




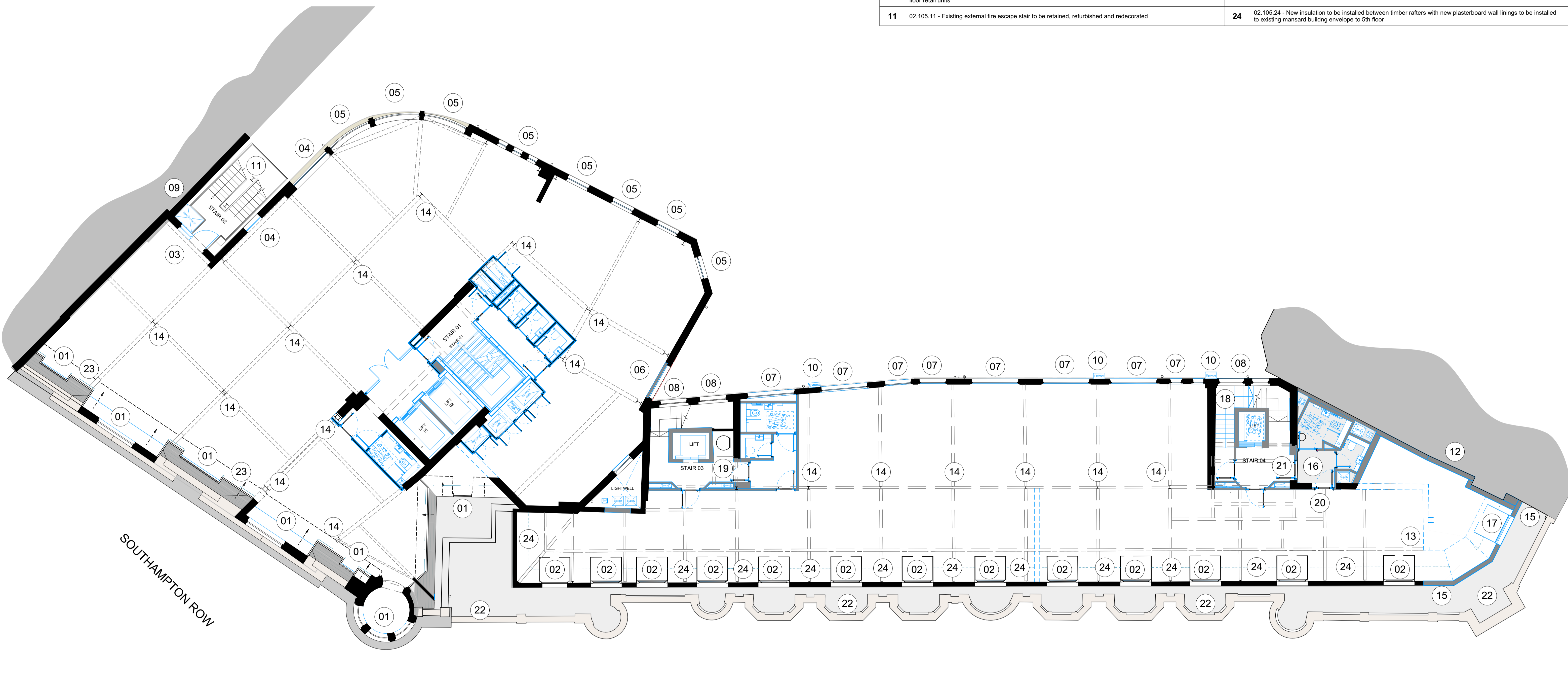


PLANNING

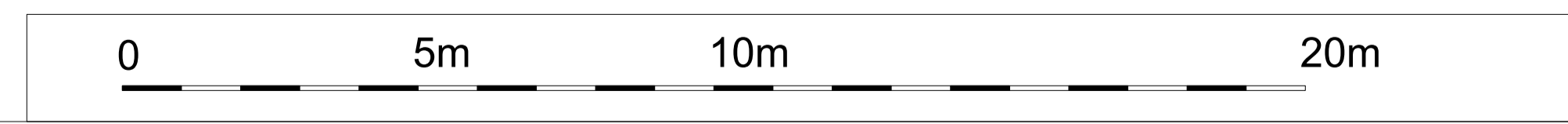
KEY

	Existing structure, walls & other building fabric to be retained, made good and redecorated, unless otherwise noted
	New structure & walls
	New building elements
	New beams or downstand beams
	Existing beams or downstand beams

Schedule of Works Key:		12	02.105.12 - New wall lining to existing party wall
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 02, page 105			
01	02.105.01 - Existing windows to Southampton Row to be retained and refurbished, with new secondary glazing to be installed	13	02.105.13 - New structural steel column to structural engineer specification, to be installed to replace existing removed spine wall, to be coated with intumescent paint finish
02	02.105.02 - Existing windows to Sicilian Avenue to be retained and refurbished, with new secondary glazing to be installed	14	02.105.14 - Existing structural steel column to be retained and coated with intumescent paint finish
03	02.105.03 - Existing non original fire escape door and window to be replaced	15	02.105.15 - 5th floor mansard extended towards Bloomsbury Square to rationalise the existing roofline, new mansard roof finishes to match existing slate finish
04	02.105.04 - Existing window opening to existing fire escape to be replaced with new fire-rated window	16	02.105.16 - New infill structural slab to original lightwell to structural engineer specification
05	02.105.05 - Existing windows to rear elevation of 21 Southampton Row to be retained and repaired	17	02.105.17 - New double glazed timber casement doors in new dormer formed to match existing
06	02.105.06 - Existing window to be retained and repaired and blocked up internally with fire rated plasterboard lining	18	02.105.18 - New maintenance access stair to roof level in extended lift overrun enclosure
07	02.105.07 - Existing windows to rear elevation of Vernon + Sicilian House to be retained and repaired	19	02.105.19 - Existing cat ladder access to roof retained
08	02.105.08 - Existing windows to rear elevation of Vernon/Sicilian House cores to be retained and repaired	20	02.105.20 - New WC lobby door in enlarged structural opening
09	02.105.09 - New mechanical fresh air supply duct to be installed up to roof level to serve ground and lower ground floor accommodation	21	02.105.21 - New lobby door in existing structural opening
10	02.105.10 - New mechanical kitchen extract duct to be installed up to roof level to serve ground and lower ground floor retail units	22	02.105.22 - Existing roofing membrane to be removed and replaced with a new liquid applied waterproofing membrane
11	02.105.11 - Existing external fire escape stair to be retained, refurbished and redecorated	23	02.105.23 - New plasterboard wall linings to be installed to existing mansard building envelope to 5th floor
		24	02.105.24 - New insulation to be installed between timber rafters with new plasterboard wall linings to be installed to existing mansard building envelope to 5th floor



1 Proposed Fifth Floor Plan
Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
 Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.
 This drawing is to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.
 All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.
 Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date April 2022	Project Vernon, Sicilian Hse/21 Southampton Row	Job Ref. 383
Scale 1:100 @A1	Drawn HT	Check AY
Status PLANNING	Client Ref EDR	Drwg. no. 383 (GA) 105
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