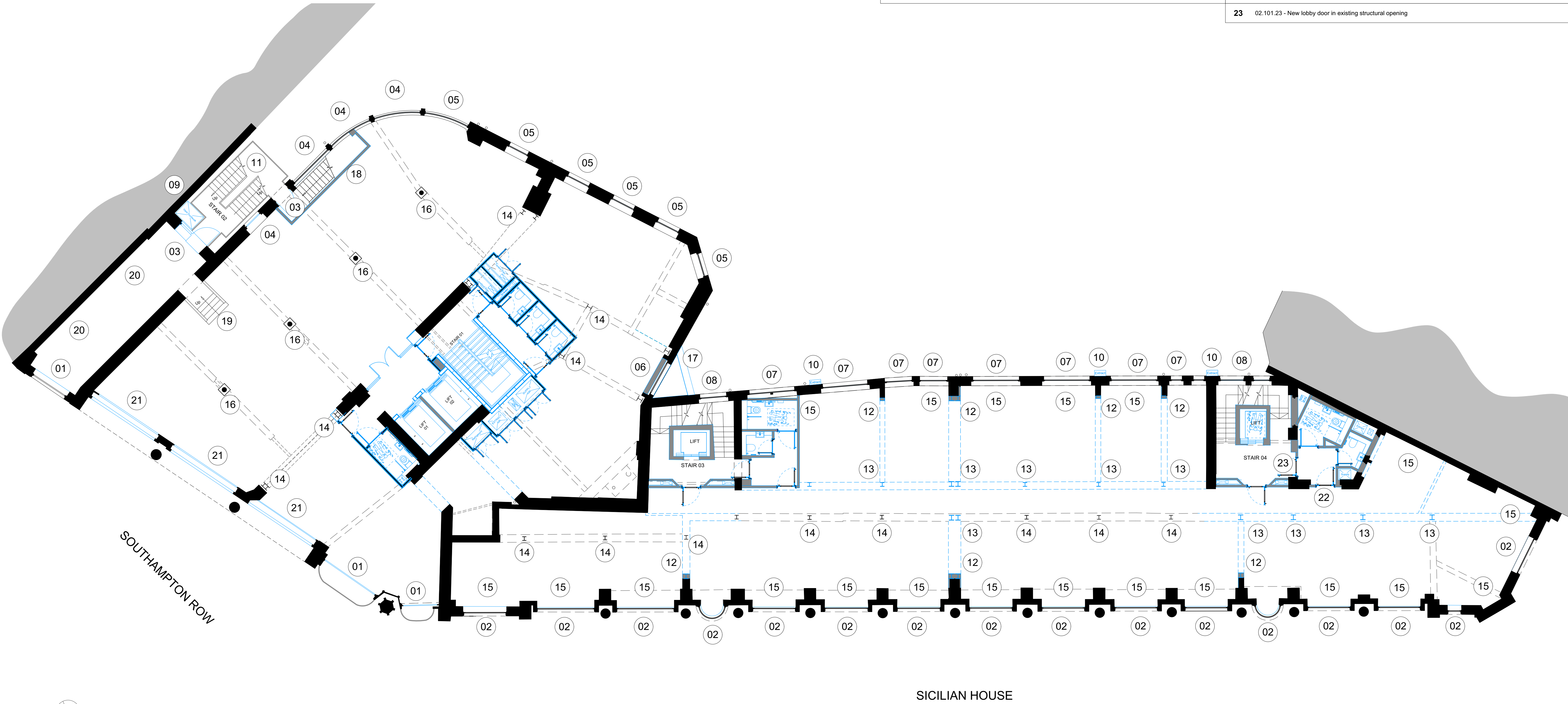


PLANNING

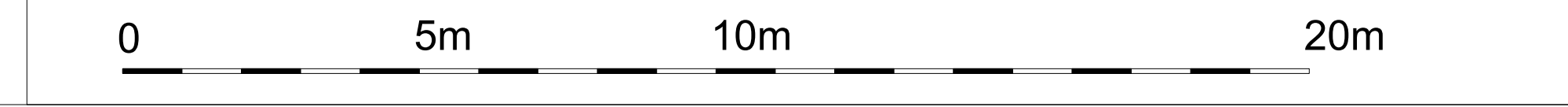
KEY

- Existing structure, walls & other building fabric to be retained, made good and redecorated, unless otherwise noted
- New structure & walls
- New building elements
- New beams or downstand beams
- Existing beams or downstand beams

Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 02, sheet 101	
01	02.101.01 - Existing windows to Southampton Row to be retained and refurbished, with new secondary glazing to be installed
02	02.101.02 - Existing windows to Sicilian Avenue to be retained and refurbished, with new secondary glazing to be installed
03	02.101.03 - Existing non original fire escape door and window to be replaced
04	02.101.04 - Existing window opening to existing fire escape to be replaced with new fire-rated window
05	02.101.05 - Existing windows to rear elevation of 21 Southampton Row to be retained and repaired
06	02.101.06 - Existing window to be retained and repaired and blocked up internally with fire rated plasterboard lining
07	02.101.07 - Existing windows to rear elevation of Vernon + Sicilian House to be retained and repaired
08	02.101.08 - Existing windows to rear elevation of Vernon/Sicilian House cores to be retained and repaired
09	02.101.09 - New mechanical fresh air supply duct to be installed up to roof level to serve ground and lower ground floor accommodation
10	02.101.10 - New mechanical kitchen extract duct to be installed up to roof level to serve ground and lower ground floor retail units
11	02.101.11 - Existing external fire escape stair to be retained, refurbished and redecorated
12	02.101.12 - New structural steel post and beam to structural engineer specification, to be installed to replace existing removed spine wall, to be encased in fire rated plasterboard lining
13	02.101.13 - New structural steel column to structural engineer specification, to be installed to replace existing removed spine wall, to be coated with intumescent paint finish
14	02.101.14 - Existing structural steel column to be retained and coated with intumescent paint finish
15	02.101.15 - New wall mounted fan coil unit to be installed below existing windows to Vernon + Sicilian House
16	02.101.16 - Existing feature round columns to be retained and protected with fire rated intumescent coatings
17	02.101.17 - New flat roof constructed over new ground floor service yard entrance lobby, with single ply membrane finish and PPC aluminium coping
18	02.101.18 - New fire rated partition to be constructed to enclose existing fire escape stair from ground to first floors
19	02.101.19 - Existing timber steps to first floor mezzanine to be retained, refurbished and redecorated
20	02.101.20 - New wall mounted fan coil unit to be installed to 21 Southampton Row at first floor level only
21	02.101.21 - Existing first floor windows to Southampton Row to be replaced with double glazed window to match existing style with new stall riser
22	02.101.22 - New WC lobby door in enlarged structural opening
23	02.101.23 - New lobby door in existing structural opening



1 Proposed First Floor Plan
Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
 Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.
 This drawing is to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.
 All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.
 Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date April 2022	Drawn HT	Check AY	Project Vernon, Sicilian Hse/21 Southampton Row	Job Ref. 383
Scale 1:100 @A1	Client Ref EDR	Drwg. no. 383 (GA) 101	Title Proposed First Floor Plan	
Status PLANNING	Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP T: 020 3735 7442	E: mail@halebrown.com	Rev. PL-2	halebrown architects