

# PLANNING

## KEY

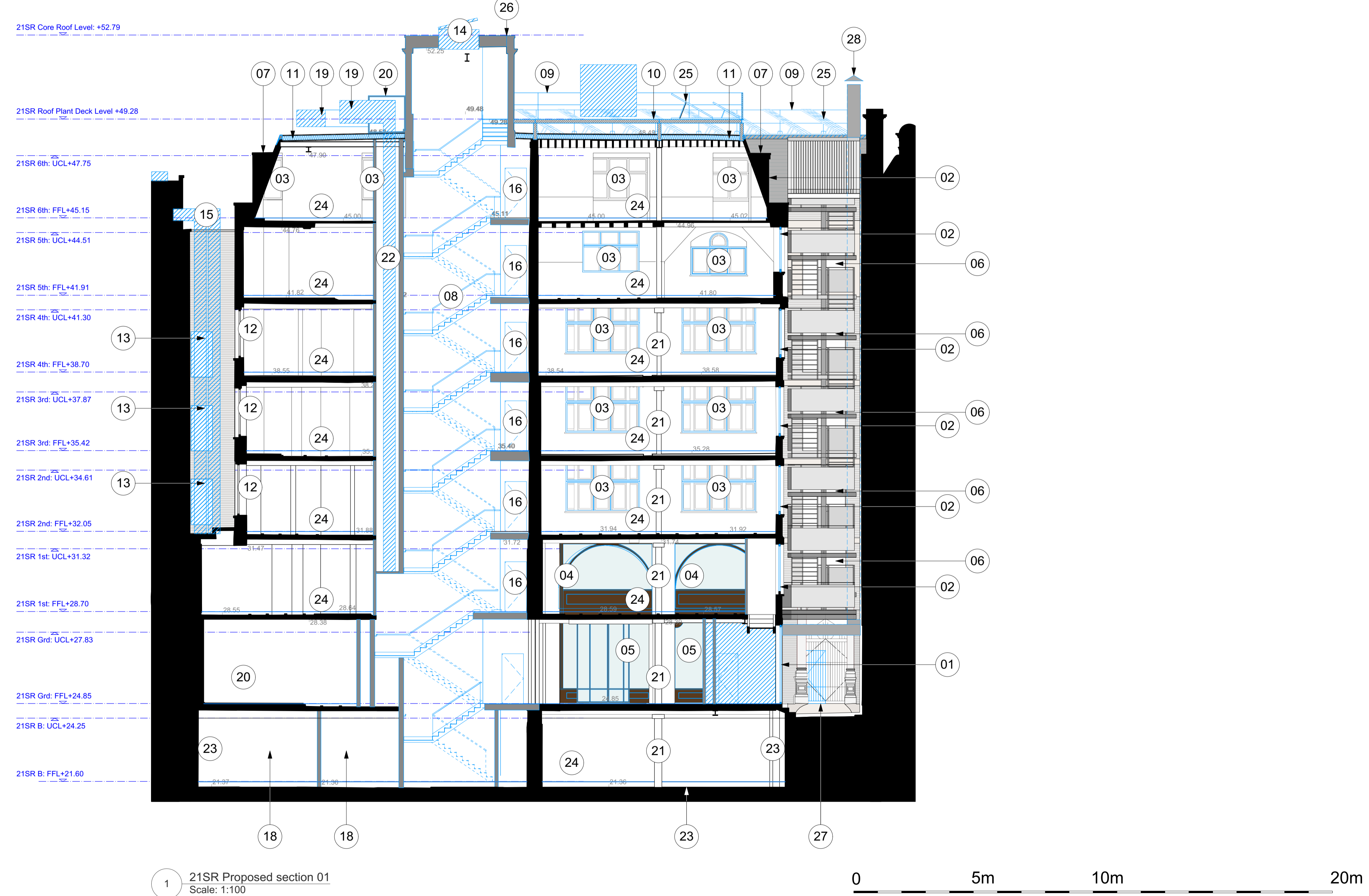
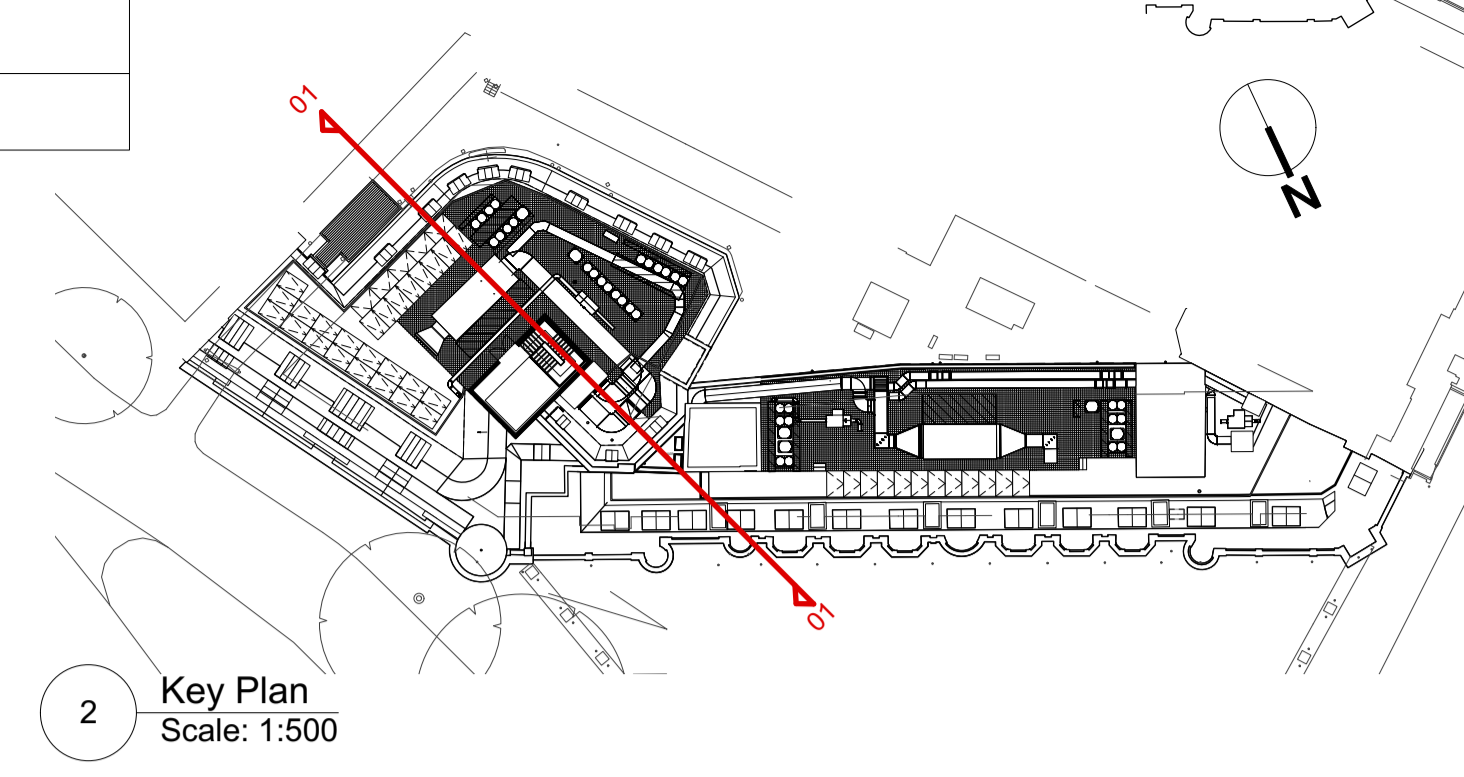
- Existing structure, walls & other building fabric to be retained, made good and redecorated, unless otherwise noted
- New structure & walls
- New building elements

**Schedule of Works Key:**  
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 02, sheet 300

01	02.300.01 - New windows and door of 21 Southampton Row's fire escape stairs to service corridor elevation, structural openings to be enlarged down to slab level
02	02.300.02 - New fire rated door and windows to match existing
03	02.300.03 - Retained existing windows to Southampton Row to be investigated, repaired and redecorated with new secondary glazing to be installed
04	02.300.04 - New shopfront glazing to match existing with new stall risers introduced at first floor
05	02.300.05 - New shopfront glazing to match existing with new stall risers introduced at ground floor
06	02.300.06 - New fire escape door and window
07	02.300.07 - Existing dormer roofs and windows to be repaired and refurbished as required
08	02.300.08 - New metal central circulation stair to be installed in enlarged core void
09	02.300.09 - Key clamp handrail guarding, reuse of existing or match existing
10	02.300.10 - New plant roof deck at 7th floor level comprising composite timber decking on raised steel frame structure to structural engineer specification
11	02.300.11 - Flat roof covering to 21 Southampton Row to be replaced with new waterproofing, and new insulation on top of existing plywood deck sitting on top of existing retained timber joists / steel beams below
12	02.300.12 - Existing windows to 21 Southampton Row lightwell to be retained, existing paintwork to be stripped back ready for redecoration, with new secondary glazing to be installed

13	02.300.13 - Existing windows to Sicilian House lightwell to be removed and blocked up
14	02.300.14 - New AOV to be installed to the head of the extended staircase to improve the existing fire strategy
15	02.300.15 - New mechanical fresh air ductwork to drop down into the lightwell to serve Sicilian House through new structural openings
16	02.300.16 - New fire rated partition to form new stair lobby
17	02.300.17 - New structural slab to stair core to Structural Engineer specification
18	02.300.18 - New internal plant room
19	02.300.19 - New external plant installed at 7th floor level comprising metal grate flooring on raised steel frame structure to structural engineer specification
20	02.300.20 - New brick roof-top riser cowl to be constructed at head of new riser
21	02.300.21 - Existing feature round steel columns to be retained and protected with fire rated intumescent coatings
22	02.300.22 - Enlarged service riser to rear of core
23	02.300.23 - New waterproof tanking to basement perimeter walls + slab
24	02.300.24 - New raised access floors throughout
25	02.300.25 - Photovoltaic panels according M&E specification
26	02.300.26 - Non original lift overrun rebuilt as existing

27	02.300.27 - Allow for existing gates to be carefully removed and retained for re-installation to suit new arrangement with addition of pass gate.
28	02.300.28 - New Cycle Store FCU intake mechanical duct



1 21SR Proposed section 01 Scale: 1:100

All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.  
 Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.  
 This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.  
 All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.  
 Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date	Jan 2021	Project	Vernon House	Job Ref.	383
Scale	1:100 @A1	Drawn	KP	Check	DT
Status	PLANNING	Client Ref	383 (GA) 300	Drwg. no.	383 (GA) 300
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