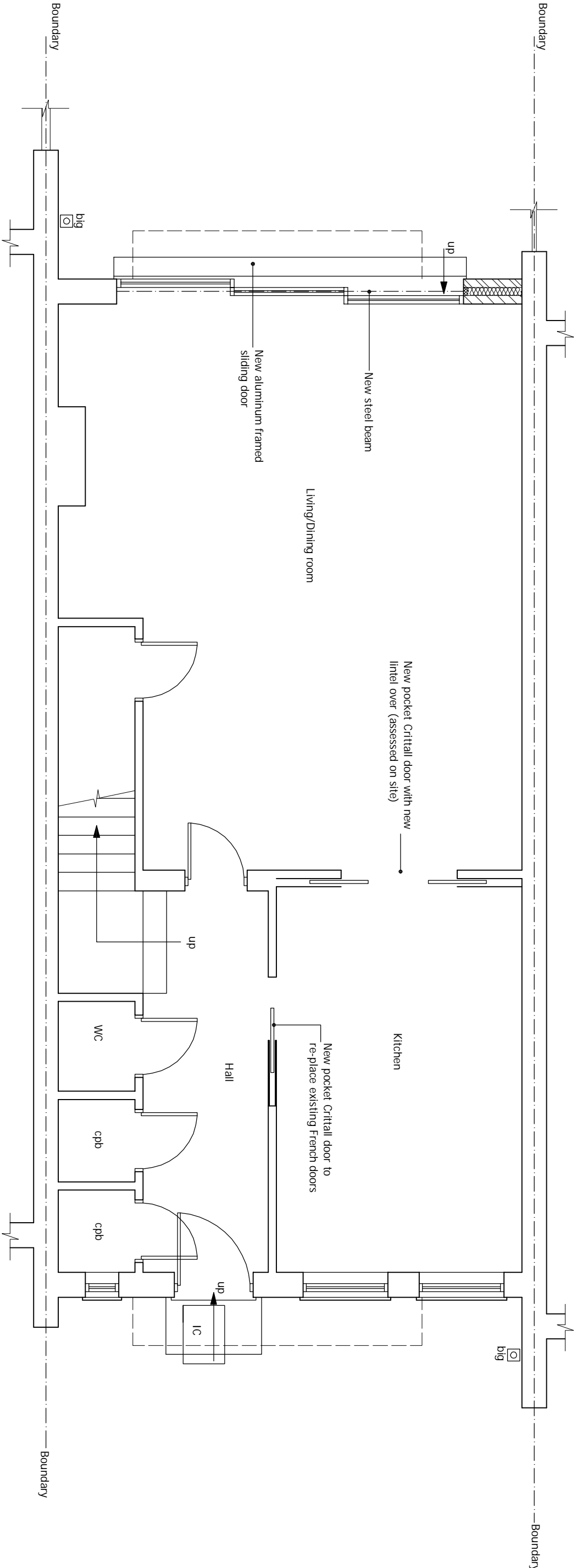


An inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on site and notify building control of results.
THE DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY THE CONTRACTOR.

New internal doors to have 10mm air gap to underside.



PROPOSED GROUND FLOOR PLAN

Scale 1:50



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DRAWING STATUS	CONSTRUCTION	GENERAL NOTES:	
REV.	DATE	NAME	DESCRIPTION

Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings. Structural

Prior to commencement of building works the contractor or homeowner is responsible and should:-

1. Ensure that all working drawings and calculations are completed, approved by Building Control, Planning Departments & that they are the current revised drawings before any works start on site.
2. Inform the Building Control department that the works are about to commence on site after receiving

Architectural Design Studio

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EUSTON, LONDON NW1 1LG
+44 07838 135 957

GENERAL NOTES:
Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check, and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineers' calculations and any specialist supplier's drawings. The homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
2. Inform the Building control department that the works are about to commence on site after receiving on approved decision from planning / building control in writing for your proposed works.
3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, electric, water, drainage, and other services. The contractor to ensure that all services are correctly located and connected. Owner is responsible for establishing own boundary lines as DPL are not responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor.
4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for ensuring that any changes to the design are agreed in writing with the Architect.
5. Owner is responsible for arranging suitable, suitable and covering any engineering details, costs for any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.
6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Clients responsibility)

7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.
8. Works carried out under a building notice or prior to approval of drawings are of the contractor/owners risk. (All DPL drawings must be approved before works commence) and the contractor/owner is responsible for the safety of the works and the safety of the building and adjoining structures.
9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or suppliers drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works. If the contractor/owner is in doubt, they should consult DPL. DPL will advise which is on site then this will need to be brought to DPL attention straight away before works commence and purchase of materials be made so an alternative design can be rectified and approved by building control or the engineer before works can commence.
10. All of DPL structural drawings are subject to building regulations. If the contractor/owner is in doubt, they should consult DPL. DPL will advise which is on site then this will need to be brought to DPL attention straight away before works commence and purchase of materials be made so an alternative design can be rectified and approved by building control or the engineer before works can commence.
11. All work is to be carried out in accordance with the current building regulations. If the contractor/owner is in doubt, they should consult DPL. DPL will advise which is on site then this will need to be brought to DPL attention straight away before works commence and purchase of materials be made so an alternative design can be rectified and approved by building control or the engineer before works can commence.
12. All drainage connections are assumed & it is subject for checking by builder, Thomas will & building control, and approved by building control before works commence.

OTHER NOTES:
All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed windows and doors to be in accordance with the current building regulations. All new proposed windows shown on this drawing which overlook other property's are designed to be non opening and of obscure glazing. For a permitted development left design the former designed on this drawing is set back from the street by 200mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.
An inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on site and notify building control of results. THE DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.
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SITE ADDRESS

6 PARKHILL WALK,
HAMPSTEAD, LONDON, NW3 2YU

DRAWING TITLE

PROPOSED DRAWINGS

DRAWN AT

HEAD OFFICE

DRAWN BY

SCALE

as shown

@ A3

28. FEBRUARY, 2023

DRAWING NO.

DPL. 06.

REVISION

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