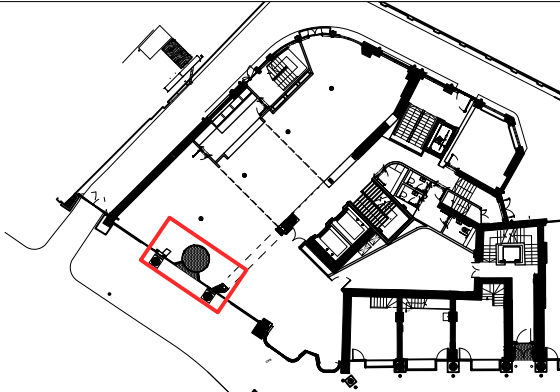


PLANNING



KEY

- Indicates Existing structure, walls & other building fabric to be retained, made good and redecorated, unless otherwise noted
- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non structural elements that need to be removed / demolished

- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates new walls and any other new construction elements

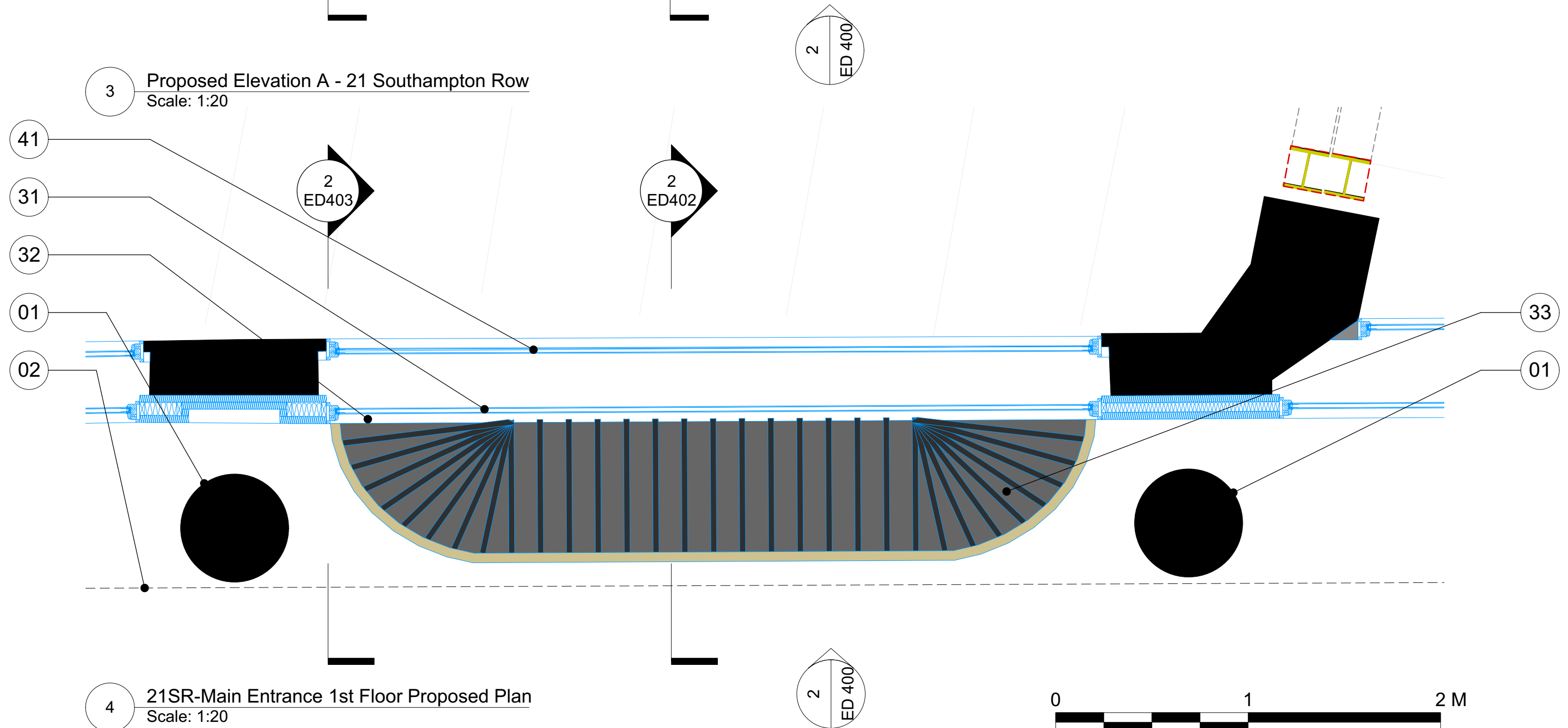
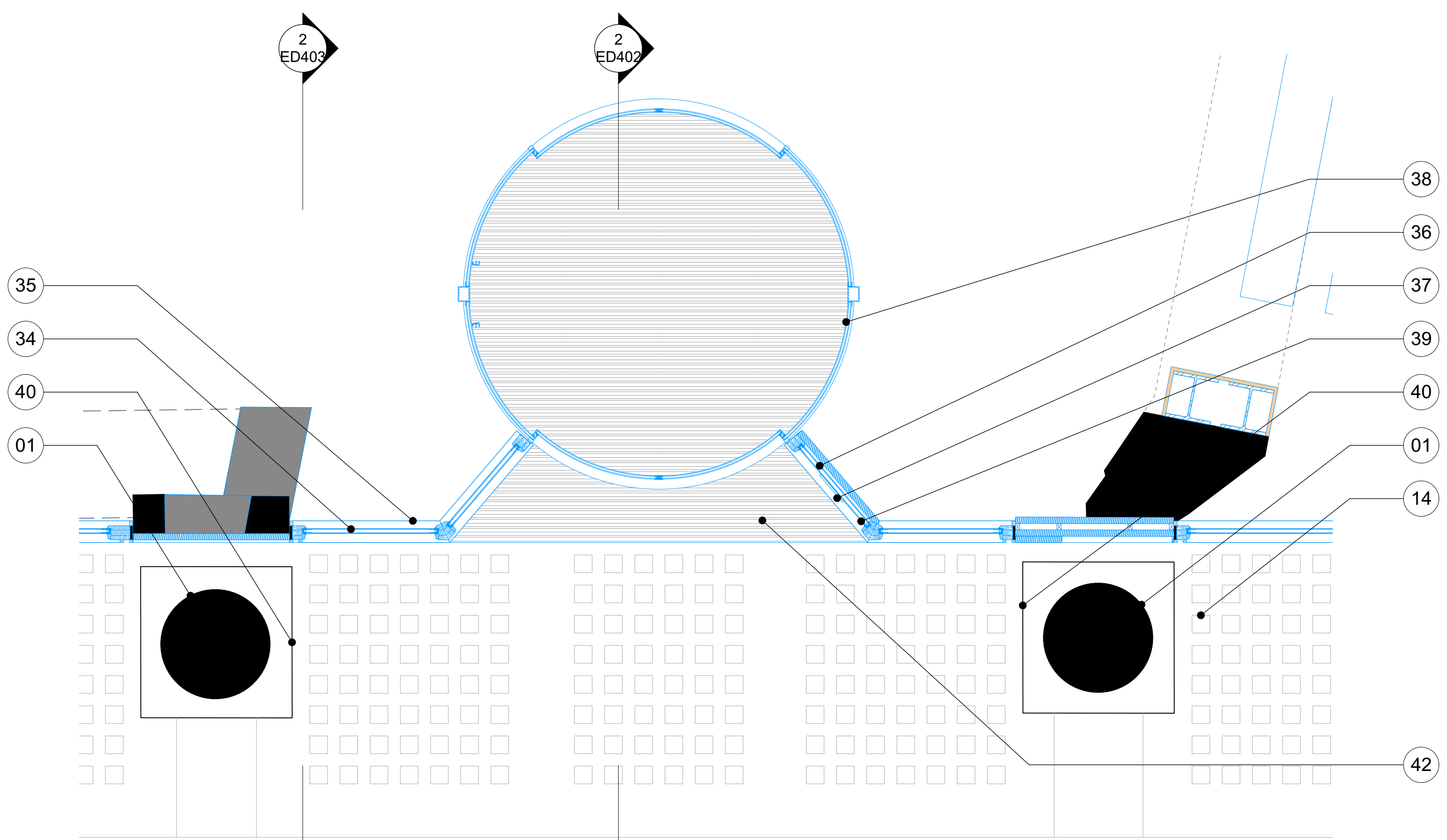
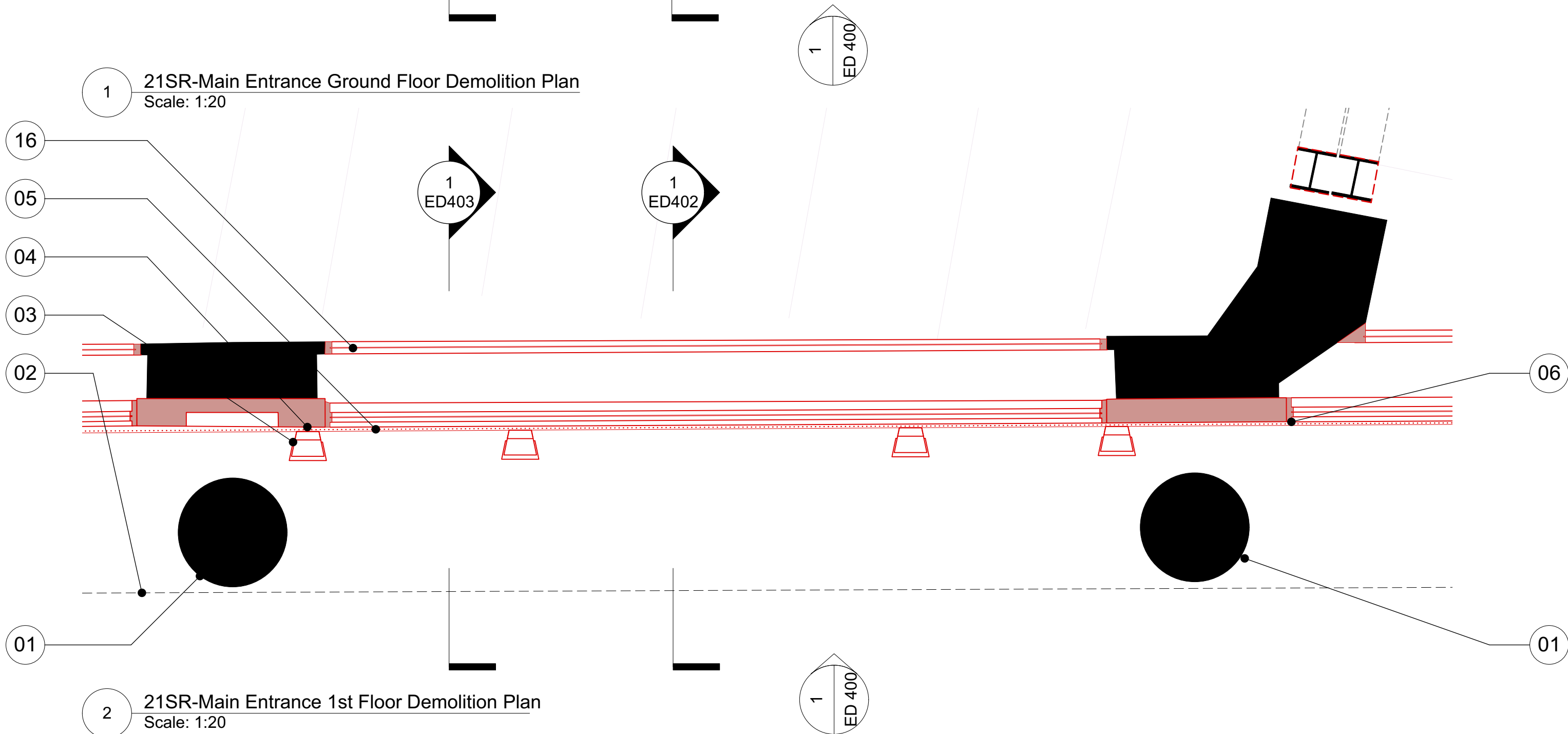
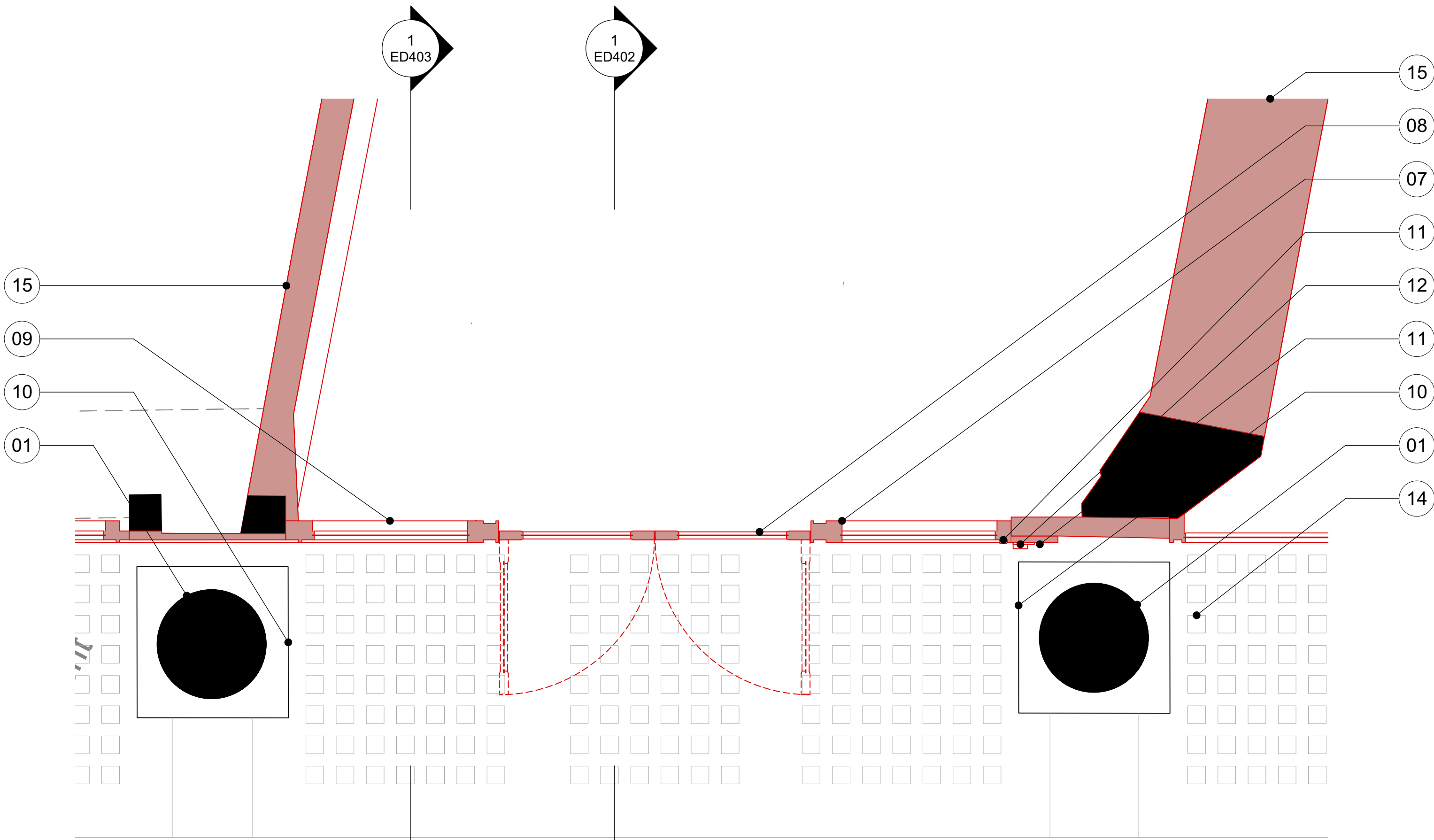
Schedule of Works Key:

to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 03, sheet 401

01	03.401.01 - Existing stone columns to be retained and repaired as required, and to be cleaned
02	03.401.02 - Existing stone pediment to be retained and repaired as required, and to be cleaned
03	03.401.03 - Existing external building lighting to be replaced
04	03.401.04 - Existing externally mounted cabling to be removed
05	03.401.05 - Existing pigeon spikes to be removed
06	03.401.06 - Existing timber framed first floor full height glazing to be replaced
07	03.401.07 - Existing timber framed ground floor full height shopfront glazing to be replaced
08	03.401.08 - Existing timber framed glazed double doors with brass ironmongery to be replaced

09	03.401.09 - Existing brass letter box to be removed
10	03.401.10 - Existing brass plaque with building number to side of columns to be replaced
11	03.401.11 - Existing access control fob reader to be removed
12	03.401.12 - Existing key safe to be removed
13	03.401.13 - Existing no smoking sign to be removed
14	03.401.14 - Existing pavement lights to be retained and repaired as required
15	03.401.15 - Existing internal walls to be removed
16	03.401.16 - Existing secondary glazing to be replaced
31	03.401.31 - New timber framed first floor full height double glazing with timber frames to match existing style and colour
32	03.401.32 - New panelled timber stall riser to first floor full height glazing

33	03.401.33 - New curved projecting canopy with feature detailing, building signage and illuminated soffit
34	03.401.34 - New timber framed ground floor full height shopfront with double glazing and timber frames to match existing style and colour
35	03.401.35 - New panelled timber stall riser to ground floor full height glazing
36	03.401.36 - New backpainted glass panel to chamfered cheek of shopfront glazing, colour white
37	03.401.37 - New building access control panel with fob reader, video/voice intercom, plus call buttons, to be finished in PPC aluminium colour White.
38	03.401.38 - New PPC aluminium automatic curved sliding doors with safety manifestation
39	03.401.39 - New brass post box to be installed in chamfered cheek of shop front glazing
40	03.401.40 - New brass plaque with building number to be installed to side of columns
41	03.401.41 - New internal secondary glazing
42	03.401.42 - New bronze effect external matwell



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
Sizes and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.
This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.
All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.
Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	02/03/2023	Amendment to note 33

Date 08/06/2022	Project Vernon, Sicilian Hse/21 Southampton Row	Job Ref. 383
Scale 1:20@A1	Drawn HT	Check AY
Status PLANNING	Client Ref EDR	Drwg. no. 383 (ED) 401
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