

Vernon-Sicilian House & 21 Southampton Row

Design and Access Statement - **Section 6 of 8**

July 2022

Part 1

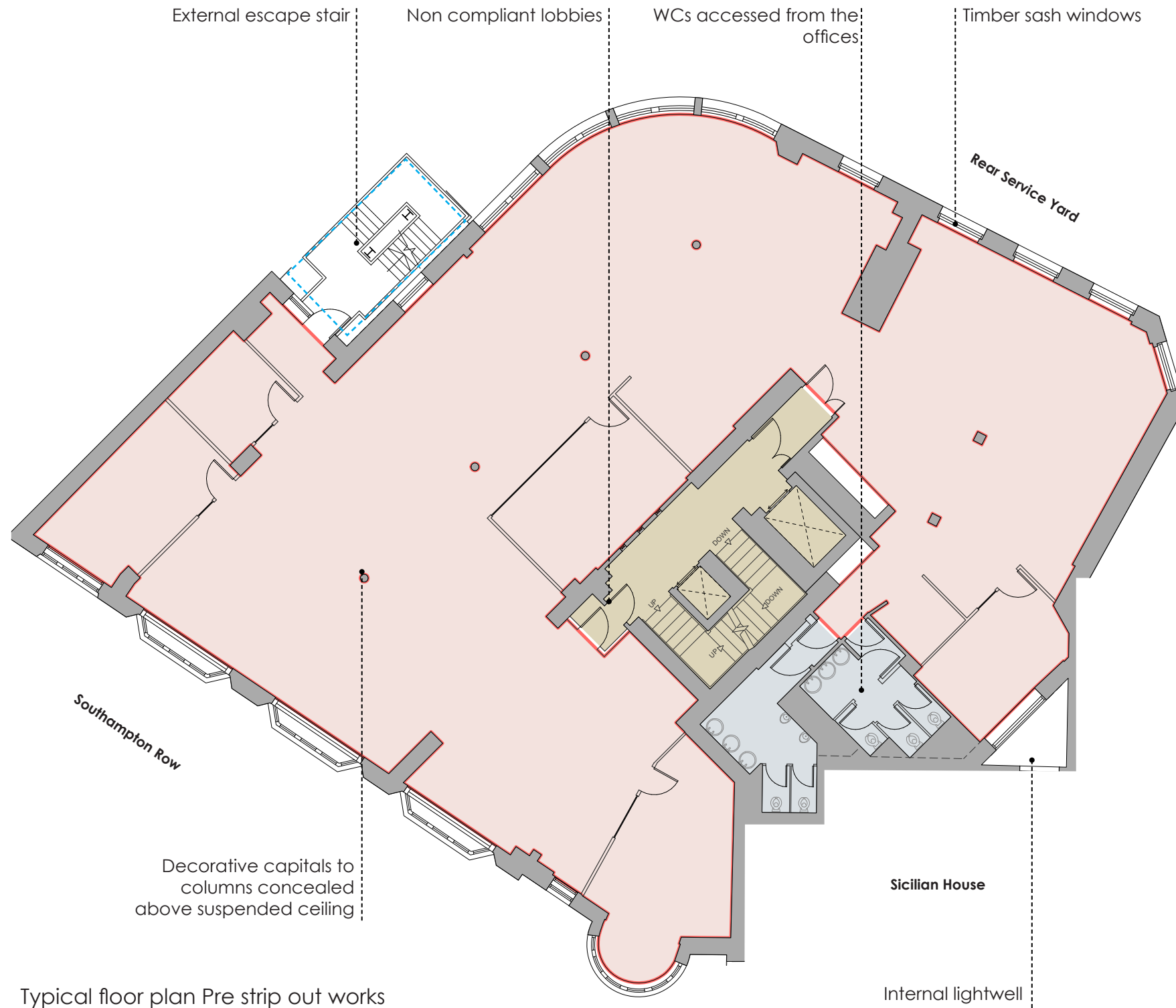
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6.0

Improving the Office Floors

21 Southampton Row

6.1



Improving the office floors 21 Southampton - Existing

- The existing office floors within 21 Southampton Row which are approximately 4,630sqft were served by a central core with 2no. passenger lifts either side of main stairs.
- While the core was lobbied from the office space the lobbies were not Part M compliant.
- Separate male and female WC's were positioned behind the core and were accessed directly from the office space, although accessible WC's were not located on every floor.
- While the floor plate did have good natural daylight due to windows to most elevations, the installed ceilings obscured the top of the windows.
- Each floor did though have access to a secondary external escape stair which offered good flexibility to the floor plate.



6.2

Improving the office floors 21 Southampton - Existing

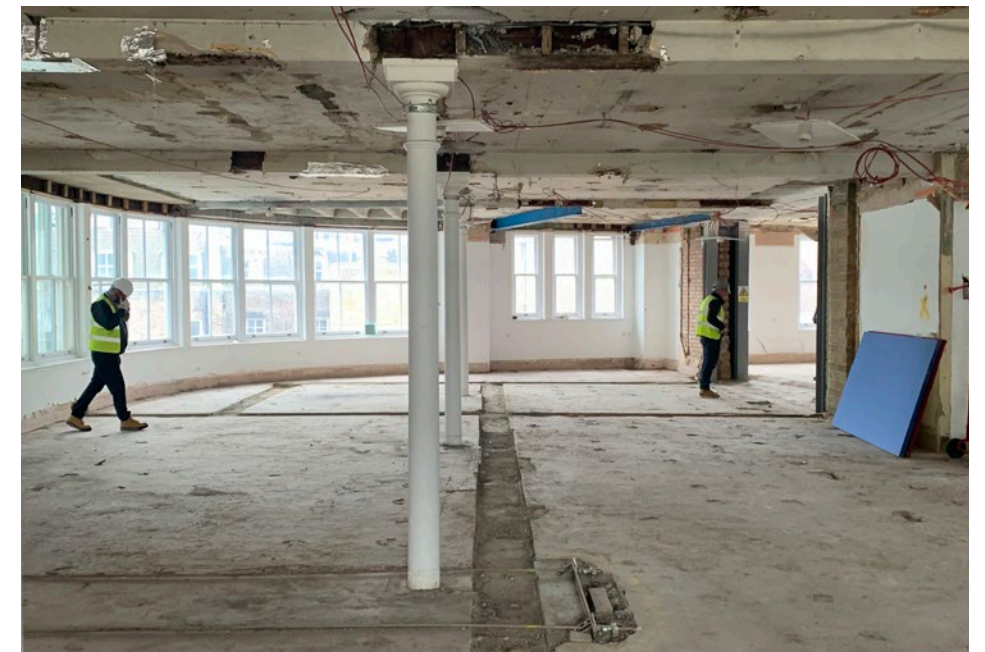
PRE STRIP OUT



POST STRIP OUT

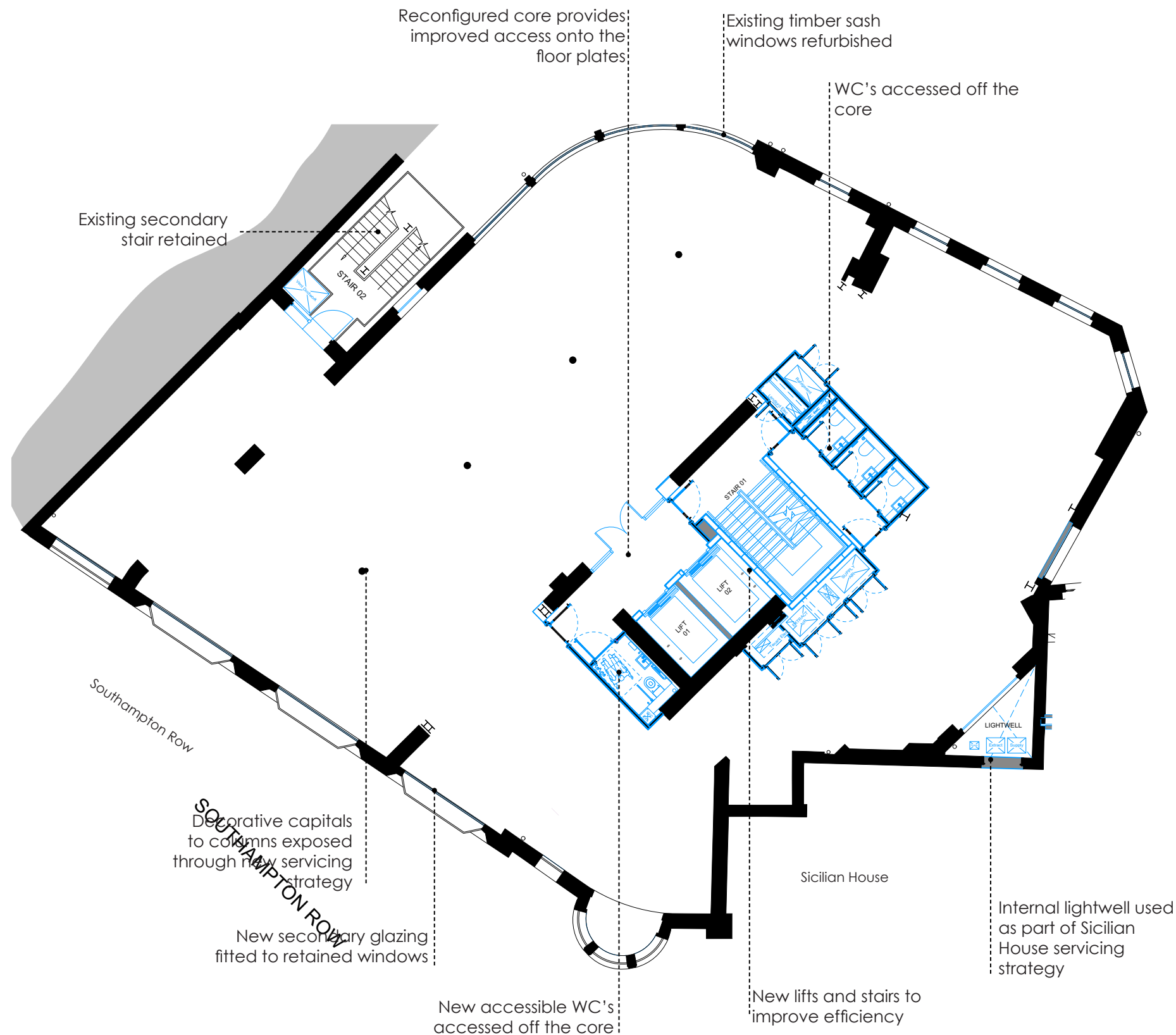


Existing ceiling height compromised windows - reducing natural daylighting to the floorplate



Steel columns with feature capitals in floor plates lost within suspended ceiling

6.3



Typical floor plan

Improving the office floors 21 Southampton - Proposed

- The proposals look to reconfigure the core in order to improve the circulation and entrance experience into the office space.
- Two new lifts will be positioned within a lobby offering clear and direct access onto the floor plates.
- A new staircase lobbied from the offices and separate from the lifts is also proposed.
- 3no. unisex WC's and an accessible WC will be positioned so access is directly off the core, improving the usability of the office space.
- The reconfigured core will also incorporate new service routes from the risers, in order to avoid large ductwork having to pass through the office space and below existing downstand beams.
- This arrangement will allow new energy efficient fancoils to be positioned closer to the core, so floor to ceiling heights can be maximised around the perimeter.
- This avoids the requirement for ceilings to be positioned lower than the tops of existing windows while also allowing the decorative capitals of the existing central columns to be exposed on the lower floors.
- To improve the acoustic separation from busy Southampton Row new secondary glazing is proposed to be fitted behind the existing windows on this side.
- From a sustainability perspective, on the quieter rear elevation the existing timber sash window will be overhauled and refurbished to increase their longevity avoid the need to replace them in the near future.

6.4

Improving the office floors 21 Southampton - Proposed Sketch view



Illustrative sketch view of typical floor plate

Vernon & Sicilian House

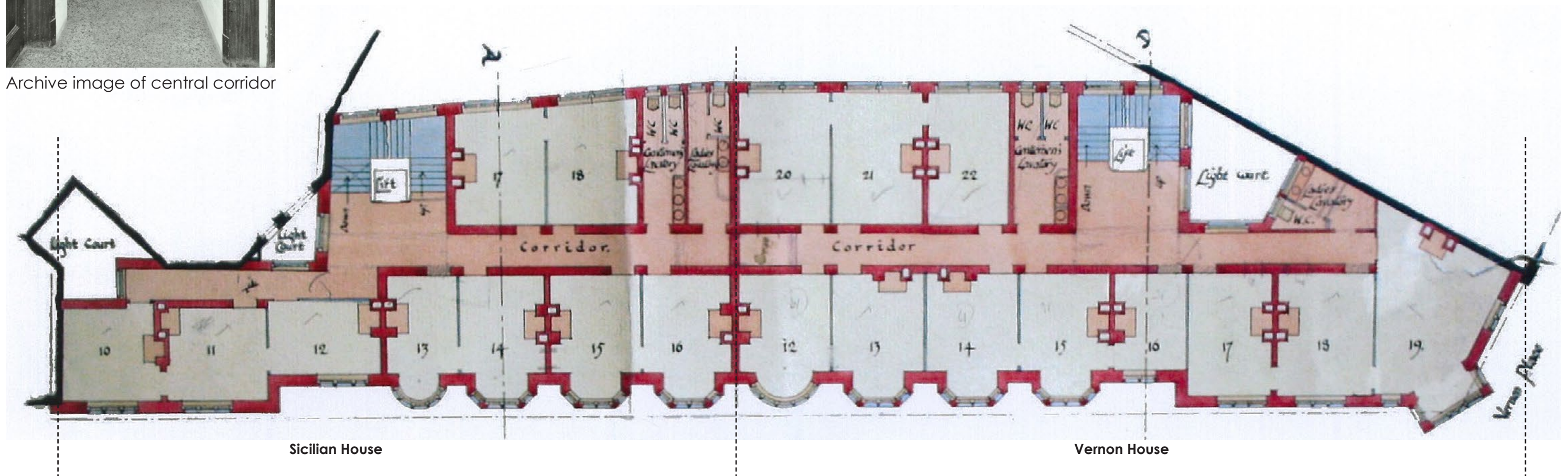
6.5



Archive image of central corridor

Improving the office floors Vernon & Sicilian Hse - Historic arrangement

- When originally built in 1900's the upper floors of Vernon and Sicilian House were originally designed as separate residential building.
- From either core central corridors provided access to single aspect apartments facing onto Sicilian Avenue and the rear service yard.
- The corridor was constructed in load bearing masonry spine walls with separation between the apartment in further masonry load bearing walls incorporating chimney flues.

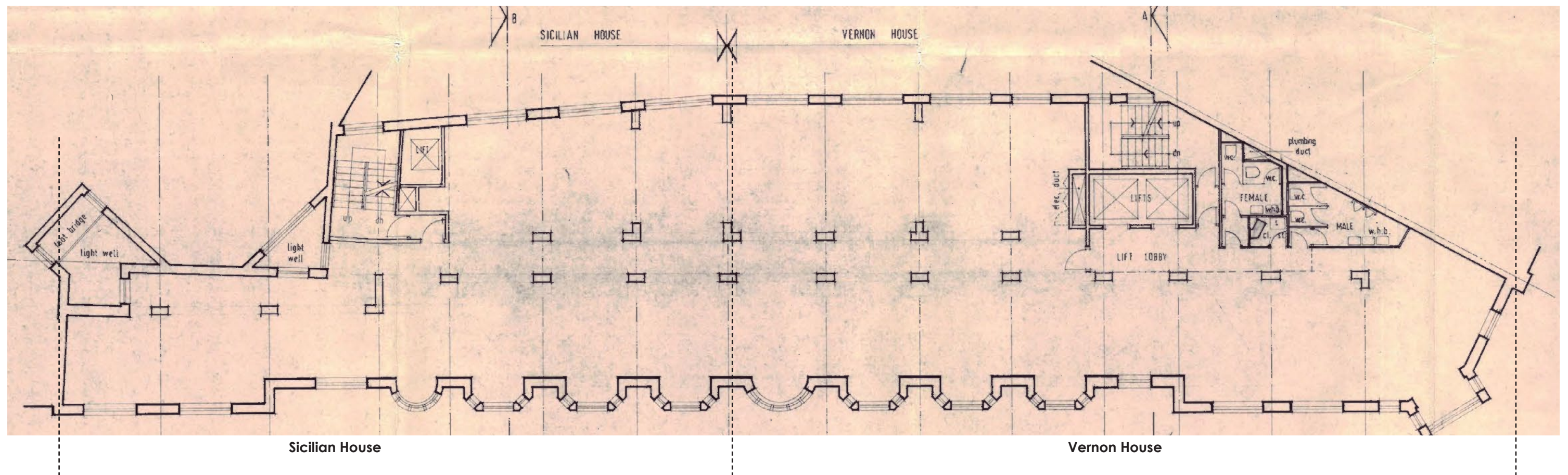


Original 1908 Approved planning drawing showing proposed second floor arrangement

6.6

Improving the office floors Vernon & Sicilian Hse - 1975 Planning App

- As part of an approved planning application in 1975 it was proposed that the central spine walls and secondary separation wall and chimneys would be removed in order to open up the space that was now being used as offices.
- The core layouts of both Sicilian and Vernon House were also proposed to be dramatically altered with the reorientation of the stairs and lift.
- Significantly the lightwell next to Vernon House's core was also approved for infilling, in order to create a central WC block.

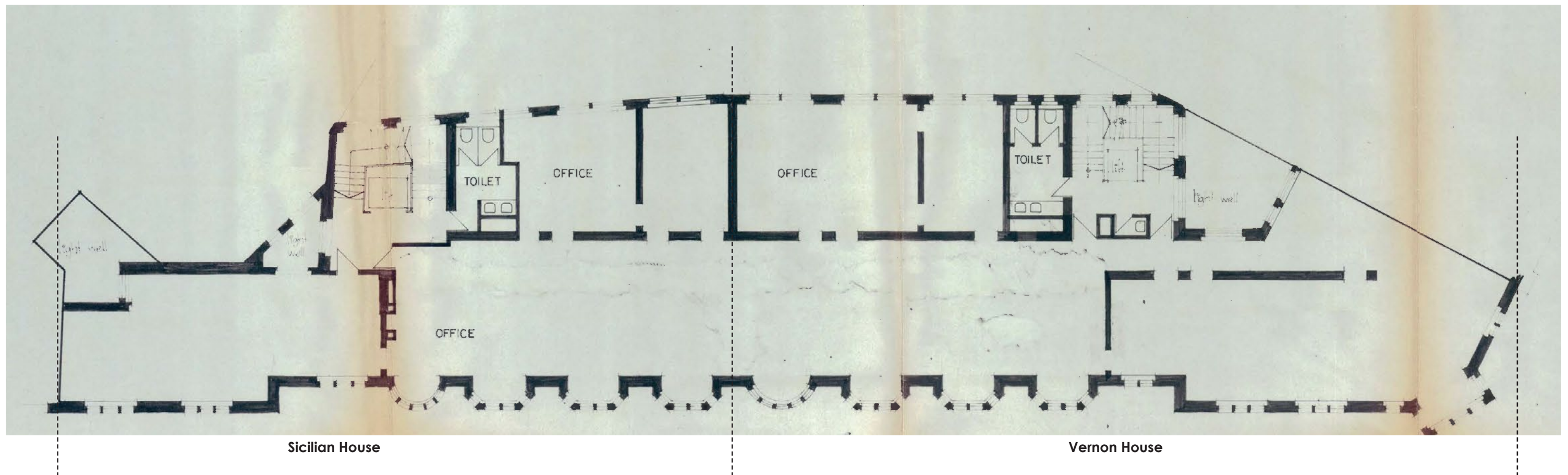


1975 Approved planning drawing showing proposed second floor arrangement

6.7

Improving the office floors Vernon & Sicilian Hse - 1977 Planning App

- In a subsequently submitted and approved planning application in 1977 the proposed alteration to the floor plates were revised to reduce the amount of structural intervention to the building.
- Only one of the spine walls was proposed to be removed and some of the original separation walls to the rear of the building were removed.
- With these proposals that more accurately reflect the existing configuration of the building, both core stairs and lifts, as well as the Vernon House lightwell were retained.

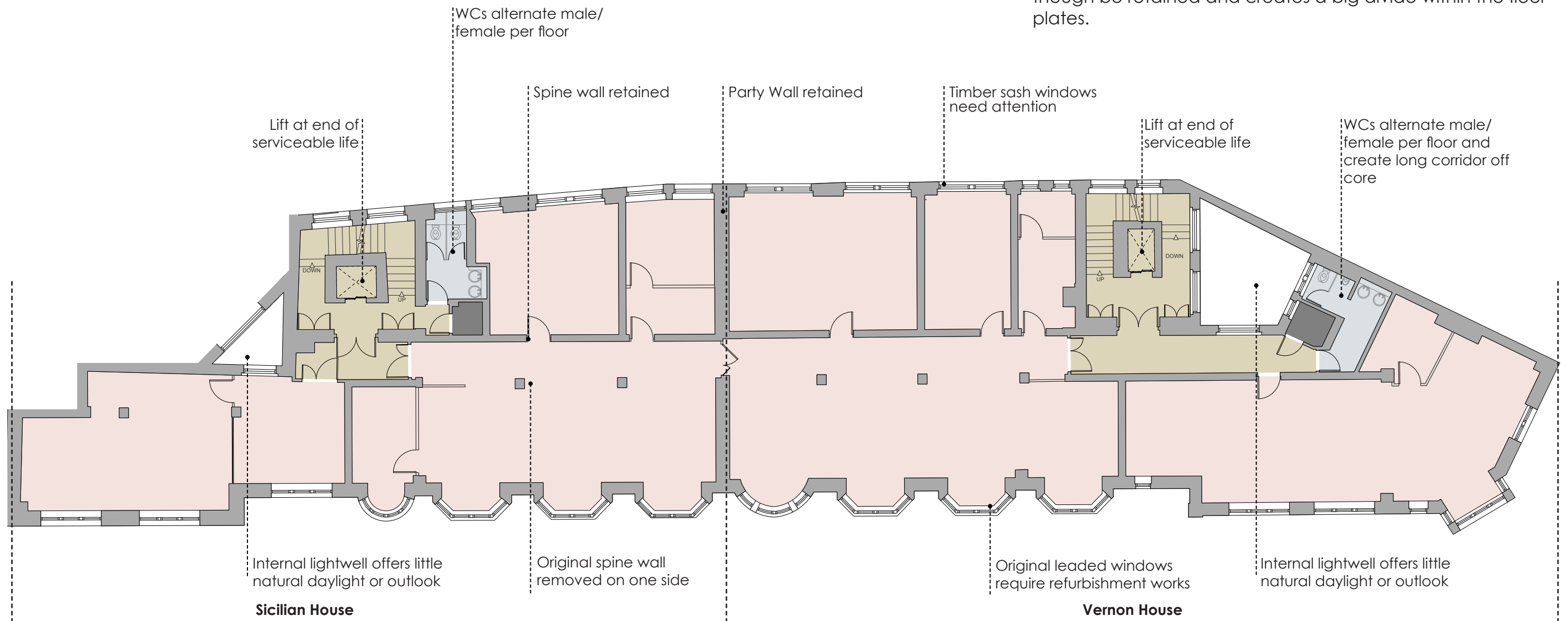


1977 Approved planning drawing showing proposed second floor arrangement

Improving the office floors

Vernon & Sicilian Hse - Existing arrangement

- While the existing arrangement of the floors are not identical to the approved 1977 layouts, the configuration of the load bearing walls is fairly accurate.
- Most noticeably the spine wall closest to Sicilian Avenue has been removed, as have most of the apartment separation walls and chimneys on that side.
- The original Party wall between Sicilian and Vernon House has though be retained and creates a big divide within the floor plates.



Existing Second floor plan