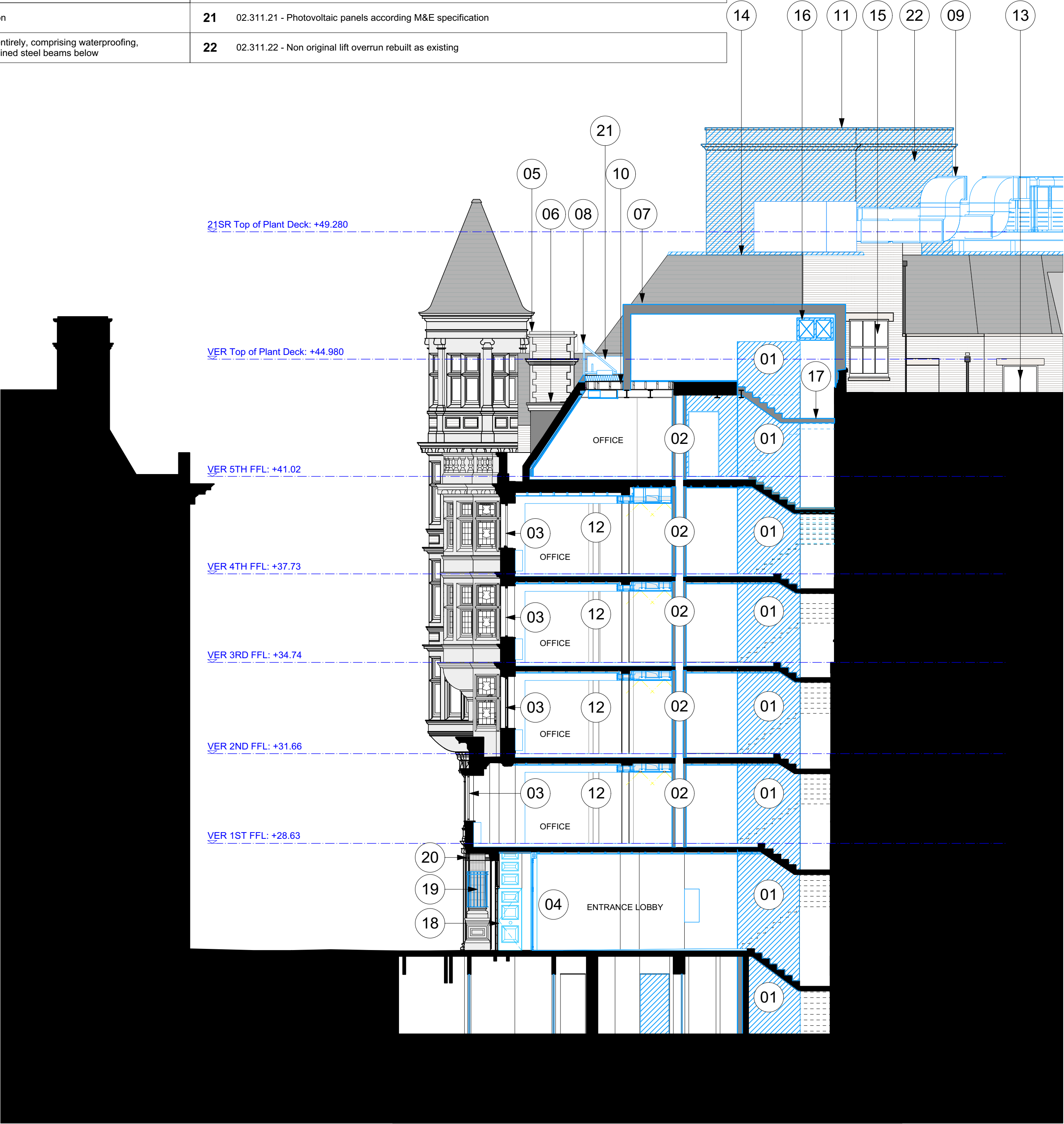
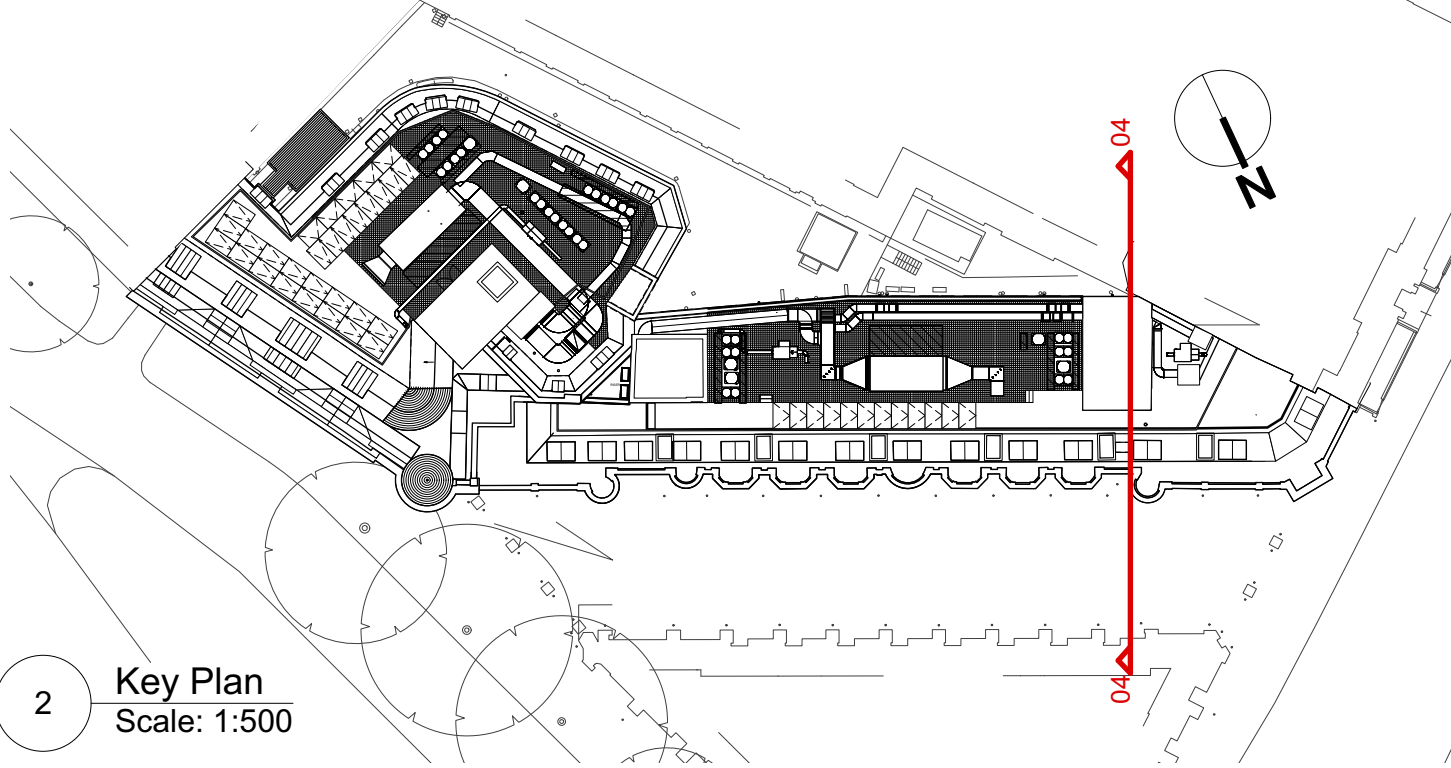


PLANNING

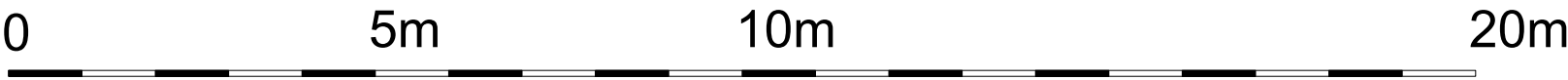
KEY

- Existing structure, walls & other building fabric to be retained, made good and redecorated, unless otherwise noted
- New structure & walls
- New building elements

Schedule of Works Key:		11	02.311.11 - New AOV to be installed at head of stairs
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 02, sheet 311		12	02.311.12 - New structural steel column to structural engineer specification, to be installed to replace existing removed spine wall, to be coated with intumescent paint finish
01	02.311.01 - Lift car and associated services to be removed entirely, shaft wall linings to be removed completely back to structure which is to be retained. (PLEASE NOTE ASBESTOS HAS BEEN IDENTIFIED IN LIFT SHAFT)	13	02.311.13 - Retained existing windows to rear elevation of 21 Southampton Row to be investigated, repaired and redecorated
02	02.311.02 - New internal partitions forming new electrical riser next to WC / escape lobby	14	02.311.14 - Existing flat roof to 21 Southampton Row to be refurbished with new insulation and waterproofing, applied to new plywood deck sitting on top of existing retained timber joists / steel beams below
03	02.311.03 - Existing windows to Sicilian Avenue to be retained and refurbished, with new secondary glazing to be installed	15	02.311.15 - Existing window to previously infilled stairwell to be retained in existing structural opening
04	02.311.04 - New external glazed door with access control	16	02.311.16 - New mechanical ductwork to be installed at roof level and enter side of new lift motor room
05	02.311.05 - Retained existing GRP chimneys to be painted to match existing brickwork better	17	02.311.17 - New maintenance access stair to roof level in extended lift overrun enclosure
06	02.311.06 - Existing dormers to be retained and repaired as required	18	02.311.18 - Retained existing doors to Vernon/Sicilian House to be redecorated and fixed back in open position
07	02.311.07 - New masonry lift motor room to be constructed to match existing finishes	19	02.311.19 - New illuminated feature metal cladding to Vernon / Sicilian entrance columns
08	02.311.08 - New key clamp handrail to perimeter of new plant deck	20	02.311.20 - New illuminated feature metal building signage to existing Vernon / Sicilian entrance canopies
09	02.311.09 - New mechanical rooftop plant to match engineer specification	21	02.311.21 - Photovoltaic panels according M&E specification
10	02.311.10 - Existing flat roof to Vernon + Sicilian House to be replaced entirely, comprising waterproofing, insulation, Plywood deck, new timber joists, sitting on top of existing retained steel beams below	22	02.311.22 - Non original lift overrun rebuilt as existing



1 Vernon & Sicilian House Proposed Section 04 Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.  
Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.  
This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.  
All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.  
Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date April 2022	Project Vernon House		Job Ref. 383
Scale 1:100 @A1	Drawn HT	Check AY	Title Ver/ Sic - Proposed Section 04
Status PLANNING	Client Ref EDR	Drwg. no. 383 (GA) 311	Rev. PL-2
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