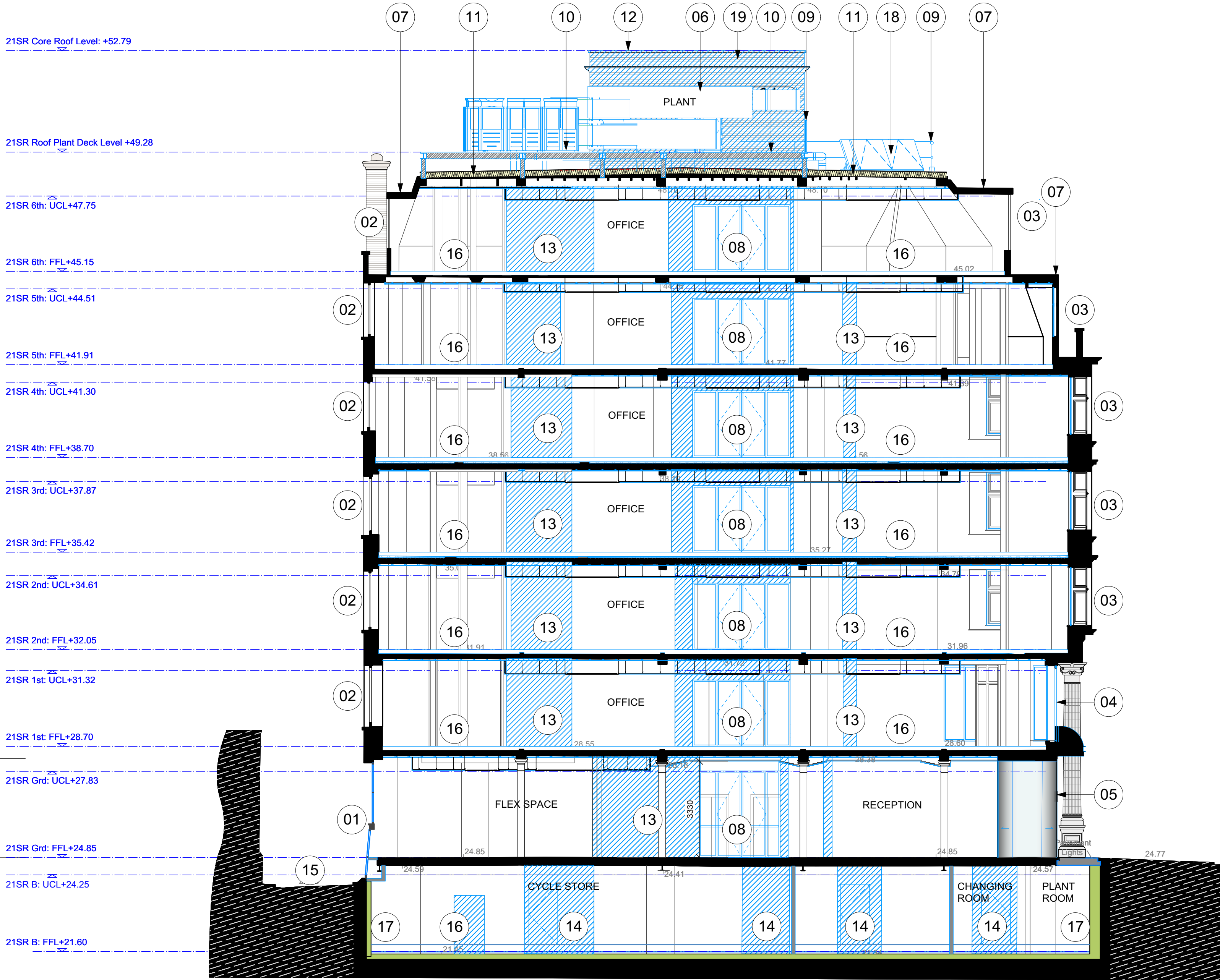
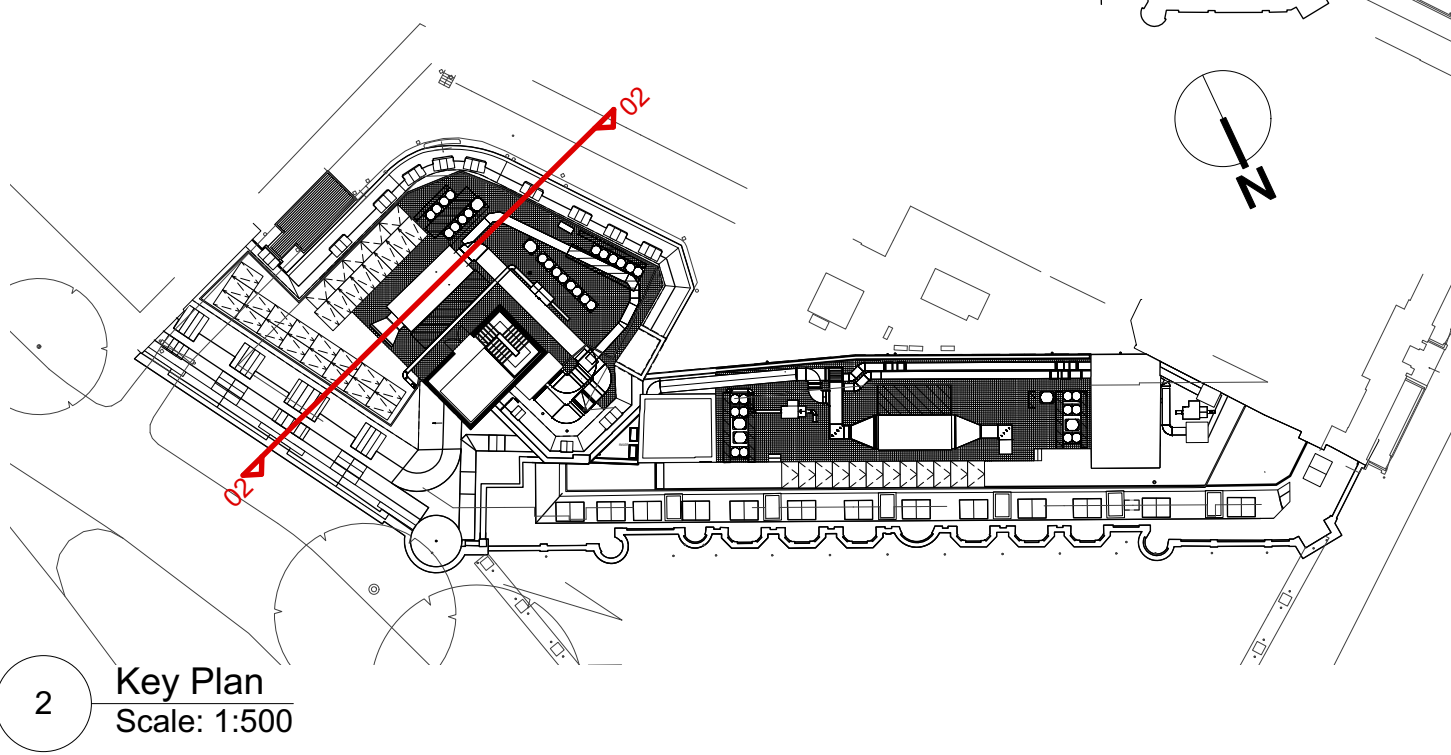


PLANNING

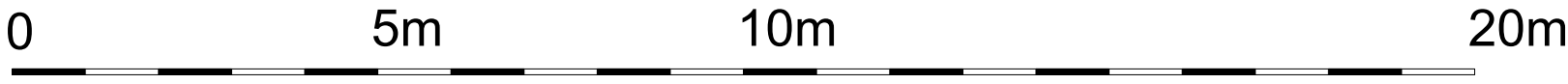
KEY

- Existing structure, walls & other building fabric to be retained, made good and redecorated, unless otherwise noted
- New structure & walls
- New building elements

Schedule of Works Key:		09	02.301.09 - Key clamp handrail guarding, reuse of existing or match existing
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 02, sheet 301		10	02.301.10 - New plant roof deck at 7th floor level comprising composite timber decking on raised steel frame structure to structural engineer specification
01	02.301.01 - New floor to ceiling aluminum framed glazing units in existing window openings	11	02.301.11 - Flat roof covering to 21 Southampton Row to be replaced with new waterproofing, and new insulation on top of existing plywood deck sitting on top of existing retained timber joists / steel beams below
02	02.301.02 - Existing windows to rear elevation of 21 Southampton Row to be retained; strip out existing painting and get ready for redecoration	12	02.301.12 - New AOV to be installed to the head of the extended staircase to improve the existing fire strategy
03	02.301.03 - Existing windows to Southampton Row to be retained and refurbished, with new secondary glazing to be installed	13	02.301.13 - New fire rated partition to form new stair lobby / WCs
04	02.301.04 - Existing first floor windows to Southampton Row to be replaced with double glazed window to match existing style with new stall riser	14	02.301.14 - New fire rated partition to form basement amenity
05	02.301.05 - New external curved sliding doors with canopy and integrated air curtain	15	02.301.15 - New coloured tarmac surface to be installed for cyclists access route
06	02.301.06 - New double doors to be installed to existing lift motor room	16	02.301.16 - New raised access floors throughout
07	02.301.07 - Existing dormer roofs and windows to be repaired and refurbished as required	17	02.301.17 - New waterproof tanking to basement perimeter walls + slab
08	02.301.08 - New fire rated glazed lift lobby double doors + screens to be installed in enlarged structural opening	18	02.301.18 - Photovoltaic panels according M&E specification
		19	02.301.19 - Non original lift overrun rebuilt as existing



1 21SR Proposed Section 02 Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.

Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.

This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultant's information.

All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.

Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments
PL-3	02/03/2023	Amendment to Note 05

Date Jan 2021			Project Vernon House		Job Ref. 383
Scale 1:100 @A1	Drawn KP	Check DT	Title 21SR - Proposed Section 02		
Status PLANNING	Client Ref EDR	Drwg. no. 383 (GA) 301	Rev. PL-3		
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