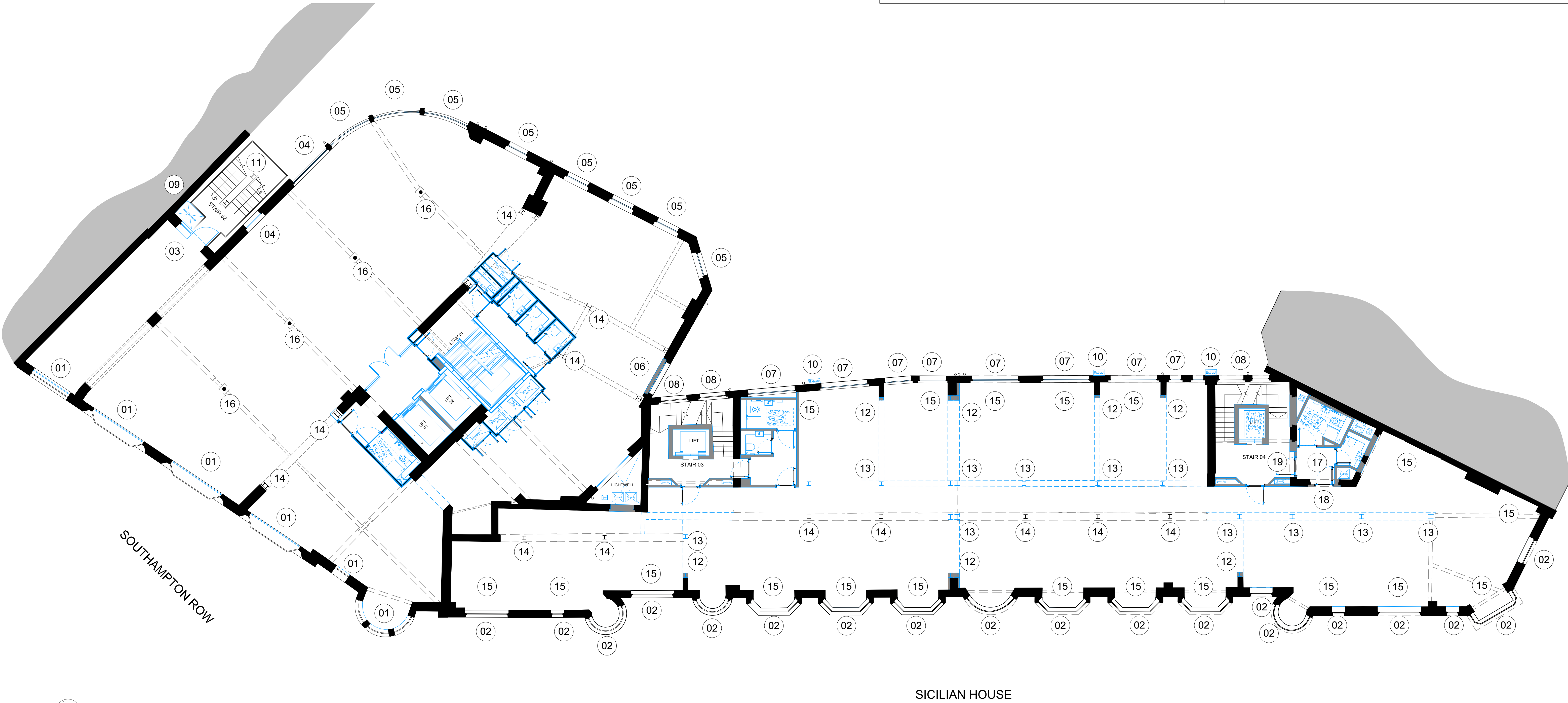


# PLANNING

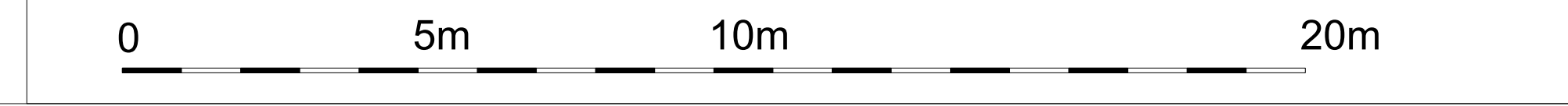
## KEY

- Existing structure, walls & other building fabric to be retained, made good and redecorated, unless otherwise noted
- New structure & walls
- New building elements
- New beams or downstand beams
- Existing beams or downstand beams

Schedule of Works Key:	
<b>to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 02, sheet 103</b>	
<b>01</b>	02.103.01 - Existing windows to Southampton Row to be retained and refurbished, with new secondary glazing to be installed
<b>02</b>	02.103.02 - Existing windows to Sicilian Avenue to be retained and refurbished, with new secondary glazing to be installed
<b>03</b>	02.103.03 - Existing non original fire escape door and window to be replaced
<b>04</b>	02.103.04 - Existing window opening to existing fire escape to be replaced with new fire-rated window
<b>05</b>	02.103.05 - Existing windows to rear elevation of 21 Southampton Row to be retained and repaired
<b>06</b>	02.103.06 - Existing window to be retained and repaired and blocked up internally with fire rated plasterboard lining
<b>07</b>	2.103.07 - Existing windows to rear elevation of Vernon + Sicilian House to be retained and repaired
<b>08</b>	02.103.08 - Existing windows to rear elevation of Vernon/Sicilian House cores to be retained and repaired
<b>09</b>	02.103.09 - New mechanical fresh air supply duct to be installed up to roof level to serve ground and lower ground floor accommodation
<b>10</b>	02.103.10 - New mechanical kitchen extract duct to be installed up to roof level to serve ground and lower ground floor retail units
<b>11</b>	02.103.11 - Existing external fire escape stair to be retained, refurbished and redecorated
<b>12</b>	02.103.12 - New structural steel post and beam to structural engineer specification, to be installed to replace existing removed spine wall, to be encased in fire rated plasterboard lining
<b>13</b>	02.103.13 - New structural steel column to structural engineer specification, to be installed to replace existing removed spine wall, to be coated with intumescent paint finish
<b>14</b>	02.103.14 - Existing structural steel column to be retained and coated with intumescent paint finish
<b>15</b>	02.103.15 - New wall mounted fan coil unit to be installed below existing windows to Vernon + Sicilian House
<b>16</b>	02.103.16 - Existing feature round columns to be retained and protected with fire rated intumescent coatings
<b>17</b>	02.104.17 - New infill structural slab to original lightwell to structural engineer specification
<b>18</b>	02.104.18 - New WC lobby door in enlarged structural opening
<b>19</b>	02.104.19 - New lobby door in existing structural opening



1 Proposed Third Floor Plan  
Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.  
 Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.  
 This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.  
 All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.  
 Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date	April 2022	Project	Vernon, Sicilian Hse/21 Southampton Row	Job Ref.	383
Scale	1:100 @A1	Drawn	HT	Check	AY
Status	PLANNING	Client Ref	383 (GA) 103	Drwg. no.	383 (GA) 103
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