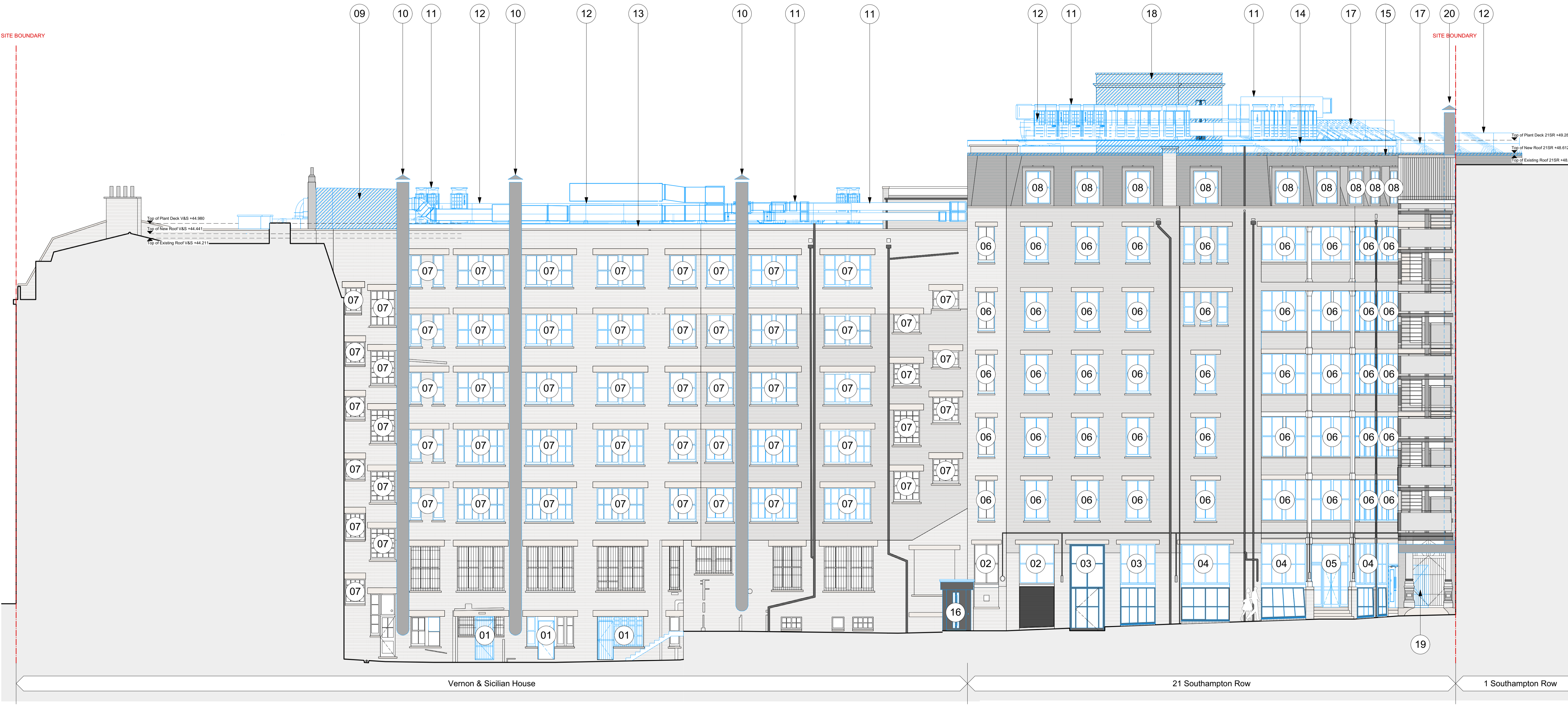
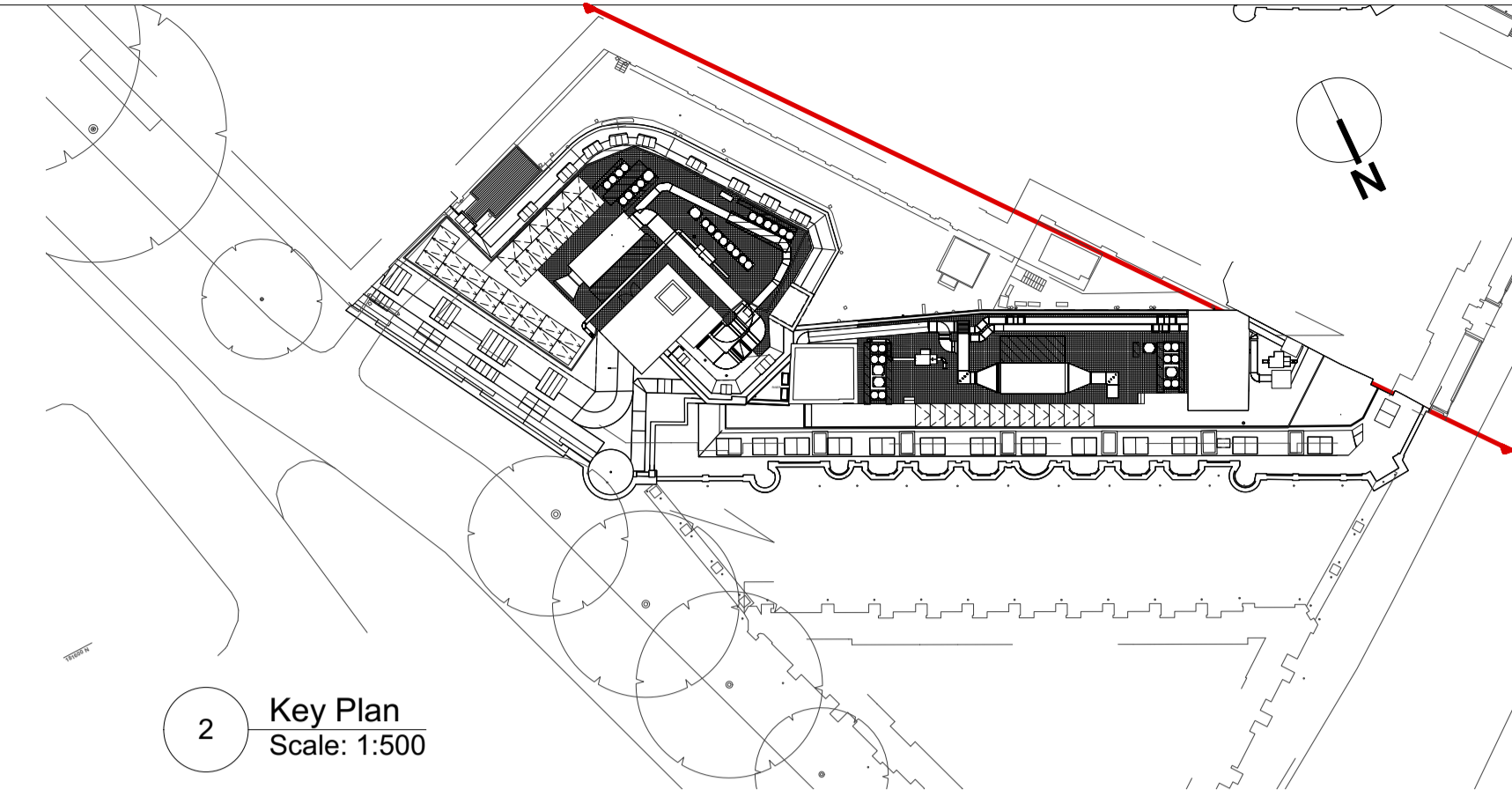
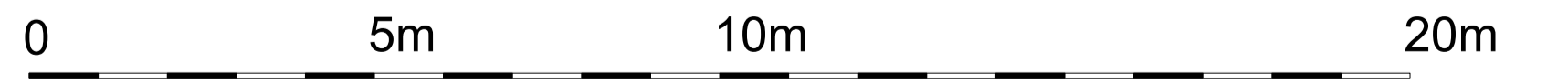


Schedule of Works Key:	
<b>to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 02, page 262</b>	
01	02.262.01 - New doors and windows to service yard of Vernon & Sicilian House LG retail units to match existing
02	02.262.02 - Existing windows to rear elevation of 21 Southampton Row to be replaced with new double glazed aluminum frame windows to match proposed new full height doors and windows
03	02.262.03 - New Aluminum Door and window of 21 Southampton Row full height to new slab for Cycle entrance that matches with the rest of proposed new windows and doors to service yard elevation
04	02.262.04 - New windows of 21 Southampton Row to service yard elevation, structural openings to be retained, aluminum frame to match the rest of the new proposed windows
05	02.262.05 - New windows and door of 21 Southampton Row to service yard elevation, structural openings to be enlarged down to slab level, aluminum frame to match the rest of the new proposed windows
06	02.262.06 - Retained existing windows to rear elevation of 21 Southampton Row to be investigated, repaired and redecorated
07	02.262.07 - Retained existing windows to rear elevation of Vernon + Sicilian House to be investigated, repaired and redecorated
08	02.262.08 - Existing dormer roofs and windows to be repaired and refurbished as required
09	02.262.09 - New lift / stair core extension to Vernon House Core
10	02.262.10 - New mechanical kitchen extract duct to be installed up to roof level to serve ground and lower ground floor retail units
11	02.262.11 - New exposed services/equipment according M&E specification
12	02.262.12 - Key clamp handrail guarding, reuse of existing or match existing
13	02.262.13 - New plant roof deck at 6th floor level between stair cores comprising metal grating on raised steel frame structure to structural engineer specification
14	02.262.14 - New plant roof deck at 7th floor level comprising composite timber decking on raised steel frame structure to structural engineer specification
15	02.262.15 - Flat roof covering to 21 Southampton Row to be replaced with new waterproofing, and new insulation on top of existing plywood deck sitting on top of existing retained timber joists / steel beams below
16	02.262.16 - New single storey extension. New external walls and roof. New canopy and glazed double doorset with access control
17	02.262.17 - Photovoltaic panels according M&E specification
18	02.262.18 - Non original lift overrun rebuilt as existing
19	02.262.19 - Allow for existing gates to be carefully removed and retained for re-installation to suit new arrangement with addition of pass gate.
20	02.262.20 - New Cycle Store FCU intake mechanical duct



1 Vernon & Sicilian House Proposed South West Context Elevation  
Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.  
Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.  
This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultant's information.  
All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.  
Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date	Jan 2021	Project	Vernon, Sicilian Hse/21 Southampton Row	Job Ref.	383
Scale	1:100	Drawn	KP	Check	DT
Status	PLANNING	Client Ref	EDR	Drwg. no.	383 (GA) 262
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