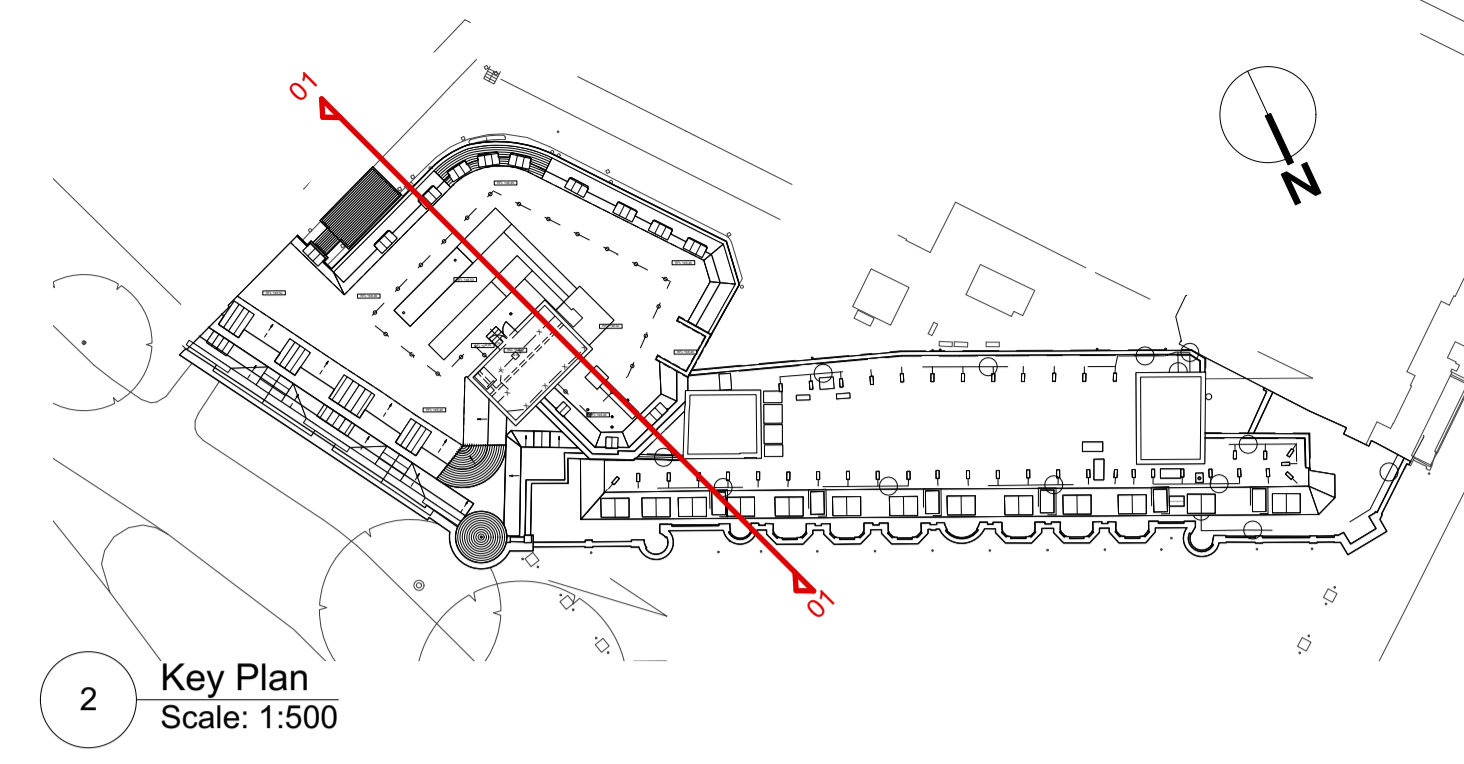
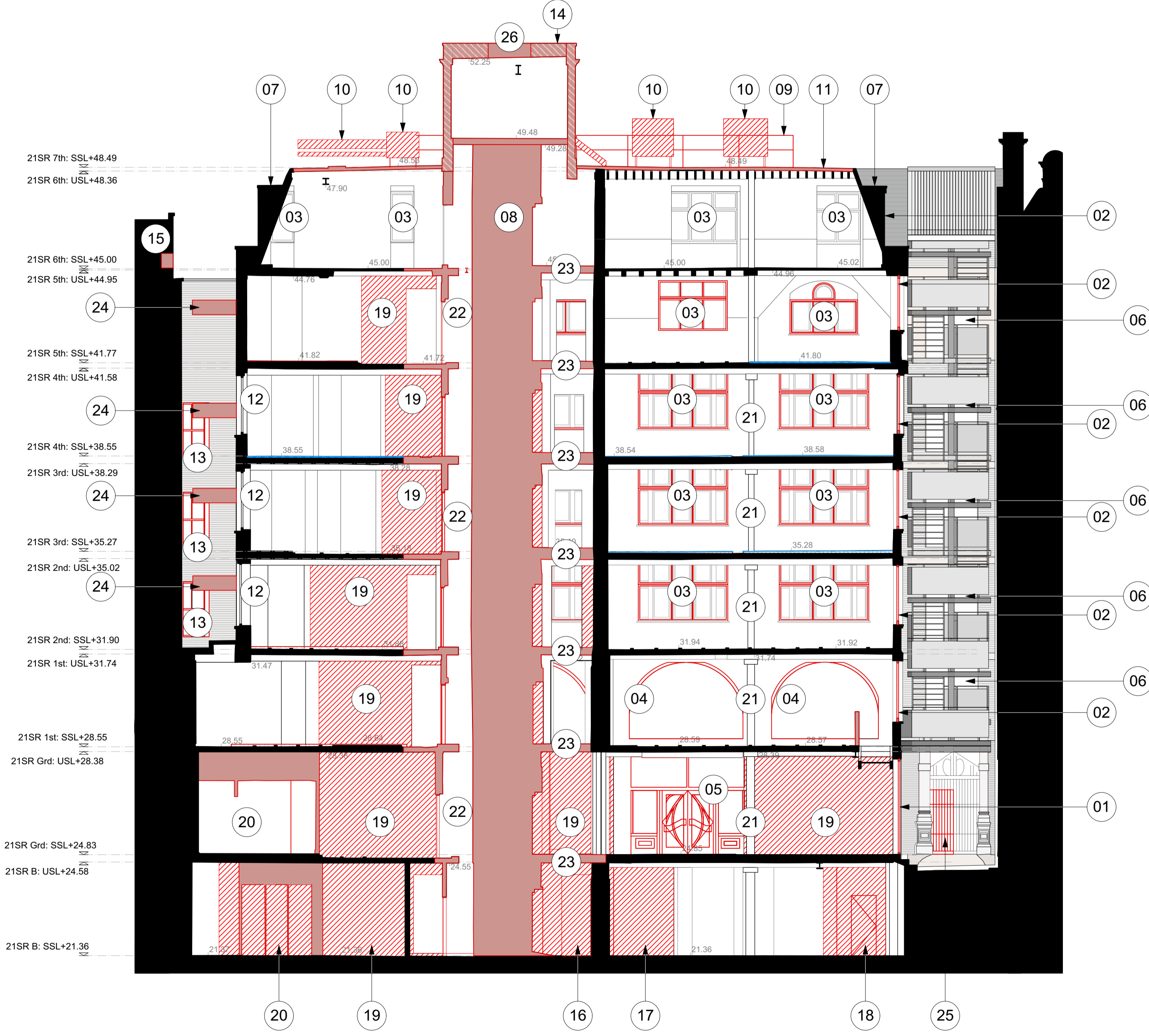


PLANNING

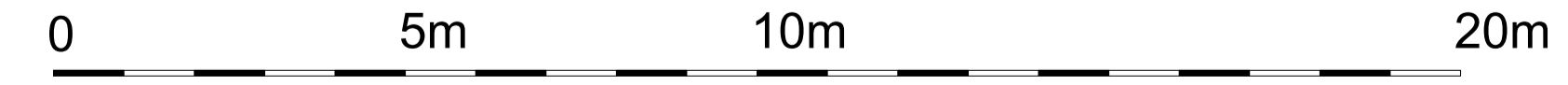
Schedule of Works Key:		13	01.300.13 - Existing windows to Sicilian House lightwell to be removed and blocked up
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 300		14	01.300.14 - Existing non original lift overrun to be carefully taken down to allow new core to be installed, then rebuilt as existing
01	01.300.01 - Existing windows and door of 21 Southampton Row's fire escape stairs to service corridor elevation to be removed and structural openings to be enlarged down to slab level	15	01.300.15 - New structural opening to be formed in existing lit motor room wall for new ductwork route
02	01.300.02 - Existing windows to existing fire escape to be removed	16	01.300.16 - New structural opening to be formed in masonry wall, allow for new lintel to structural engineer's specification
03	01.300.03 - Existing windows to Southampton Row to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed	17	01.300.17 - Allow for existing lobby to be removed
04	01.300.04 - Existing first floor windows to Southampton Row to be removed completely	18	01.300.18 - Existing internal plant to be removed completely
05	01.300.05 - Existing shopfront glazing to be removed at ground floor level	19	01.300.19 - Allow for masonry wall to be removed
06	01.300.06 - Existing non original fire escape door and window to be removed from existing structural openings	20	01.300.20 - Existing sanitaryware + associated fixtures, fittings and pipework to be removed completely
07	01.300.07 - Existing dormers to be retained and repaired as required	21	01.300.21 - Existing feature round steel columns to be retained and protected throughout works
08	01.300.08 - Lift car, associated services and shaft to be removed entirely, but rooftop lift motor room to be retained.	22	01.300.22 - Non original partitions forming services risers to be demolished entirely
09	01.300.09 - Existing key clamp handrail guarding to be removed and stored for reuse	23	01.300.23 - Existing concrete slabs to be removed within stair core
10	01.300.10 - Existing rooftop plant to be removed completely	24	01.300.24 - New structural opening to be formed in masonry wall, allow for new lintel to structural engineer's specification to provide new ventilation route
11	01.300.11 - Existing roof finishes to 21 Southampton Row to be removed back to plywood deck	25	01.300.25 - Allow for existing gates to be carefully removed and retained for re-installation to suit new arrangement with addition of pass gate.
12	01.300.12 - Existing windows to 21 Southampton Row lightwell to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed	26	01.300.26 - New opening to be cut into lift motor room roof for new AOV installation



- KEY**
- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
 - Indicates non original non structural partitions to be removed
 - Indicates non structural elements that need to be removed / demolished
 - Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessments and approved method statements
 - Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements
 - Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
 - Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor
 - Indicates non original fabric to be carefully removed to allow for new core to be installed, then rebuilt as existing.



1 21SR Demolition section 01 Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
 Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.
 This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.
 All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.
 Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date	Jan 2021	Project	Vernon House	Job Ref.	383
Scale	1:100 @A1	Drawn	KP	Check	DT
Status	PLANNING	Client Ref	383 (DE) 300	Drwg. no.	383 (DE) 300
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