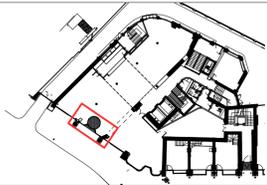


# PLANNING



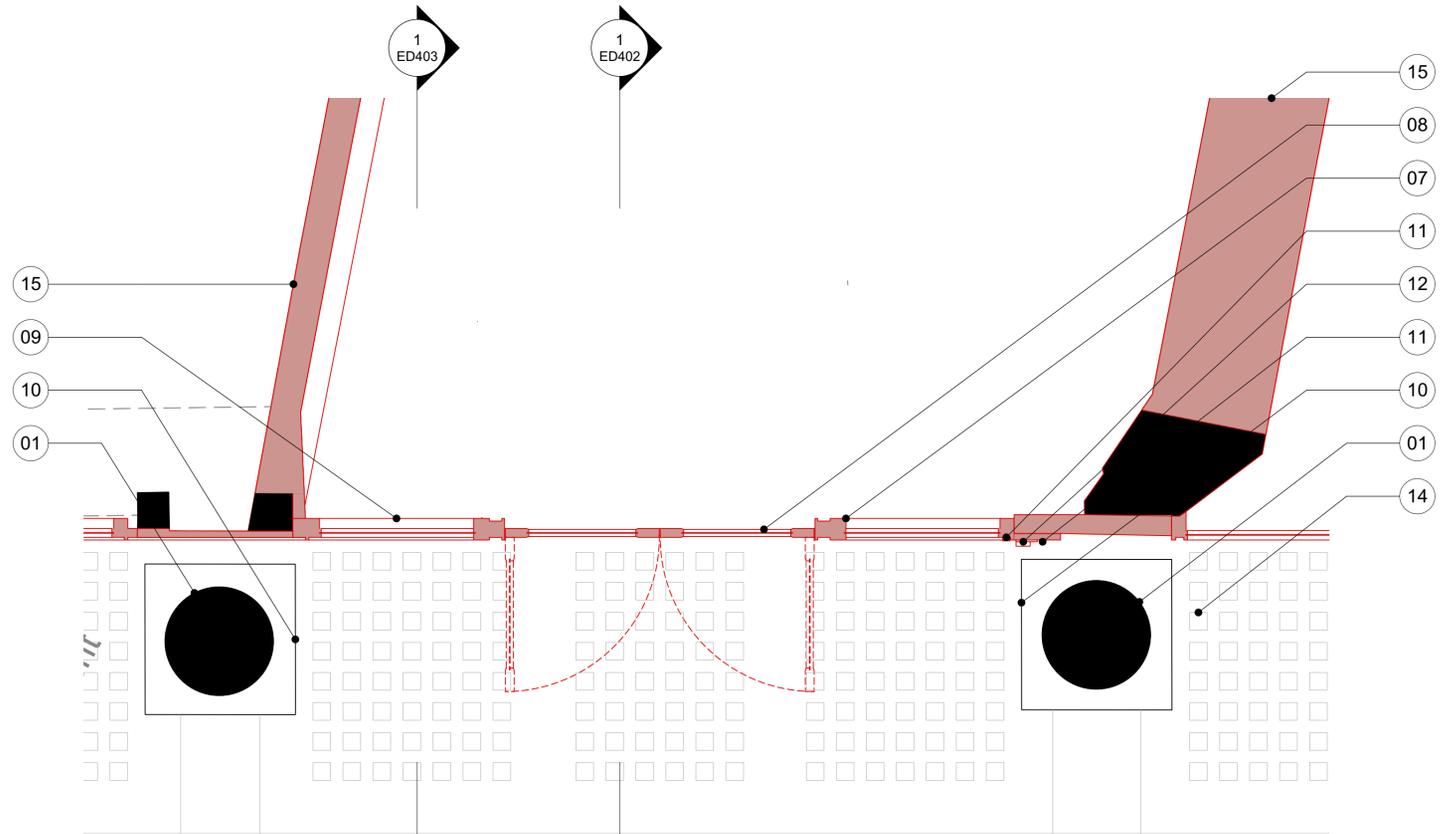
## KEY

- Indicates Existing structure, walls & other building fabric to be retained, made good and redecorated, unless otherwise noted
- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non structural elements that need to be removed / demolished
- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates new walls and any other new construction elements

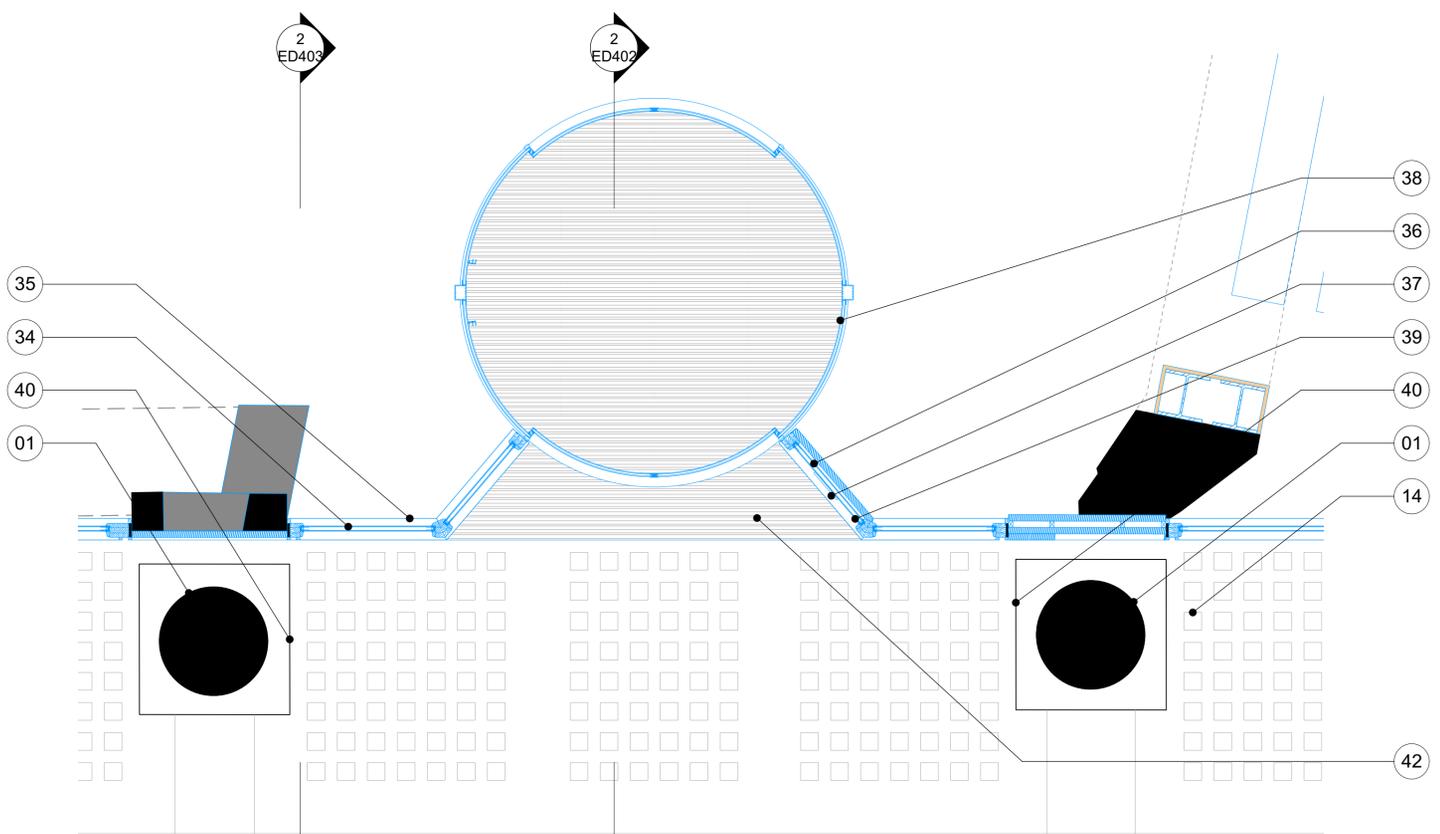
## Schedule of Works Key:

to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 03, sheet 401

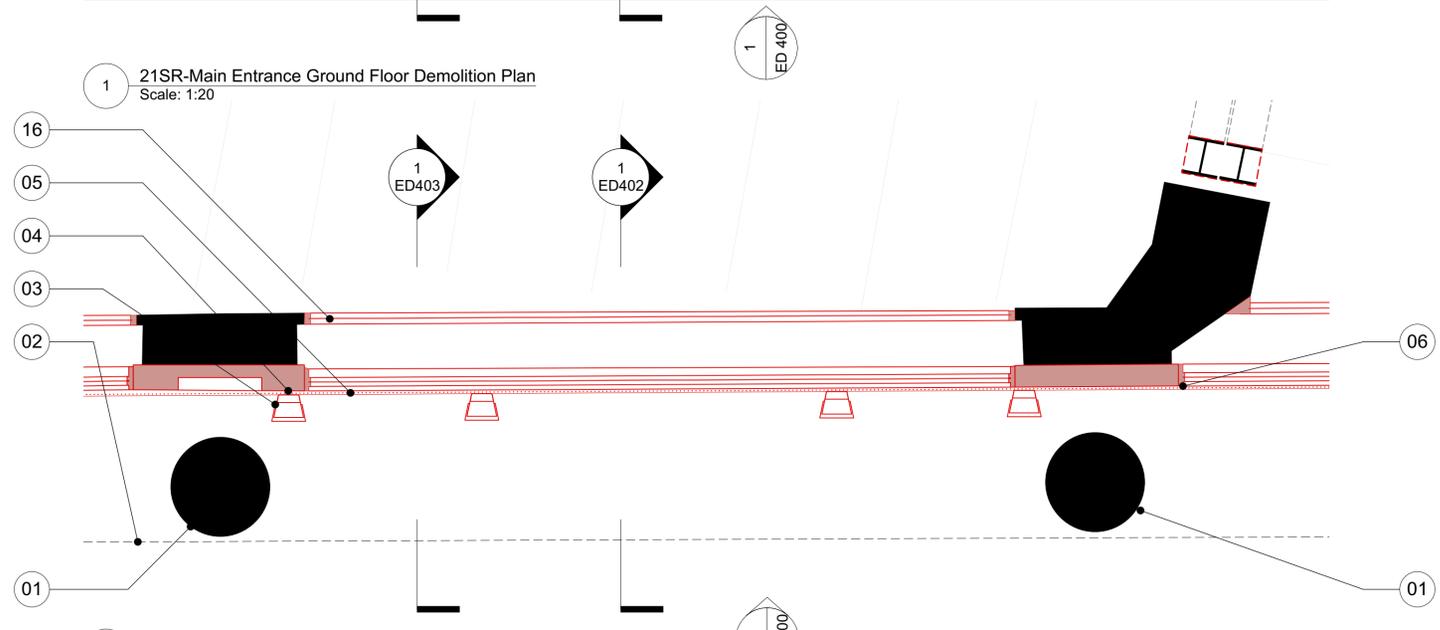
<b>01</b>	03.401.01 - Existing stone columns to be retained and repaired as required, and to be cleaned	<b>09</b>	03.401.09 - Existing brass letter box to be removed	<b>33</b>	03.401.33 - New curved projecting canopy with feature detailing, building signage and illuminated soffit
<b>02</b>	03.401.02 - Existing stone pediment to be retained and repaired as required, and to be cleaned	<b>10</b>	03.401.10 - Existing brass plaque with building number to side of columns to be replaced	<b>34</b>	03.401.34 - New timber framed ground floor full height shopfront with double glazing and timber frames to match existing style and colour
<b>03</b>	03.401.03 - Existing external building lighting to be replaced	<b>11</b>	03.401.11 - Existing access control fob reader to be removed	<b>35</b>	03.401.35 - New panelled timber stall riser to ground floor full height glazing
<b>04</b>	03.401.04 - Existing externally mounted cabling to be removed	<b>12</b>	03.401.12 - Existing key safe to be removed	<b>36</b>	03.401.36 - New backpainted glass panel to chamfered cheek of shopfront glazing, colour white
<b>05</b>	03.401.05 - Existing pigeon spikes to be removed	<b>13</b>	03.401.13 - Existing no smoking sign to be removed	<b>37</b>	03.401.37 - New building access control panel with fob reader, video/voice intercom, plus call buttons, to be finished in PPC aluminium colour White.
<b>06</b>	03.401.06 - Existing timber framed first floor full height glazing to be replaced	<b>14</b>	03.401.14 - Existing pavement lights to be retained and repaired as required	<b>38</b>	03.401.38 - New PPC aluminium automatic curved sliding doors with safety manifestation
<b>07</b>	03.401.07 - Existing timber framed ground floor full height shopfront glazing to be replaced	<b>15</b>	03.401.15 - Existing internal walls to be removed	<b>39</b>	03.401.39 - New brass post box to be installed in chamfered cheek of shop front glazing
<b>08</b>	03.401.08 - Existing timber framed glazed double doors with brass ironmongery to be replaced	<b>16</b>	03.401.16 - Existing secondary glazing to be replaced	<b>40</b>	03.401.40 - New brass plaque with building number to be installed to side of columns
		<b>31</b>	03.401.31 - New timber framed first floor full height double glazing with timber frames to match existing style and colour	<b>41</b>	03.401.41 - New internal secondary glazing
		<b>32</b>	03.401.32 - New panelled timber stall riser to first floor full height glazing	<b>42</b>	03.401.42 - New bronze effect external matwell



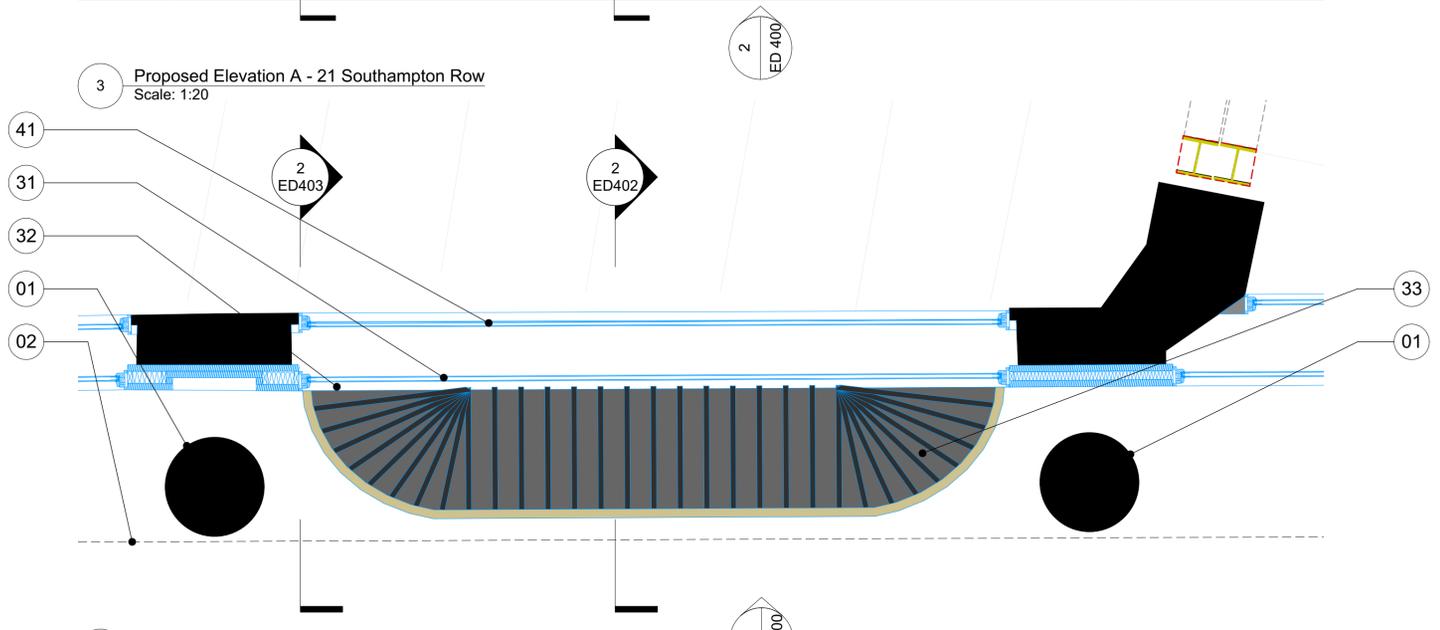
**1** 21SR-Main Entrance Ground Floor Demolition Plan  
Scale: 1:20



**3** Proposed Elevation A - 21 Southampton Row  
Scale: 1:20



**2** 21SR-Main Entrance 1st Floor Demolition Plan  
Scale: 1:20



**4** 21SR-Main Entrance 1st Floor Proposed Plan  
Scale: 1:20



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.  
Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.  
This drawing is to be read in conjunction with all other Architect's drawings, specifications and other Consultant's information.  
All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.  
Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	02/03/2023	Amendment to note 33

Date	08/06/2022	Project	Vernon, Sicilian Hse/21 Southampton Row	Job Ref.	383
Scale	1:20@A1	Drawn	HT	Check	AY
Status	PLANNING	Client Ref	EDR 383 (ED) 401	Drwg. no.	383 (ED) 401
Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP		E: <a href="mailto:mail@halebrown.com">mail@halebrown.com</a>		W: <a href="http://www.halebrown.com">www.halebrown.com</a>	

