

# PLANNING

## KEY

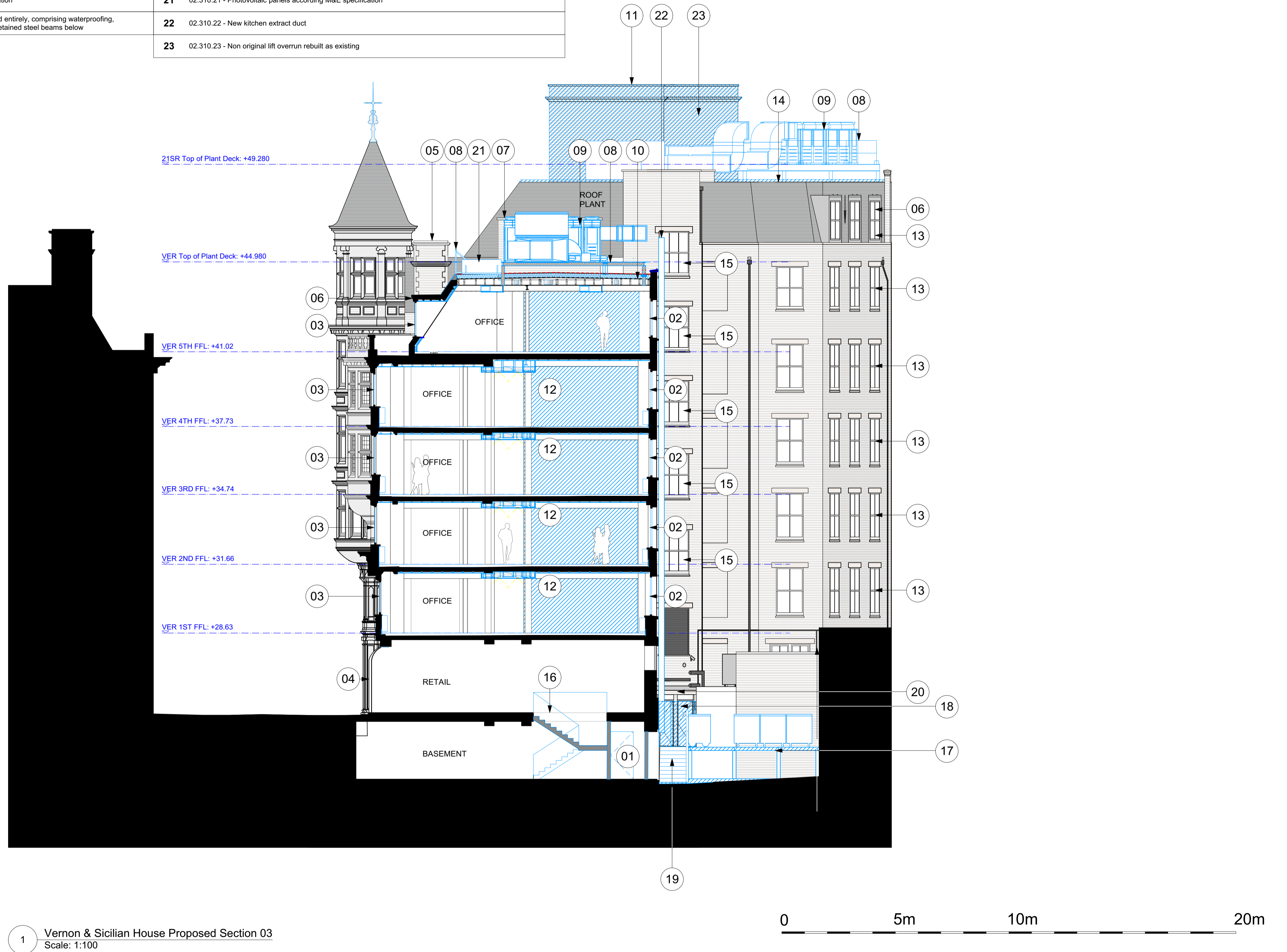
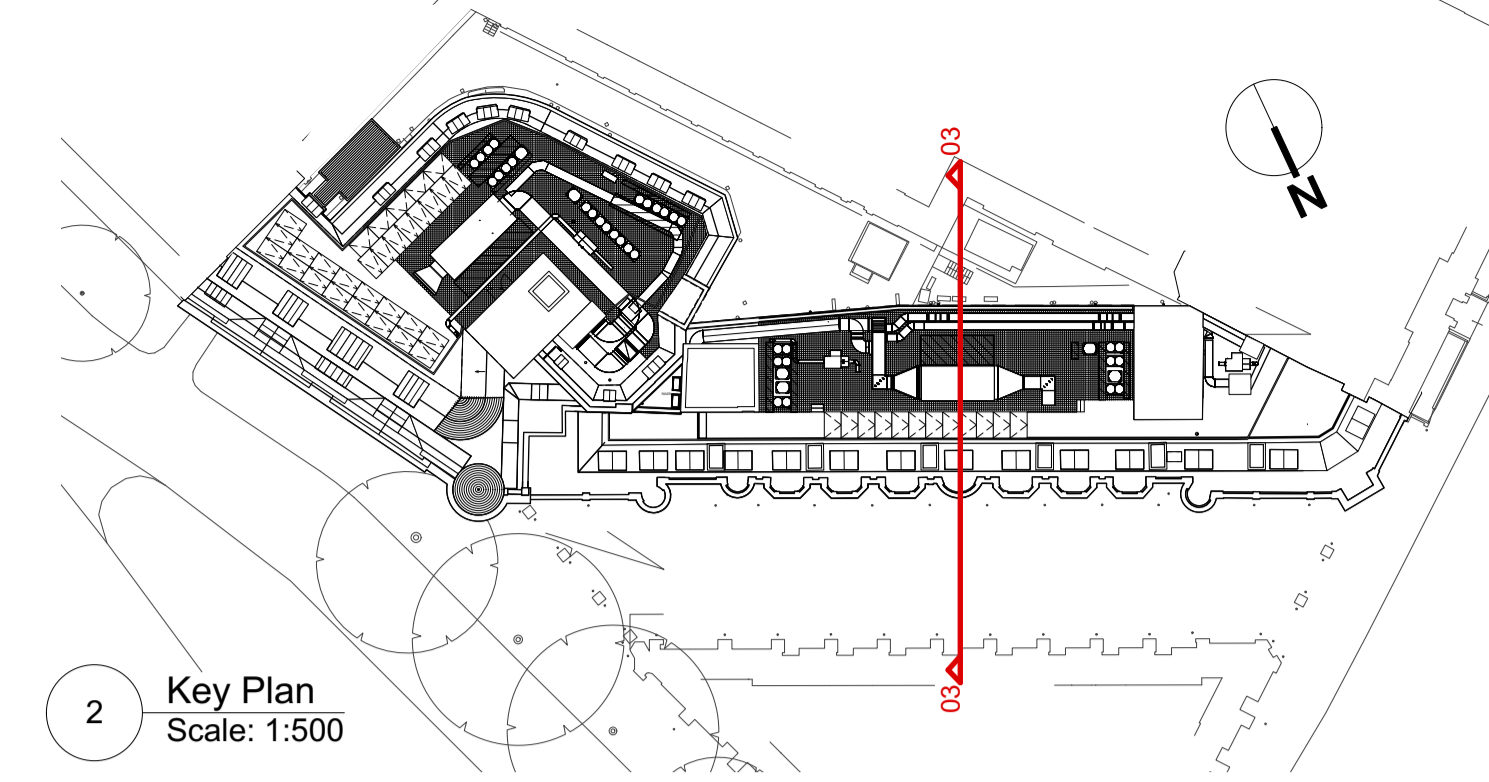
- Existing structure, walls & other building fabric to be retained, made good and redecorated, unless otherwise noted
- New structure & walls
- New building elements

**Schedule of Works Key:**

**to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 02, sheet 310**

<b>01</b>	02.310.01 - Create new escape route from basement of retail units 02 & 03
<b>02</b>	02.310.02 - Existing windows to rear elevation of Vernon / Sicilian House to be retained; strip out existing painting and get ready for redecoration
<b>03</b>	02.310.03 - Existing windows to Sicilian Avenue to be retained and refurbished, with new secondary glazing to be installed
<b>04</b>	02.310.04 - Retained existing shop front glazing and doors to be redecorated
<b>05</b>	02.310.05 - Retained existing GRP chimneys to be painted to match existing brickwork better
<b>06</b>	02.310.06 - Existing dormers to be retained and repaired as required
<b>07</b>	02.310.07 - New lift car to be installed within existing lift shaft and existing lift motor room volume
<b>08</b>	02.310.08 - New key clamp handrail to perimeter of new plant deck
<b>09</b>	02.310.09 - New mechanical rooftop plant to match engineer specification
<b>10</b>	02.310.10 - Existing flat roof to Vernon + Sicilian House to be replaced entirely, comprising waterproofing, insulation, Plywood deck, new timber joists, sitting on top of existing retained steel beams below

<b>11</b>	02.310.11 - New AOV to be installed at head of stairs
<b>12</b>	02.310.12 - New internal partitions forming new WC core
<b>13</b>	02.310.13 - Retained existing windows to rear elevation of 21 Southampton Row to be investigated, repaired and redecorated
<b>14</b>	02.310.14 - Existing flat roof to 21 Southampton Row to be refurbished with new insulation and waterproofing, applied to new plywood deck sitting on top of existing retained timber joists / steel beams below
<b>15</b>	02.310.15 - Existing window to previously infilled stairwell to be retained in existing structural opening
<b>16</b>	02.310.16 - New metal staircase to serve enlarged retail unit
<b>17</b>	02.310.17 - New raised metal deck forming new bin store
<b>18</b>	02.310.18 - New metal louvred screen + access gates to conceal existing retained sub station
<b>19</b>	02.310.19 - New enlarged metal stair with new metal handrail
<b>20</b>	02.310.20 - New single storey extension. New external walls and roof. New canopy and glazed double doorset with access control.
<b>21</b>	02.310.21 - Photovoltaic panels according M&E specification
<b>22</b>	02.310.22 - New kitchen extract duct
<b>23</b>	02.310.23 - Non original lift overrun rebuilt as existing



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.  
 Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.  
 This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.  
 All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.  
 Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date	April 2022	Project	Vernon House	Job Ref.	383
Scale	1:100 @A1	Drawn	KP	Check	DT
Status	PLANNING	Client Ref	383 (GA) 310	Drwg. no.	383 (GA) 310
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