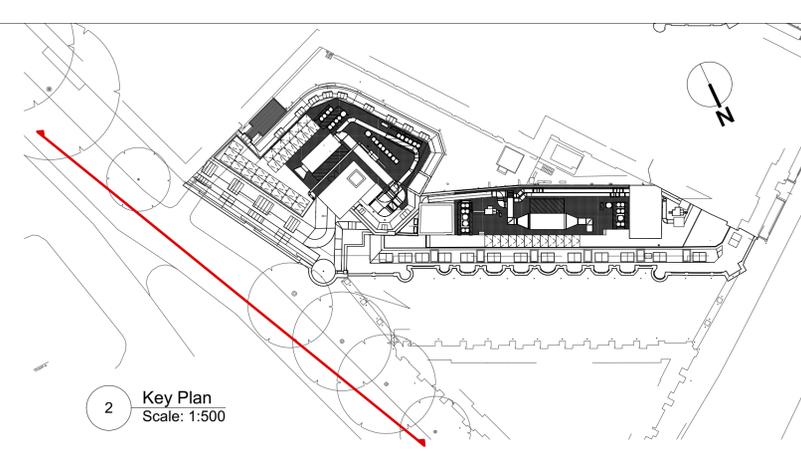
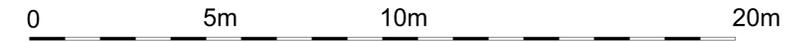


Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 02, sheet 210	
01	02.210.01 - New shopfront glazing to match existing with new stall risers introduced at ground floor
02	02.210.02 - New shopfront glazing with stall riser to replace existing door within curved shopfront glazing
03	02.210.03 - New painted finish to be applied to existing curved shopfront glazing
04	02.210.04 - New shopfront glazing to match existing with new stall risers introduced at first floor
05	02.210.05 - New painted finish to be applied to existing curved shopfront glazing to first floor
06	02.210.06 - Flat roof covering to 21 Southampton Row to be replaced with new waterproofing, and new insulation on top of existing plywood deck sitting on top of existing retained timber joists / steel beams below
07	02.210.07 - New plant roof deck at 7th floor level comprising metal grating on raised steel frame structure to structural engineer specification
08	02.210.08 - Key clamp handrail guarding, reuse of existing or match existing
09	02.210.09 - New exposed services/equipment according M&E specification
10	02.210.10 - Original finial detail to be reinstated to 21 Southampton Row turret
11	02.210.11 - Existing flat roof to Vernon & Sicilian House to be replaced entirely, comprising liquid applied waterproofing, insulation, plywood deck, new timber joists, sitting on top of existing retained steels beams below
12	02.210.12 - New plant roof deck at 6th floor level between stair cores comprising metal grating on raised steel frame structure to structural engineer specification
13	02.210.13 - Retained existing windows to Southampton Row to be investigated, repaired and redecorated with new secondary glazing to be installed
14	02.210.14 - Existing dormers and retained windows to be investigated, repaired and redecorated
15	02.210.15 - New set back curved sliding doors to 21 Southampton Row main entrance, with PPC aluminium finish
16	02.210.16 - New projecting canopy to 21 Southampton Row main entrance
17	02.210.17 - Existing external gates to be retained and set back further into recess to allow for new dry riser installation. Gates to include new pass gate linked to access control system.
18	02.210.18 - Photovoltaic panels according M&E specification
19	02.210.19 - Non original lift overrun rebuilt as existing



1 21SR Proposed East Context Elevation
Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
 Sizes and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.
 This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultant's information.
 All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.
 Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date	Jan 2021	Project	Vernon, Sicilian Hse/21 Southampton Row	Job Ref.	383
Scale	1:100 @A1	Drawn	KP	Check	DT
Status	PLANNING	Client Ref	EDR	Drwg. no.	383 (GA) 210
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