



View of the existing garden shed



View of the existing garden shed and the rear boundary



View of the existing garden shed and the side boundary with No. 22 Chesterford Gardens

SITE CONTEXT

The property that is the subject of this application is Flat 4, 24 Chesterford Gardens, London NW3 7DE.

The property is in the Redington Frogna Conservation Area.

The property is not Listed.

TREE PROTECTION CONDITION

Condition 4 of planning approval reference 2022/1910/P states:

Prior to commencement of any works on to the rear garden, details of the Tree protection method statement, shall be submitted to and approved in writing by the local planning authority. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

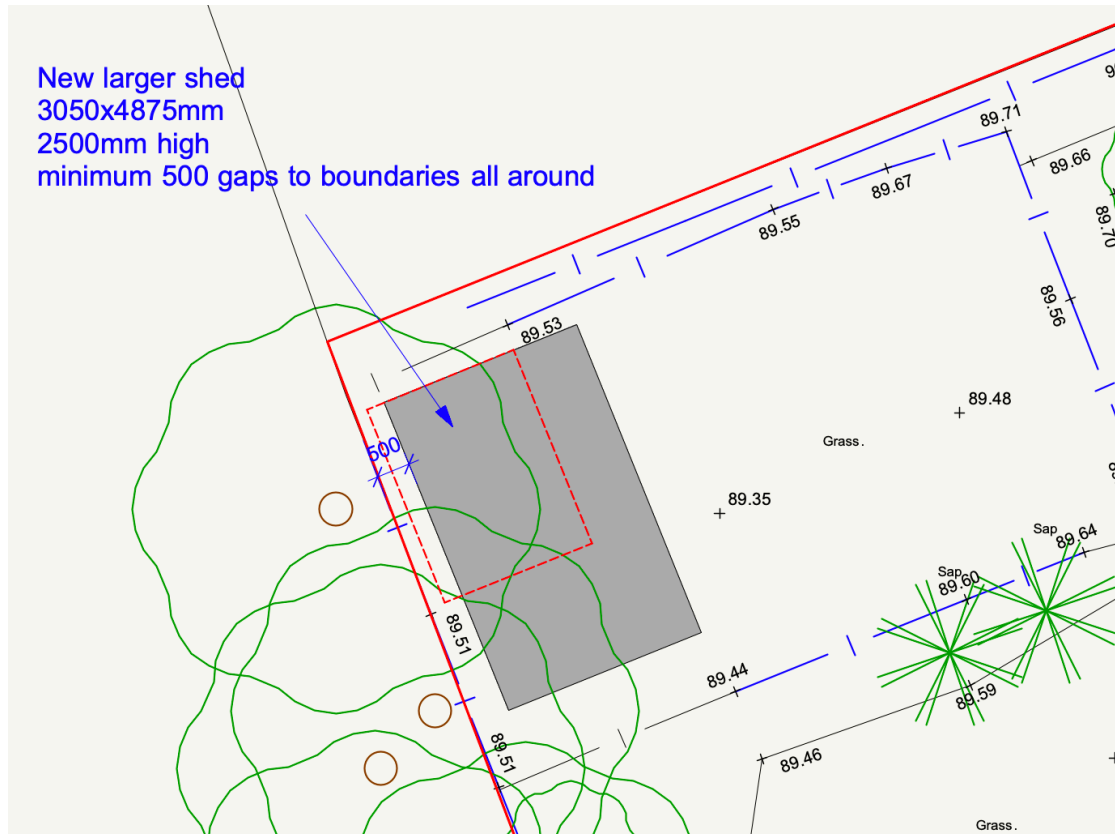
Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenities of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017.

The approved garden shed is larger than the existing but is the same maximum height (2.5m) and is set further away from the rear boundary than the existing

There are no trees in the garden.

The nearest trees are in the adjoining garden to the rear, and these will not be affected by the installation of the approved garden shed as their canopies are significantly higher than the tallest point of the approved garden shed. See the photographs contained in this document.

As such no tree protection is required – especially as there is no construction required (merely the assembly of an ‘off-the-shelf’ garden shed).



Garden shed location

SUMMARY

14.01 No tree protection is required.