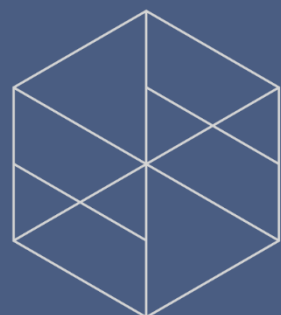
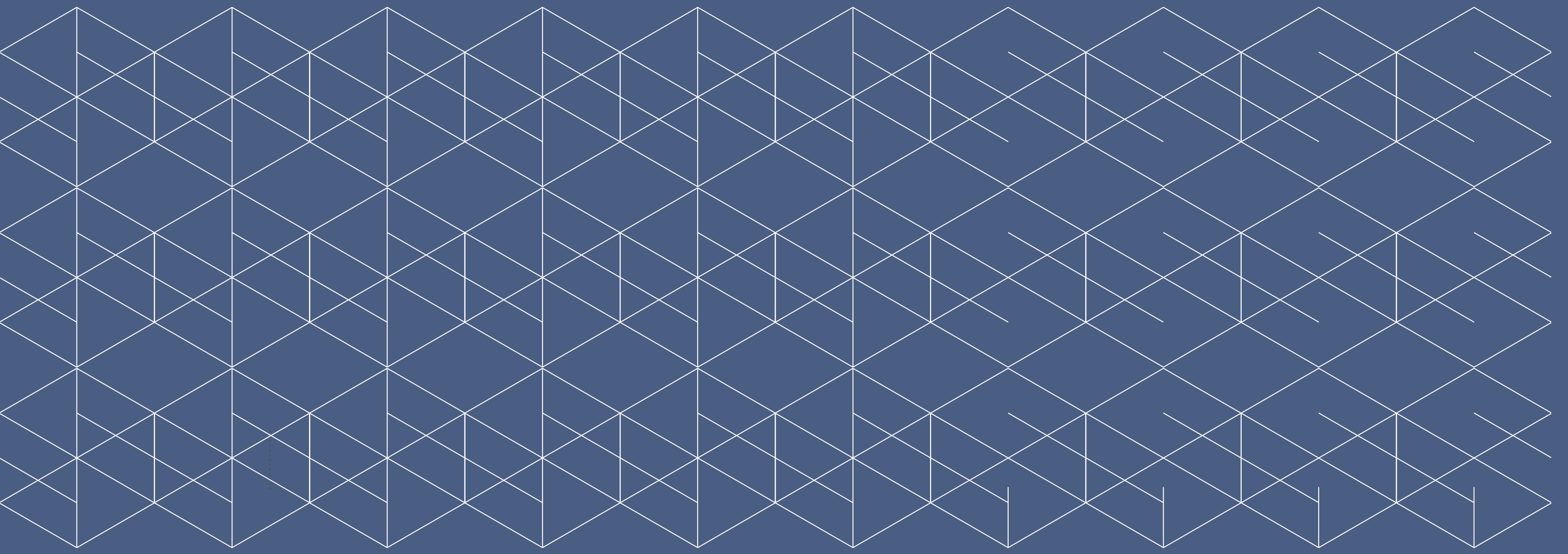


The Architectural Association, no. 36 Bedford Square, London, WC1B 3ES

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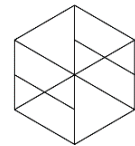
THE HERITAGE PRATICE

February 2023

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1 Introduction

1.1 The following Heritage Appraisal has been prepared by The Heritage Practice in support of proposals for alterations to the Architectural Association's buildings at nos. 34-36 Bedford Square, London, WC1B 3ES (the site). This report should be read in conjunction with the proposed drawings and Design and Access Statement prepared by Built.Works Architects.

1.2 The Design and Access Statement (DAS) describes the proposed scheme in detail. In short, the proposals involve the enhancement, repair and refurbishment of the site's existing Lecture Hall and Library (at ground and first floor respectively) and works to the site's existing heating system that necessitates the removal and reinstatement of some of the site's window joinery. In addition, some structural strengthening is required.

1.3 The existing pipework that provides heating throughout nos. 34-36 was introduced some time ago and photographic evidence suggests that at least a similar arrangement was in situ by the mid 20th century. As explained in the DAS, existing pipework runs behind windows and shutter boxes and without insulation either directly touches the brickwork or the timber of the existing window architraves and surrounds. How this typically works in practice is illustrated in the DAS.

1.4 The Lecture Hall comprises the former ground floor front rooms of no. 34 and no. 35 Bedford Square and the former entrance hall to no. 35 (figure 1). The staircase to no. 35 has been removed entirely and at ground floor level, a server and plant room now occupies the former staircase enclosure. The rear rooms of both buildings are in use as 'Jury Rooms' and form part of the overall Lecture Hall provision although both can be separated off for meetings of smaller groups. The proposals, which involve the overall enhancement of the Lecture Hall facilities (last upgraded in the early 1980s) relate to the entire area as described above.

1.5 The Library occupies the former front rooms of nos. 34 and no. 35 with the party wall between the two houses removed in the late 1910s (figure 2). Rear rooms are variously used as offices and additional Library reference shelves and storage. Lighting levels and servicing for laptop use is generally inadequate and the area generally is in need of repair and refurbishment.

1.6 The scheme as a whole therefore proposes enhancements to the building's environmental performance to its existing and long-established facilities and to the listed buildings as a whole.

Designations

1.7 The existing buildings at nos. 34-36 Bedford Square are grade I listed together with neighbouring buildings on the west side of Bedford Square at nos. 28-38. The list description for the buildings is provided at Appendix A. In respect of nos. 34-36, the list description notes that:

Nos 34 and 35 acquired by the Architectural Association - Britain's first full-time school of architecture - in 1917, whose Head and, from 1920, Director of Education, was Robert Atkinson. In 1919-21 he made many alterations and added studios to the rear, which latter are of very austere design. Ground floor and first-floor front rooms made into one, now respectively lecture room and library, with missing mouldings to No.34 matched up with those surviving in No.35. This includes first-floor ceiling to No.34. First-floor library is a war memorial, with fitted bookcases by Atkinson and a memorial tablet to fallen members, unveiled 1921 and recarved after 1945 to commemorate both World Wars.

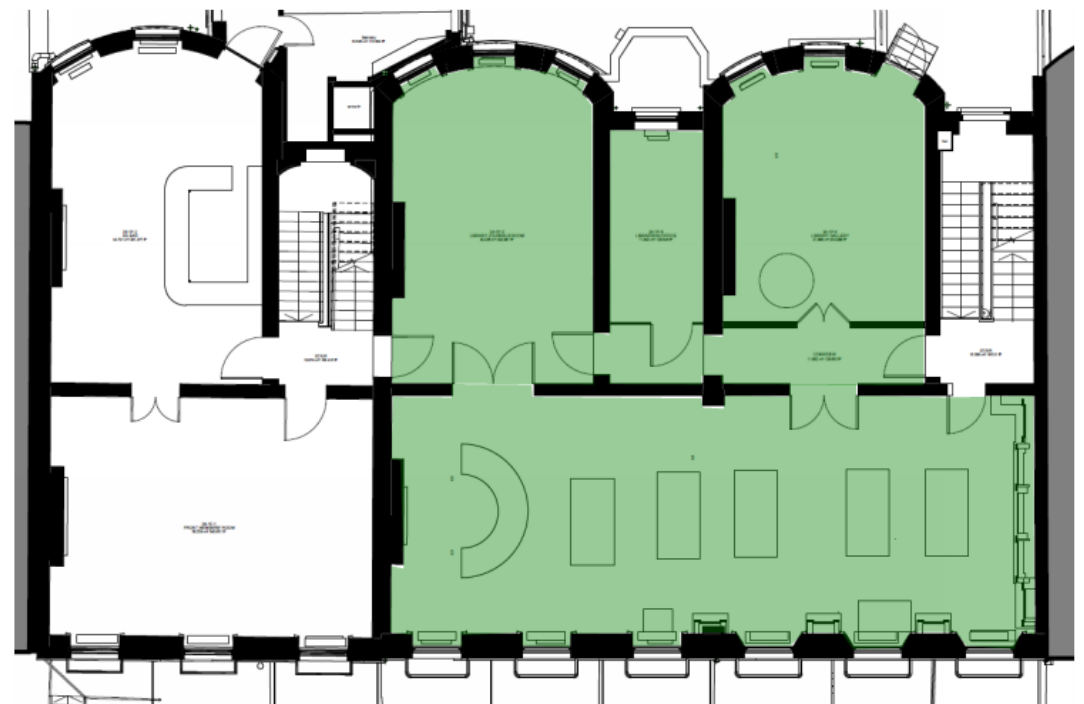
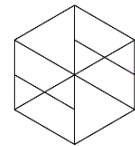


Figure 1 (above): Ground floor plan showing location of Lecture Hall.
Figure 2 (below): First floor plan showing location of Library.

No.35 has no staircase, but retains some fireplaces and original mouldings. Both houses have rear elevations with full-height bowed bays. No.36 also with full-height bowed bay to rear.

1.8 The list description's Historical Note recognises the contribution that the presence of the Architectural Association makes to the significance of the listed buildings and the wider group:

No.36 was acquired by the Architectural Association in 1927 and adapted as offices and members' rooms by Atkinson, who added more studios to the rear - these last again of very simple design. The presence of the Architectural Association in one of London's most important squares did much to promote the special interest and importance of Georgian London, especially amongst the many international architects and writers who came there. Here, for example, Steen Eiler Rasmussen lectured in 1928 and his book on the quintessentials of London architecture, 'London, the Unique City', perfectly captures the homely spirit for which London's Georgian squares and terraces have since been venerated.

1.9 The existing buildings also form part of the Bloomsbury Conservation Area. As none of the works proposed have no impact on the external character and appearance of the building, the significance of the conservation area would be unaffected by the proposals. The following appraisal therefore considers listed building matters only.

1.10 Nos. 34-36 were originally built as individual townhouses but have been laterally converted by the AA and the building is now very evidently in institutional use. The association between the buildings and the AA is an important one and the site's history as a school of architecture obviously now contributes to their overall significance.

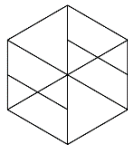
1.11 Historic alterations have had a varied effect on the significance of the existing building. Works undertaken in the 1910s and the 1920s had a very substantial effect on the character of the site, particularly of no. 35 and its relationship to no. 34 where the removal of the party wall between them was removed throughout the building. In addition, no. 35 has lost its principal staircase and ground floor entrance hall. New ceilings and detailing was added to no. 34 during this period in order to harmonise the building with the decorative scheme at no. 35.

1.12 The existing pipework has been invasive although hiding the majority of drops throughout the building behind the window joinery has, in the main, at least maintained the historic aesthetic of the areas in question. The proposed works will now significantly enhance the environmental performance of the building and address the matter of heating pipes resting against the existing brickwork and/or joinery. Other works proposed are mindful of the buildings' grade I listing and are intended to support the school's use and occupation of the building while respecting the importance of the site's historic fabric.

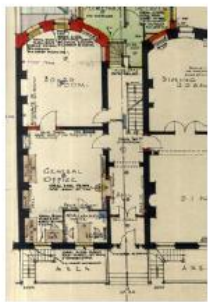
Pre-application advice

1.13 Pre-application advice was sought from LB Camden in August 2022 (2022/3478/PRE) and received in September 2022. The advice set out that:

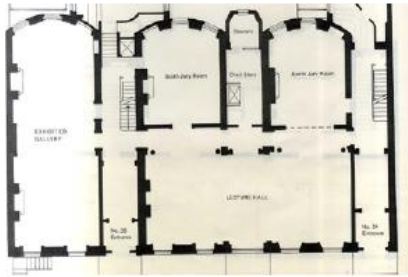
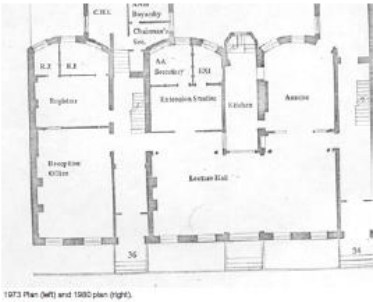
- **Proposed insulation works.** Generally this work is supported. However where the insulation installation involves the removal of historic joinery this should be subject to a method statement. See comments below.
- **Third Floor works.** Details of the boxing in would be needed otherwise this part of the proposals is likely to have our support.
- **Library alterations.** General redecoration and refurbishment of the walls and shelving sounds uncontentious.



Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
2	No. 35 was acquired in 1926 and alterations to the building were undertaken at this time. The finished to the hall was built up in 1926 and the parcelling is also likely to have been added at this time. Drawings from 1926 indicate that the inner doors and screen were also added at this time. The rear wall of the stair compartment was removed with new stairs ascending an extension to the rear. The floor also appears to have been raised to above at this time. Historic drawings also indicate that there was an opening between Rooms 1 and 2 through the front room wall to create an 'emphy window'.	Stone floor but probably 1920s. The floor finish is of medium to high significance.	1920s parcelling and mid-20th century work to room dividing entrance hall and Room 1. This work is of low significance.	The cornice and ceiling to the entrance hall appear to be original and are of high significance.	The inner screen door dates to the late 1920s and matches that to no. 34. The screen is likely painted but is not original to the building and is therefore of low significance.	The principal staircase is of a very high quality and of the highest significance.	The existing hallway and ground floor stair compartment are of interest as the principal entrance to the original 19th-century house. The space has been altered with new stairs and finishes but the entrance hall retains legibility as a key space within the historic building. There was a mixture of new and historic finishes. The overall significance of the space is medium to high.



Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
3	Room 3 is the former rear room of no. 35 Bedford Square. It has been altered to a degree. The doorway from the front room was widened in 1918 and new doors added. One window was blocked and mirrored in 1926. An opening made in 1918 to the rear of the room was blocked in 1926. By 1917, the room was subdivided into two compartments and by 1926, a doorway was made through to the rear of the stair compartment in no. 35.	Modern carpet finish with underlying fabric unknown.	Walls boarded over with modern fabric for display above the door. The door doesn't appear to match historic photographs and may be a 20th-century replacement. Underlying fabric to walls is unknown.	Ceiling looks to be historic with cornice matching that to the front room. Subdivision historically may have disrupted any original historic ceiling. The ceiling and cornice are of the highest significance.	Good quality windows of the highest significance.	Original fire surround of the highest significance.	Room 1 retains some historic character but has been much altered through window replacement, a new floor finish and the opening up between front and rear rooms (although with rise and banister), legibility of the former ground floor is retained). Given that Room 1 is a principal floor of no. 35 the room is overall medium to high significance although existing finishes.



Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
4	Room 4 was the original location of no. 35's principal staircase. This was removed in 1918. An original opening to the rear room of no. 35 was blocked at the same time and new openings were added towards the rear elevation into both the rear room of no. 34 and no. 35. Service lifts were also added. This room was subsequently altered several times during the 20th century and is now auxiliary to lecture hall use with all new modern fittings and finishes.	Modern floor finish of low significance.	Modern wall finishes of low significance.	Modern ceiling finish of low significance.	Modern window of the lowest significance.	None.	Given the wall's history of change, the fabric in this area is of the lowest significance.

Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
5	In 1918, alterations were carried out to this room. Alterations removed the stair and chimney breast. This may have necessitated the subsequent downward now present in the centre of the room. In 1926, the chimney breast was reconstructed using 'timber and plaster'. Also added was a staircase going down to lower ground floor in the corner of the room (see better plan of 1926). An original opening between front and rear rooms was blocked in 1926 but this wall has now been significantly cut away with modern doors dating to c. 1980.	The floor is likely to have been much disturbed through works to create a staircase to the lower ground floor level. While the floor is covered in a modern carpet finish and the underlying fabric is unknown, it is likely that the floor is now early 20th-century in date and of low significance.	The wall finishes are also likely to be of the late 1910s/1920s and are therefore considered to have low significance.	The AA undertook major decorative works to no. 34 from 1917 in order to make it more consistent with the original building. The existing cornice matches that to no. 35, rather than being a Greek revival style, and is also run around the downstairs beam with a clearly an eclectic feature. This suggests that the ceiling and cornice in the rear room are 1920s in date and are therefore of low significance.	The window to the rear elevation are 1910s/1920s and are of low significance.	None.	The rear room of no. 34 has been removed since the AA's acquisition and in the context of the existing dwelling is of low significance.

As you say the report on the cracking of the walls and plaster work should be available by application stage. Further discussion can take place once this information is ready.

- **Proposed Lecture Hall works.** Details of the proposed new wiring, floor boxes and lighting etc will be required. The inclusion of lighting, sockets, WiFi etc within new desks would be encouraged. Recessed spot lights should be avoided particularly in the principal rooms and locations where they can be seen from Bedford Square.
- **Proposed Lecture Hall works.** Details of the proposed new wiring, floor boxes and lighting etc will be required. The inclusion of lighting, sockets, WiFi etc within new desks would be encouraged. Recessed spot lights should be avoided particularly in the principal rooms and locations where they can be seen from Bedford Square.
- **Proposed joinery works to include dismantling of window joinery and flooring.** Any submission for these works should be accompanied by a method statement to include details of the method of removal of the joinery, a photographic record, details of the protection, labelling and storage of individual joinery pieces to be removed during the course of the works and the method of reinstatement. Along with details of the protection of joinery and other historic fabric remaining in situ i.e. fireplaces and plaster work, in the relevant areas. A document identifying the buildings fabric of historic or architectural significance should also be provided with any application for works made to the Planning Authority.

1.14 Since pre-application stage, the proposals have been more fully developed and are now the subject of the current application. While there was no in principle objection to any of the works proposed at pre-application stage, further information was requested including a more detailed assessment of significance and method statements. In addition to providing this as part of this application, further information on the fabric and structure of the building is also provided (figure 3).

Research and report structure

1.15 The purpose of this report is to set out the historic development and significance of the site as it relates to the proposed scheme and to assess the proposals against that significance and relevant historic environment policy

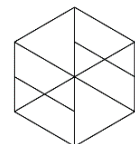
1.16 In developing an understanding of the existing building, desk-based and archival research has been combined with a visual assessment and appraisal of the existing building with particular focus on the development of the buildings since acquisition by the AA in 1917, the Lecture Hall, Library and window joinery in particular. Research has been carried out using the Architectural Association's archives, at the London Metropolitan Archive and the RIBA and using the London Borough of Camden's historic planning files. The more detailed findings of research and site assessment are summarised in the table referencing the significance of various areas and features provided at Appendix B.

1.17 This appraisal is divided into two main sections. The first (Section 2) describes the site and its historic development and significance. This section provides an overview of development and significance with more detailed judgements in respect of specific areas set out at Appendix B. The second part of the report (Section 3) provides an overview of the proposed scheme and assesses it against significance and relevant the relevant historic environment policy and statutory provision.

Author

1.18 This appraisal has been prepared by Kate Graham of The Heritage Practice. Kate Graham (MA (Hons) MA PG Dip Cons AA) has extensive experience in dealing with proposals that affect the historic environment having in recent years been Design & Conservation Manager at the London Borough of Islington and Senior Historic Buildings

Figure 3: Assessment of significance as set out in the DAS.



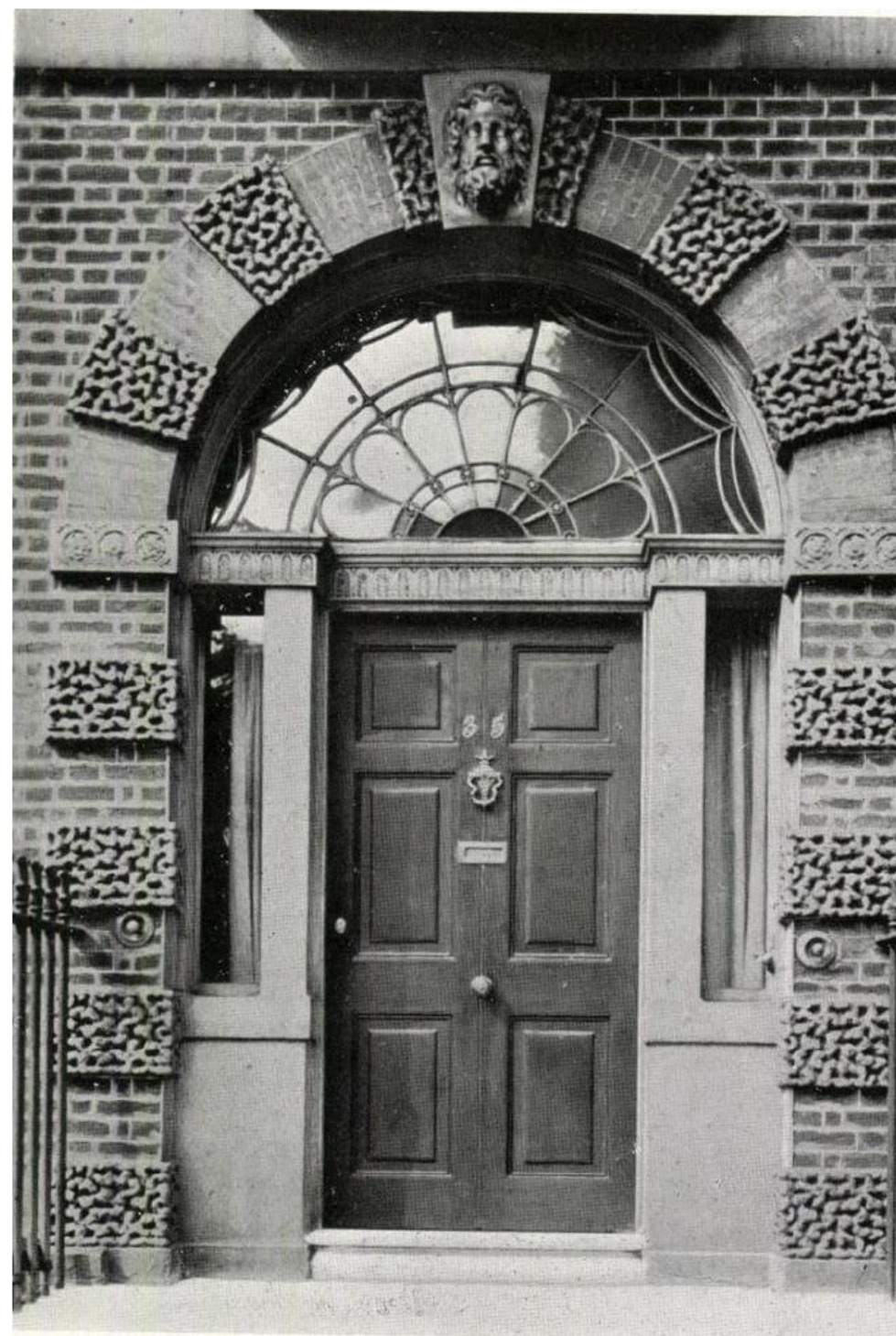
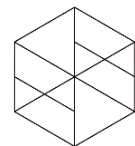
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at Areas Adviser at Historic England. She also has an extensive background in research, in policy analysis and in understanding historic buildings and places. She has trained as a historian and has a specialist qualification in building conservation. Kate is also a member of the London Borough of Islington's and the London Borough of Hackney's Design Review Panels.

1.19 Historical research for this report was undertaken by Dr Ann Robey FSA, a conservation and heritage professional with over twenty years experience. She has worked for leading national bodies as well as smaller local organizations and charities. She is a researcher and writer specialising in architectural, social and economic history, with a publication record that includes books, articles, exhibitions and collaborative research.



35, BEDFORD SQUARE: THE FRONT DOOR.

Figure 4: Former front door to no. 35 (removed c. 1919 and replaced with window).

2 Historic development and significance

2.1 The following section provides an overview of the historic development of the site and its significance.

2.2 Bedford Square in Bloomsbury is one of London's most complete Georgian compositions. Built as a speculation in c.1775-86 on the Bedford Estate, it was the first square in London to be planned and built as a self-contained architectural unit. Each side is treated as an individual palace-front with a central pediment feature flanked by wings. It was said that 'Its size, much smaller than Grosvenor or Russell Squares, but larger than the exclusive residential enclaves off King's Road and Knightsbridge, allows it to combine grandeur with intimacy, formality with spontaneity' (Jeremy Melvin, Wright & Wright's AA revamp revealed in *The Architectural Review*, 28 Sept. 2012).

2.3 It is fitting therefore that since 1917 the Architectural Association (AA), the oldest independent school of architecture in the UK which was founded in 1847, has occupied buildings on the western side of Bedford Square. In 2012, in an article in *The Architectural Review* it was said '*It's a paradox*' that Georgian architecture has nurtured Avant Garde architects, says immediate past president (2009-11) Alex Lifschutz, 'but an amusing one'.

2.4 Having acquired first nos. 34 and 35 Bedford Square in 1917, (no. 36 came soon after) the AA now occupies all of the buildings from nos. 32 to 39 and a building on Morwell Street behind, the former location of the mews behind the Georgian terraced houses.. The following section considers main changes to the houses at nos. 34-36 since they were acquired by the AA in the second and third decades of the 20th century. The buildings on Bedford Square are of national architectural importance with nos. 32-38 listed at grade I and no. 39 listed at grade II.

2.5 The following section should be read in conjunction with Appendix B of this appraisal which sets out the findings of detailed research and site assessment resulting in a determination of the significance of relevant areas. The following section provides an overview of this work.

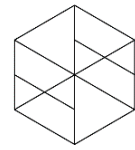
Early History

2.6 After completion, no. 34 was leased in 1776 to a William Barlow for a period of 99 years. As set out below, the building underwent a complete scheme of redecoration in the Greek Revival style most likely in the early 19th century and much of the building was restored to match no. 35 in the 1920s. The cast iron balconies at first floor on the front elevation are late-Victorian in date (*Bedford Square, An Architectural Study*, Andrew Byrne, 1990). The building retains features of interest such as its original staircase, fireplaces in certain areas and decorative plaques depicting classical scenes. At least one of these, that to the stair on the ground to first half-landing, has been relocated from elsewhere in the building.

2.7 No. 35 was leased to John Berry, glazier of St George Hanover Square in November 1776. Byrne records that good decoration within no. 35 was used to replicate detailing to no. 34 (as set out below) and that there is '*severe structural movement on the party-wall line with no. 36*'. Byrne also notes that the windows in the bow to the rear elevation are probably much later than the house (these windows in fact date to the 1920s as set out in the accompanying schedule of existing windows).

2.8 No. 36 was also first leased in November 1776 for a period of 99 years. This building is the southern end house of the palace-fronted west side and has a balustraded parapet as cast iron balconies to the first-floor windows. Internally, there is a very good principal and secondary staircase and a decorative ceiling to the first floor front room.

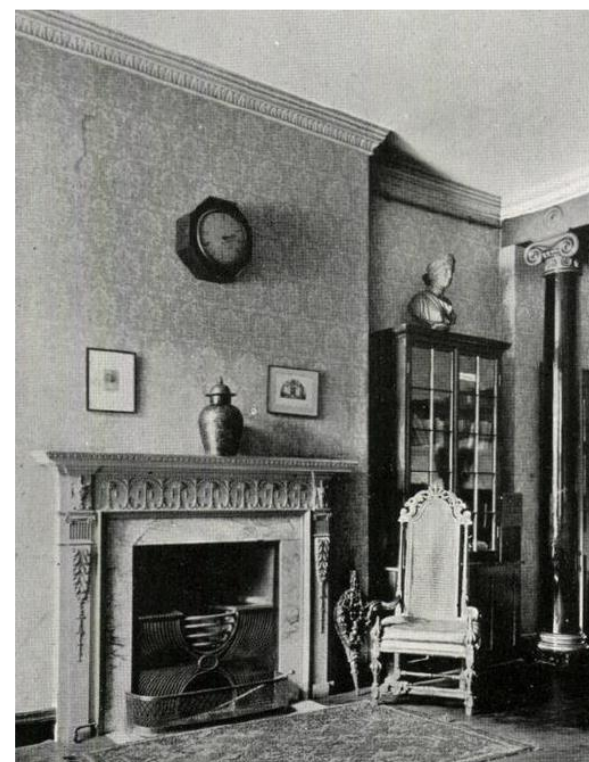
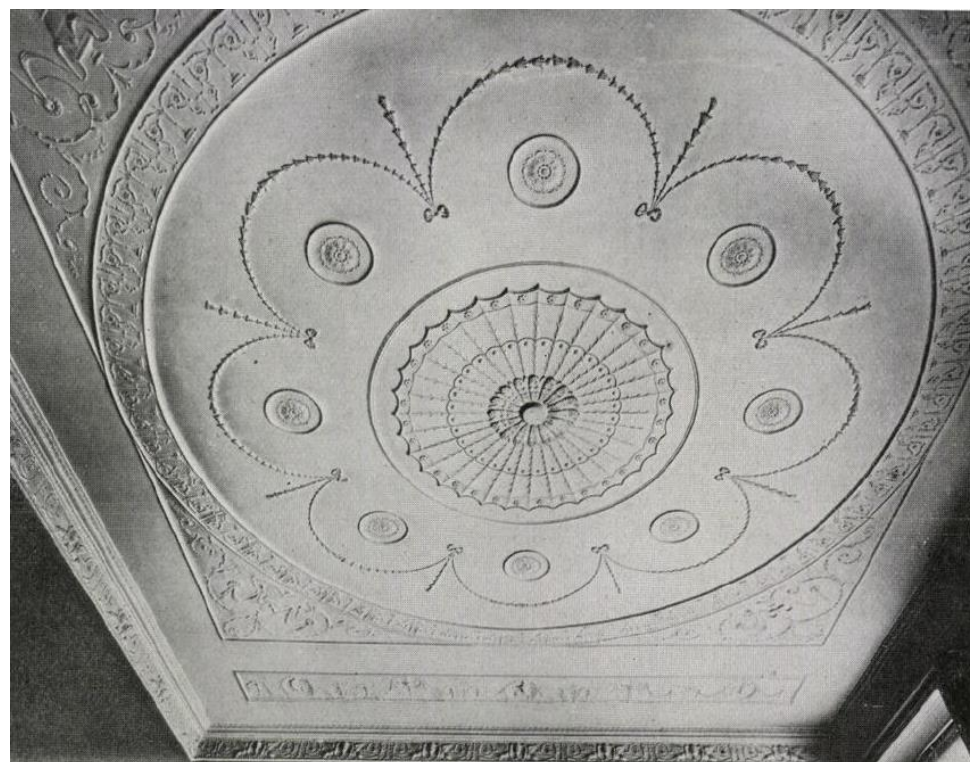
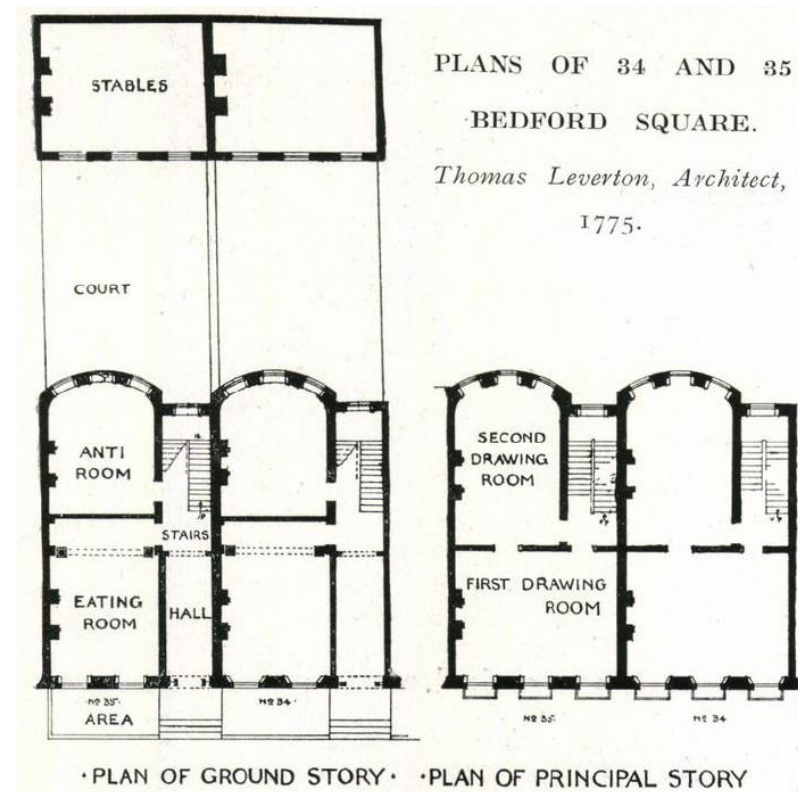
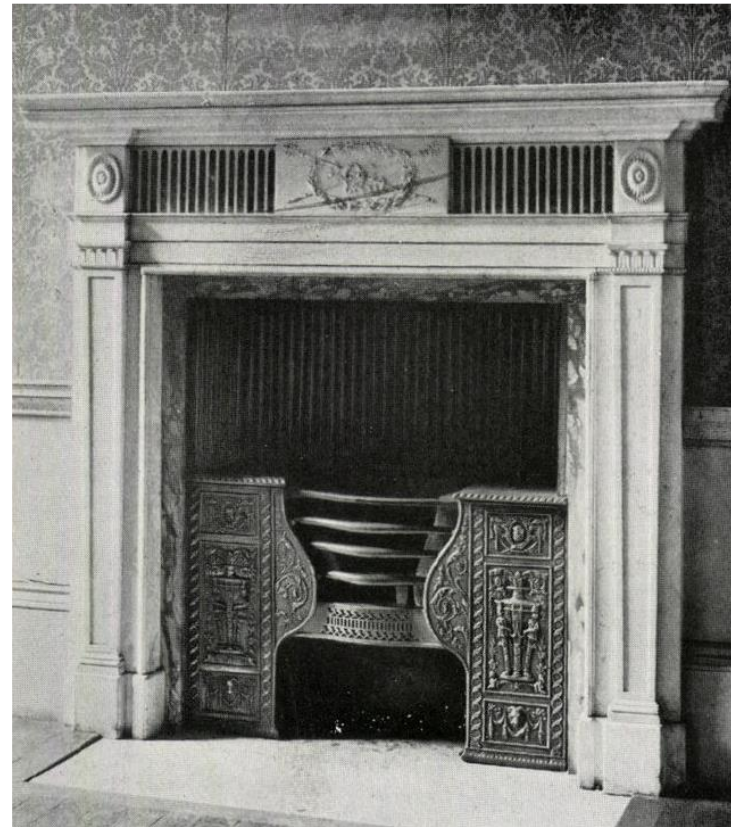
2.9 In 1917, *Country Life* published an account of nos. 34 and 35 following the acquisition of the buildings by the



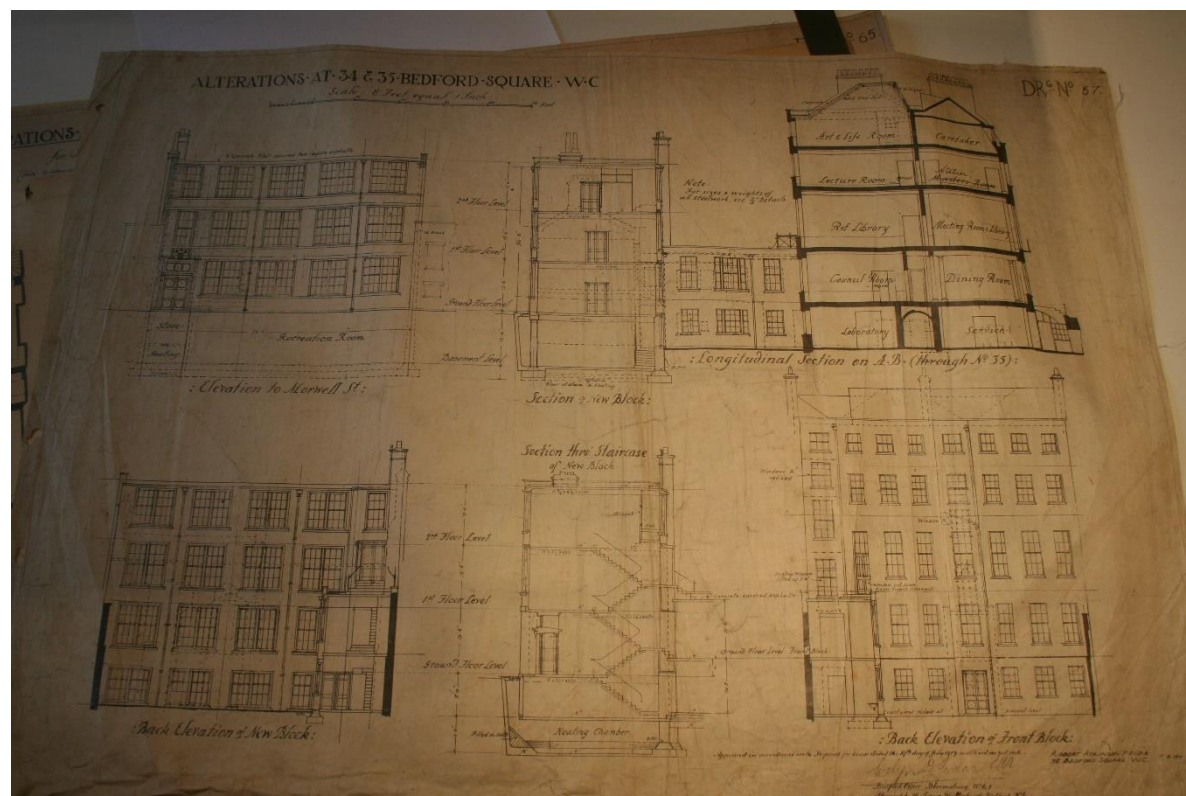
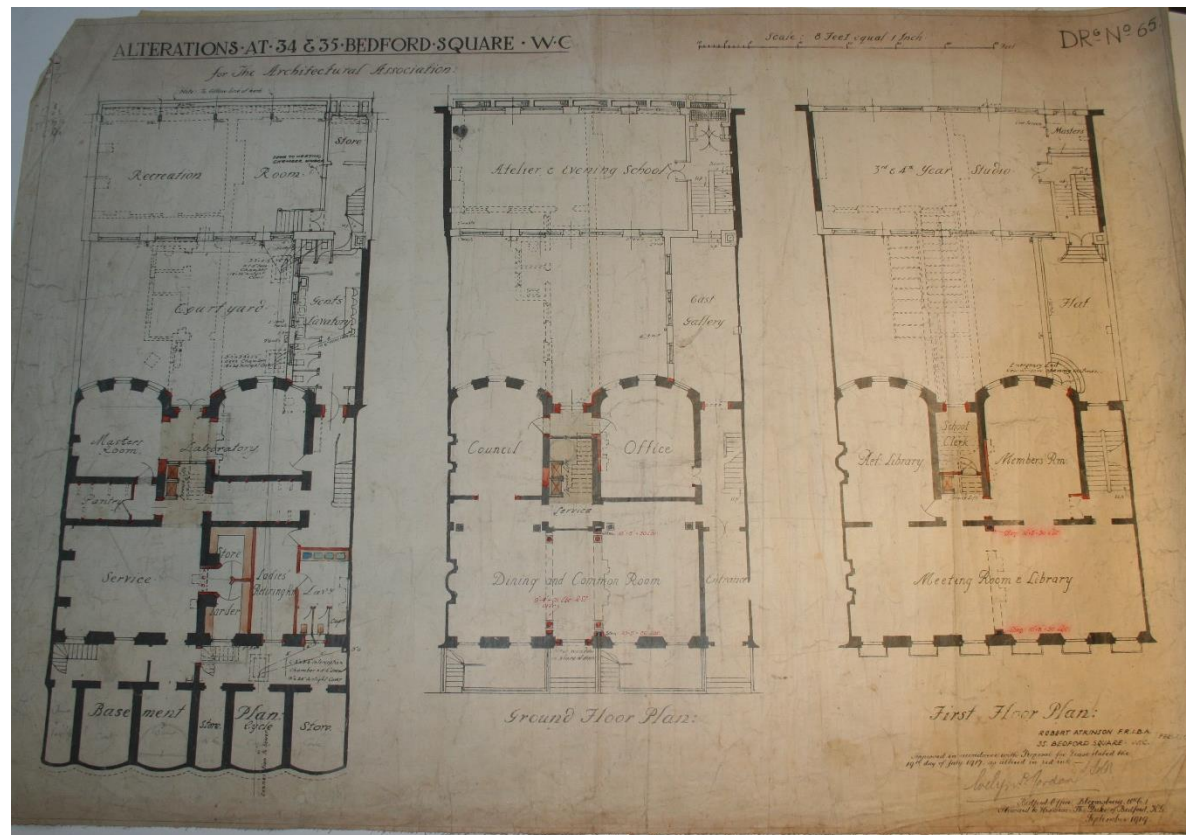
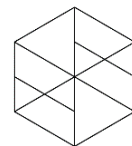
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Above: Figure 5 (right): No. 35 ground floor rear room fireplace (still *in situ*); Figure 6 (centre): first floor front room fireplace to no. 35 still *in situ*; Figure 7: Historic plan form of nos. 34 and 35.
Below: Figure 8 (left) ceiling to no. 35 first floor front room (*in situ*); Figure 9 (right): former decorative scheme, columns and fireplace to ground floor front room of no. 35 (removed).



reconstructed under the influence of the Greek Revival. The leading features of the interior of no. 35, as will be seen by the illustration (figures 4-9), are a room on the ground floor with a columned recess, a good ceiling on the first floor, and some interesting marble mantelpieces in which coloured inlays are used, as in Stratford Place. The friezes of the chief rooms closely resemble Adam patterns.'

2.10 The account and accompanying illustrations show an interesting bias towards the then character and appearance of no. 35. No. 34, in its Greek Revival style, was considered to be of far less interest architecturally. As shown below, this was to have a bearing on the future of no. 34 which was adapted during the late 1910s and 1920s to match the detailing and appearance of no. 35 Bedford Square. Notwithstanding the high regard in which no. 35 was held, fundamental alterations were undertaken to the building that have diminished its significance including the removal of its front door, staircase and party wall between nos. 34 and 35 at ground to third floor levels (as set out below).

The history of the AA in Bedford Square

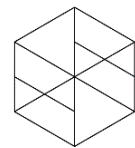
2.11 Since its foundation in 1846, the Architectural Association (AA) has occupied a number of different locations, including Lyon's Inn Court (1847-1859), no. 9 Conduit Street (1859-1891), Great Marlborough Street (1891-1902) and no. 18 Tufton Street (1902-1917). The Tufton Street lease was sold in February 1916, and a new home, 'in which to reconstruct the AA after the war' was therefore required. In 1917, the AA acquired a 40-year lease of two houses at nos. 34 and 35 Bedford Square. To fit out the premises for the occupation of the AA only essential work was carried out (presumably due to wartime restrictions).

2.12 When the AA took over the buildings in 1917 there were courtyards and mews buildings to the rear (figure 7). These were demolished to allow the alterations to the main buildings to take place, which were underway by 1919 (figure 10), and a new block containing the large studios and a reception-room in the basement was erected on the site on Morwell Street (figure 11). The new Morwell Street block was connected to the former houses on the site by a two-storey block, the upper part of which was level with the ground floor of the Bedford Square buildings. The connecting gallery exhibited casts and below were toilets and a cloakroom. In the main building it was said that 'as little as possible of the old work was destroyed' (*The Architects Journal*, 13 Oct. 1920). However, the staircase at no. 35 was removed as was the party wall between nos. 34 and 35 to create a dining room and meeting room and library at ground and first floor levels and to provide more flexible areas at the upper levels.

2.13 As has been noted, out of the two houses, no. 35 was said to retain most of its original ceilings, cornices, fireplaces, while no. 34 had been decorated in the Greek Revival style and nearly all the original cornices, fireplaces and other details had been removed. Casts were made of details to no. 35 and the cornices at no. 34 reinstated with replicas of these. The front room on the first floor of no. 35 – in 1920 the meeting room and library – had a fine Adam ceiling and a cast was made of that and erected in the corresponding part of no. 34, with the cornices altered to match. The only exterior alterations were the removal of the door to no. 35 (replaced by a window) and the removal of the old chimney stacks between the two houses. The windows at no. 34 were restored, as the originals had been lost (*The Architects Journal*, 13 Oct. 1920).

2.14 Subsequent re-modelling and construction work in Bedford Square included completing the first floor Memorial Library in 1921 which was designed by Robert Atkinson and dedicated to the 96 Association members killed in the war. It included the existing shelving units and a marble commemorative plaque fitted and above the retained fireplace to the front room of no. 35 was a carved marble slab over the fireplace (figure 14). Various images of the library from the 1920s, show its evolution during this early 20th century period (figures 12-15).

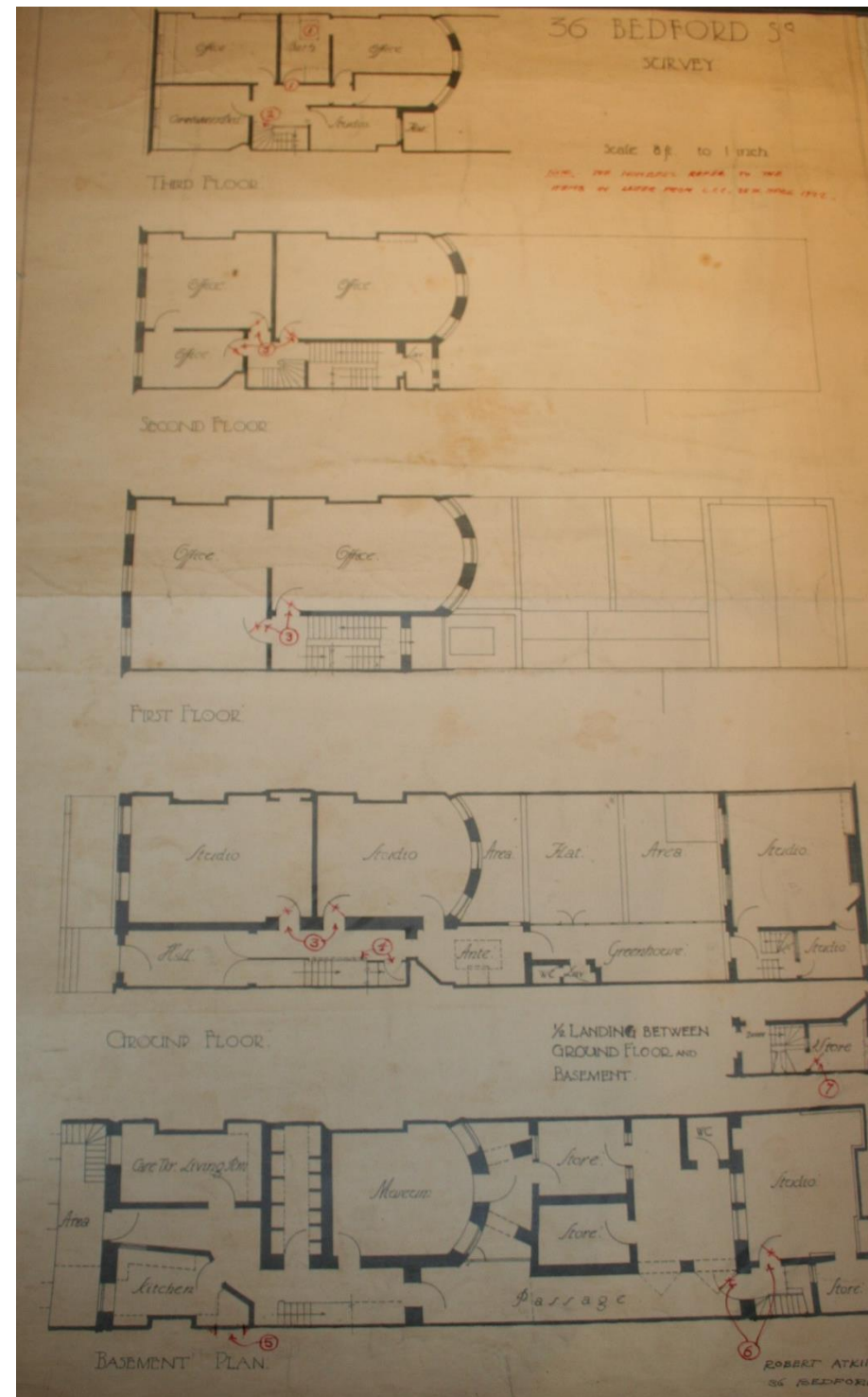
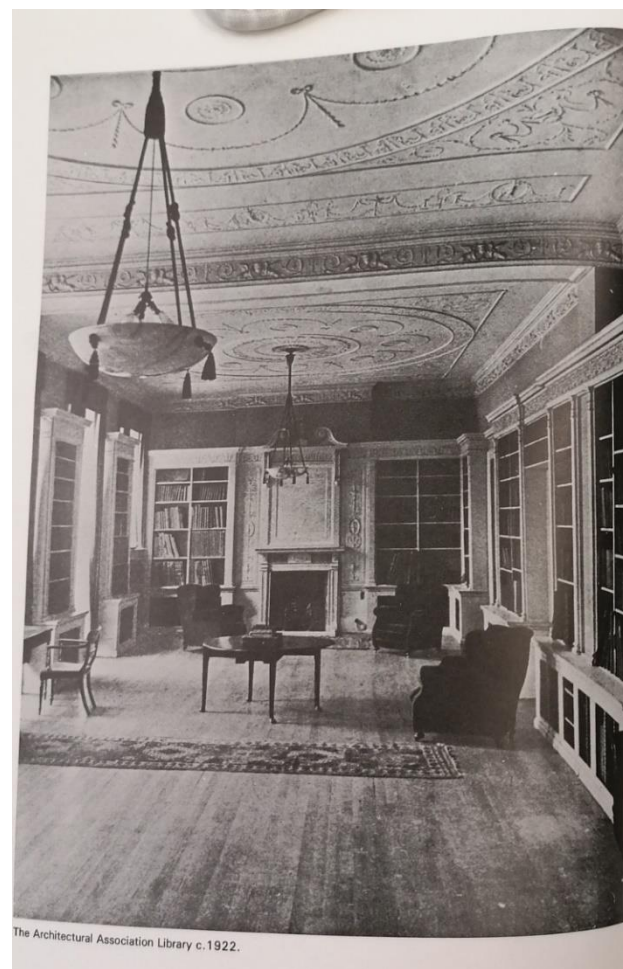
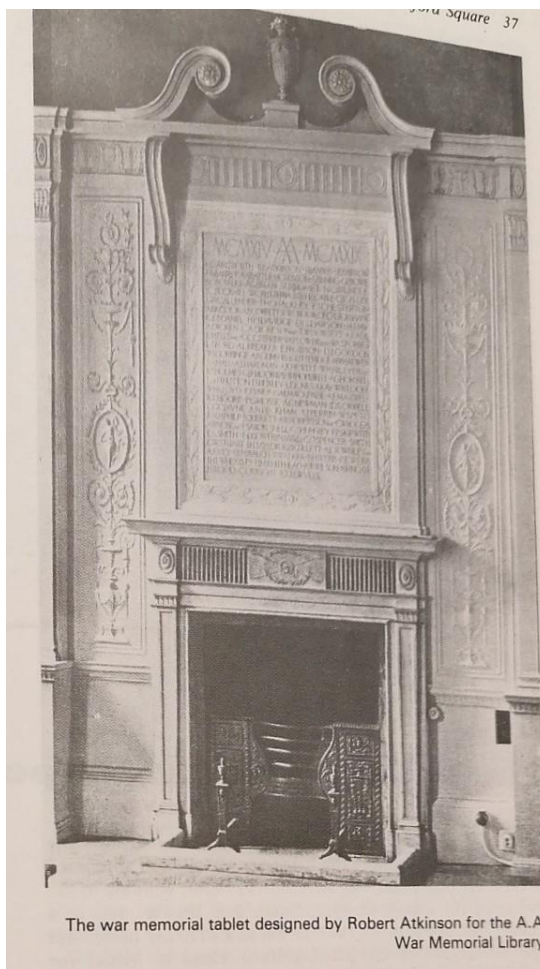
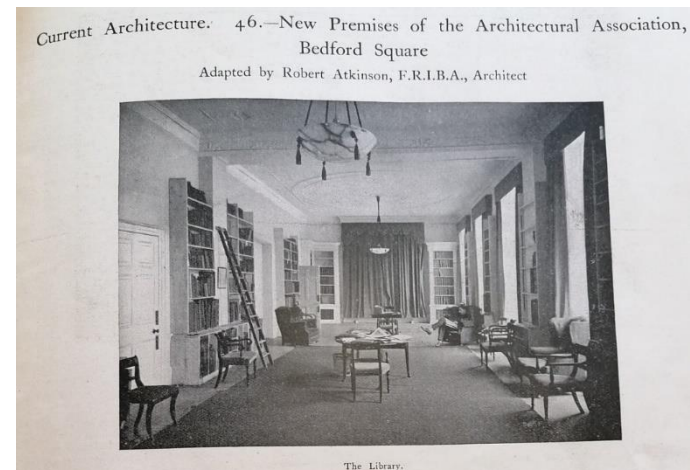
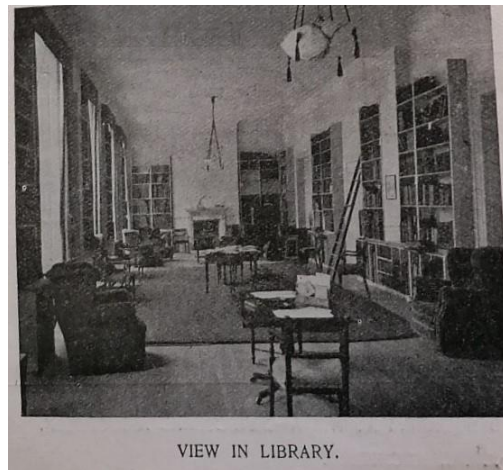
Figure 10 (above): Atkinson alterations, 1919.
Figure 11 (below): Morwell Street extension, 1919.



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Above: Figure 12 (left): The library in 1920 prior to the construction of the Memorial Library; Figure 13 (right) the Library, 1920 (both © The Architects Journal 13 Oct 1920).

Below: Figure 14 (left): The memorial plaque above the fireplace and accompanying decorative scheme; Figure 15 (right): The Memorial Library after completion (1922).

Right: Figure 16: Plans of no. 36 Bedford Square prior to alteration and lateral conversion into nos. 34 and 35 Bedford Square.

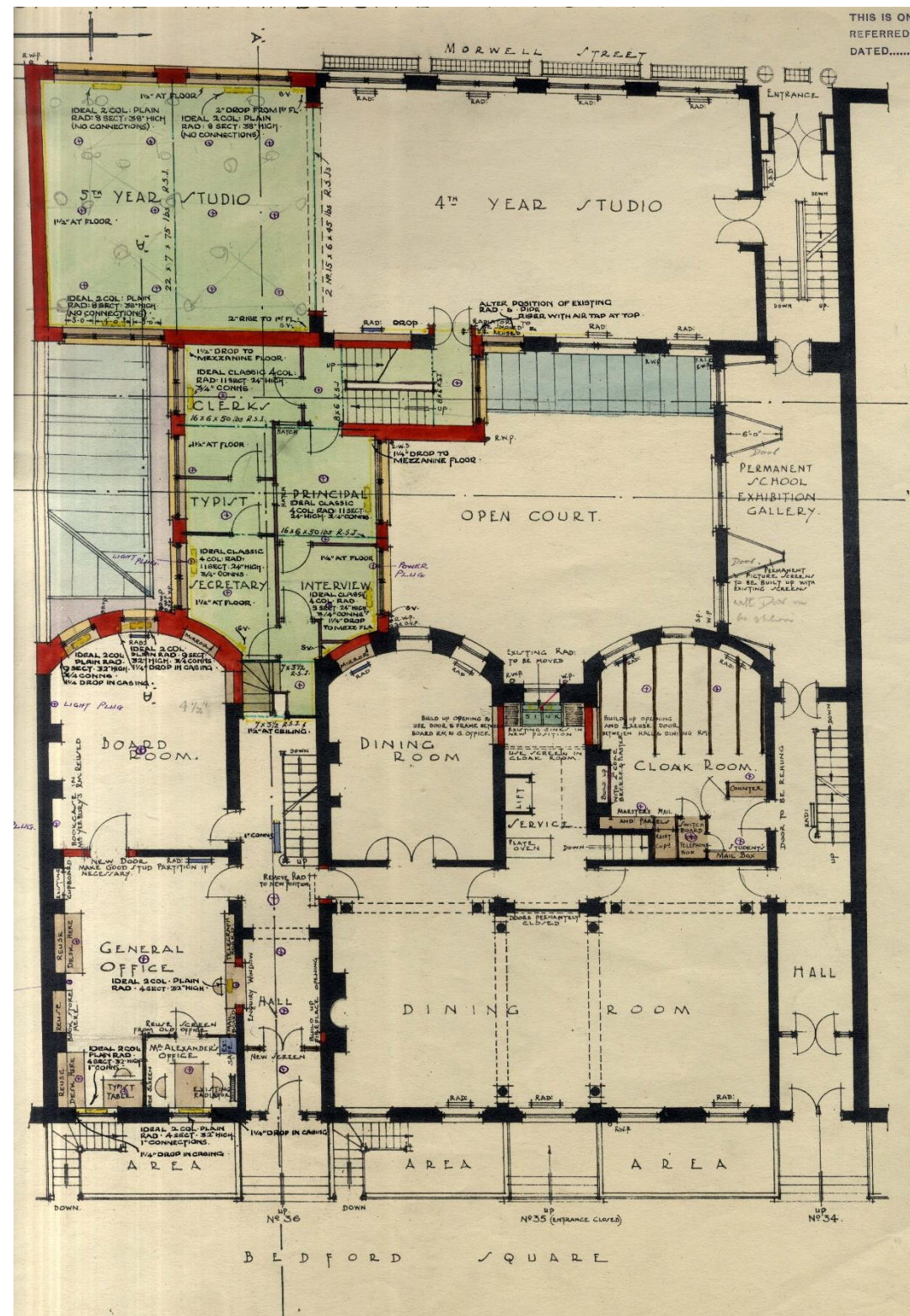
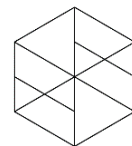


Figure 17: Atkinson ground floor plan, 1926.

2.15 The next important alterations to the site took place in 1926 when Easton & Robertson undertook works at the premises which had by that date been extended into no. 36 Bedford Square (survey plan before works at figure 16).

2.16 Published plans show the alterations and additions that occurred at this time (figures 4 and 5). The works included the construction of an extension to the Morwell Street studios and the reconstruction of the rear bay to no. 35 (evident in the 1920s windows and associated joinery to the rear elevation). An office and reception desk were linked to the entrance hall of no. 36 and the small fireplace and panelling were added to the entrance hall. Minor changes to the layout of the rear ground floor rooms were undertaken, including the provision of a stair in the rear ground floor room of no. 34 providing a link to the basement (figures 17 and 18). Other elements of the 1920s work are considered at Appendix B.

2.17 In 1939, at the outbreak of war, the upper floors of Bedford Square were closed off and part of the studio blocks let to the YMCA. The Library remained open but was temporarily shut in October 1940 because of substantial damage sustained when the Library windows were blown out after a nearby bomb blast. At that time, it was very much regretted that: 'the exquisite fine moulding on the glazing bars each strip made of three kinds of wood had gone forever' (Elizabeth Dixon, *Architectural Association Library*, 1981). Given that the windows to no. 34 were replaced in c. 1919, it can be safely assume that the windows referred to relate most likely to the windows in no. 35 Bedford Square. During WWII the school re-located to Mount House, Barnet, before returning to Bedford Square in January 1945. In 1950, the memorial tablet over the Library fireplace returned to the building (it had been removed to add the names of those who had died in WWII).

2.18 By the early 1980s it was reported in *The Architectural Review* that although elegant when viewed from the street, the interior was 'desecrated' and apart from the main reading room of the Library, there was evidence of vandalism everywhere (*The Architectural Review*, October 1983). The director Alvin Boyarsky believed that the AA needed to present itself as a refined and intelligent institution. So, in the 1980s a programme initiating the refurbishment of the main public rooms was initiated. AA alumnus Rick Mather was employed to revamp the bar, 'the focal point of the school', and to create a decent restaurant, bookshop, slide library, creche and to tidy up the main lecture and exhibition rooms. By late 1983 this work was complete.. It was reported that Mather's 'cool labelless style approach seems appropriate for a school more international than almost any other' (*The Architectural Review*, October 1983).

2.19 From 1990 to c. 2010 the AA grew in size, and more premises surrounding the Bedford Square core were rented to accommodate the students and staff. In 2005 the School purchased the leases on No. 16 Morwell Street and also those for Nos. 32, 33, 37, 38 and 39 Bedford Square, thereby consolidating the AA onto one campus in Bedford Square.

Significance

2.20 The buildings today are clearly of significance for the role in the composition of Bedford Square and as such, they are rightly afforded Grade I listed status. Historically, the buildings had high quality late 18th century interiors and while some of these remain *in situ* and legible, much of the house's earliest fabric has been removed or altered either through historic phases of refurbishment prior to the AA's occupation or through the early works that formed the centrepiece of the AA campus as it is today.

2.21 The buildings are also of significance for their association with the AA itself, the UK's oldest independent school of architecture which is also of international importance and standing. The early years of the AA at Bedford Square have undoubtedly made a substantial impression on the former individual houses through lateral conversion, the removal or replacement of walls, ceiling finishes and floors and the creation of the principal educational facilities of the Library and Lecture Hall. The result however is that much of the buildings superficial features and fabric are 1910s/1920s

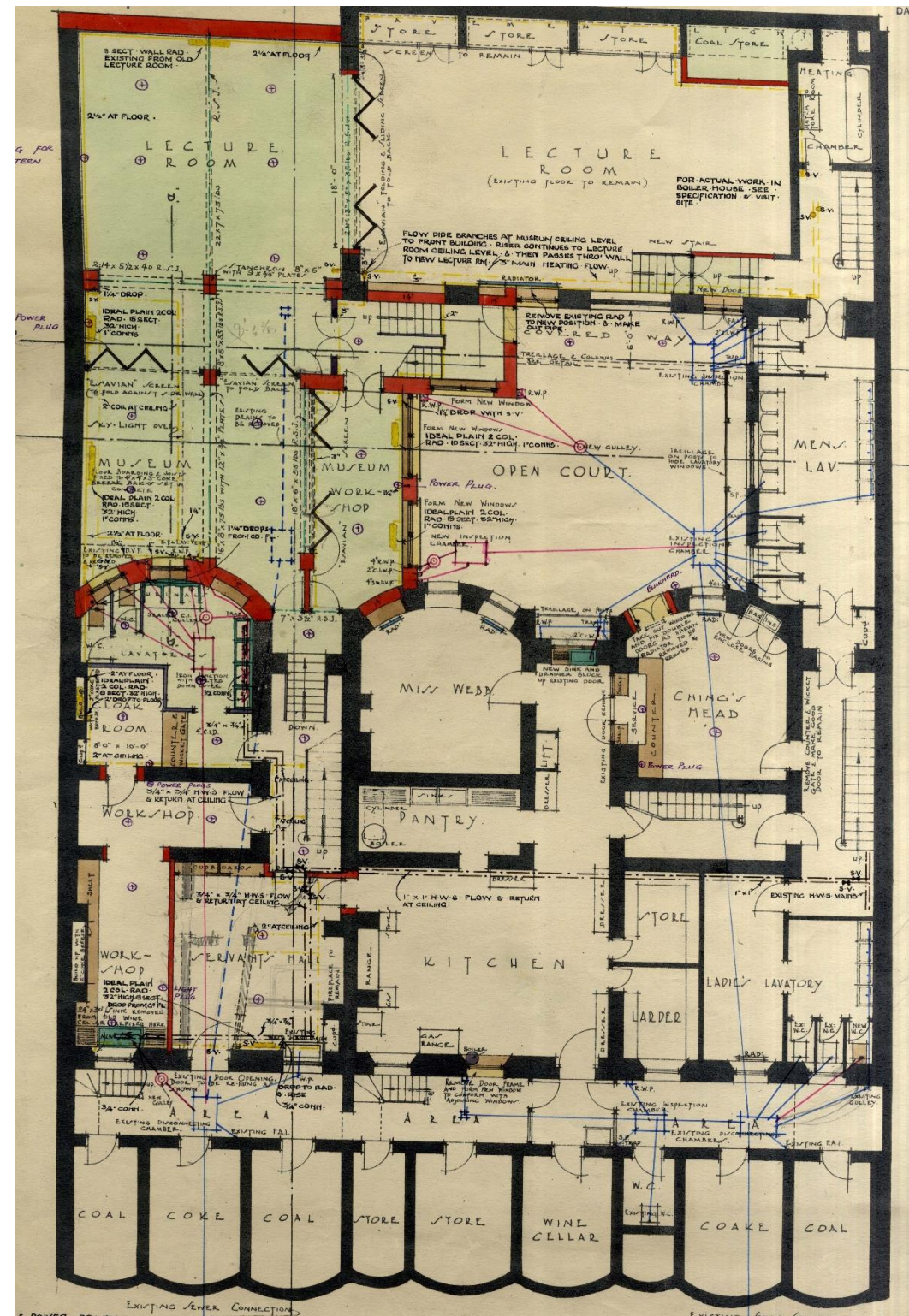
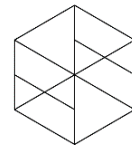
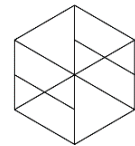


Figure 18: Atkinson, lower ground floor plan.

in date although the underlying structure of the Georgian townhouses is largely retained as is an appreciation of their original plan form (albeit diluted in some areas).

2.22 The significance of the component parts of the building is set out at Appendix B which considers the history, fabric and detail of the ground and first floors of the site, the main focus of the proposed scheme. The significance of particular windows and surrounding joinery is set out in the accompanying schedule of existing windows. As shown in the schedule, many of the windows are later replacements – for example, the windows of no. 34 were replaced to match those to no. 35 and even in the case of the latter, many were replaced in the 1920s. There is a very high probability that much if not all the existing window joinery has been disturbed and/or replaced during significant phases of alteration and change in the buildings' history.

2.23 The following section considers the proposed scheme against the significance of the buildings as set out in the application submission and against the relevant historic environment policy as set out at Appendix C.



3 Assessment

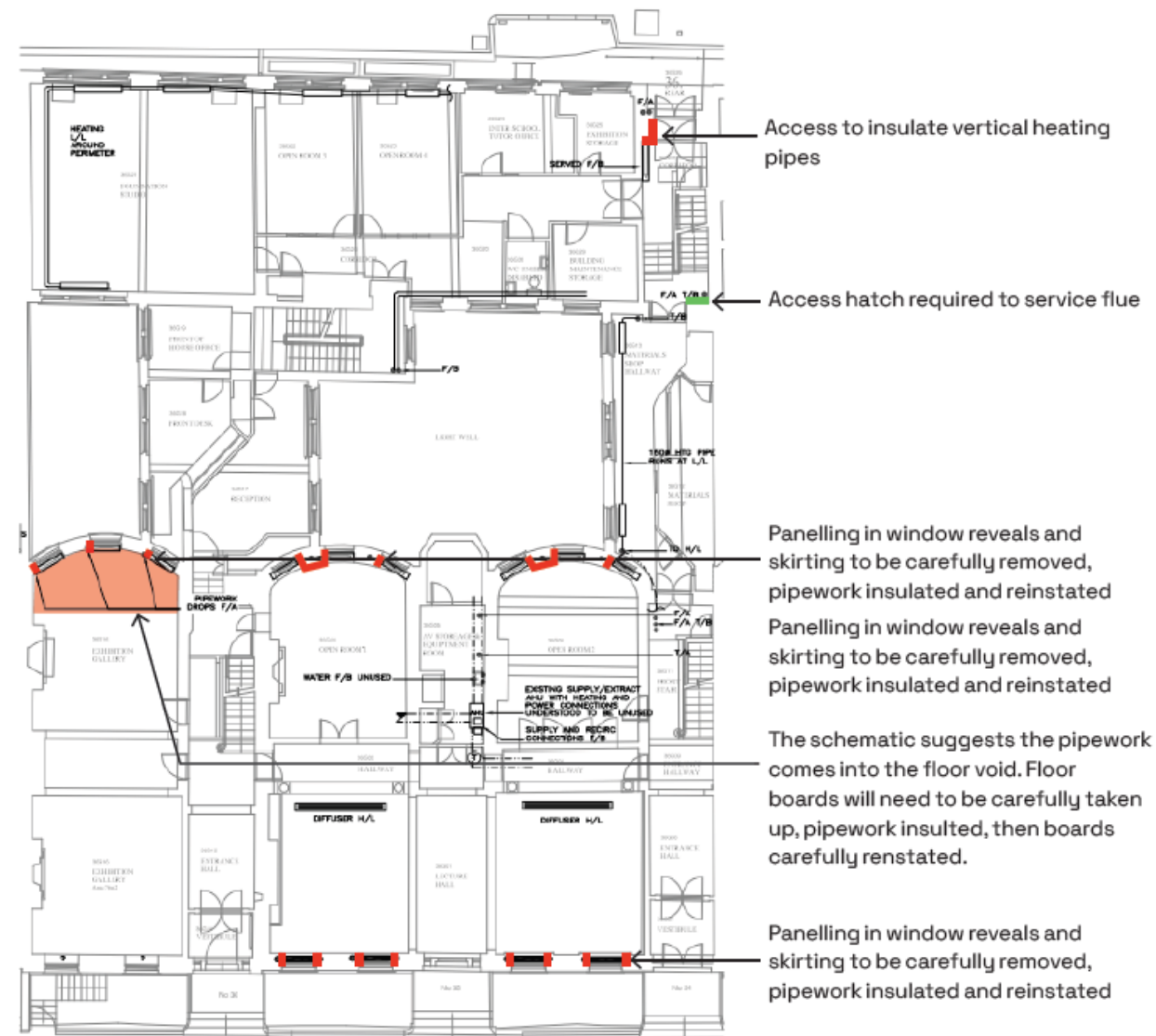
3.1 The following section provides a brief overview of the proposed scheme and assesses its effects on the significance of the existing buildings at nos. 34-36 Bedford Square. As set out at pre-application stage, the proposed scheme encompasses a number of elements. A key requirement of the AA's brief is the upgrading and enhancement of the existing Lecture Hall and Library facilities which have undergone little refurbishment since the early 1980s. A further component of the brief is the requirement to improve heating throughout the school, including the insulation of the existing distribution pipework that was installed during the early and mid 20th century. New radiators and heating controls are also proposed within certain areas of the building. In addition to this, structural works are required to the Lecture Hall ceiling.

3.2 With regard to the proposed insulation works, much of the existing pipework runs behind window joinery (i.e. the shutter boxes and architraves) (figure 19). There is no insulation to the drops between floors and the environmental performance of the building is subsequently very poor. The proposed works to the pipework is set out in more detail in the Design and Access Statement (DAS) prepared by Built.Works alongside a detailed description of other elements of the scheme.

Outline of the proposed scheme

3.3 The proposals involve the following elements:

- Window joinery to be carefully removed, pipework to be insulated and all joinery to be repaired and reinstated at ground, first and second floor levels (where the condition of existing joinery is poor, repairs will be undertaken within the proposed scope of works);
- Some minor careful lifting of floorboards to the rear of no. 36 at ground floor level to allow for pipe insulation;
- Single pipe run at third floor level to be insulated;
- Repair and refurbishment of window joinery as necessary (there are a number of examples where joinery repair is required to existing windows);
- Works to upgrade library to include:
 - Works to window joinery;
 - Floor boxes;
 - New ambient and desk lighting;
 - Repairs to wall and ceiling finishes;
 - Redecoration and refurbishment of library book shelves; and,
 - New storage shelves to office uses.
- Works to upgrade Lecture Hall as a more flexible space to include:
 - Works to windows joinery;
 - New floor boxes;
 - New lighting;
 - New projection screen;
 - Blackout blinds to front sash windows;
 - Repairs to wall and ceiling finishes, and,
 - Strengthening to ceiling.



Ground Floor existing services plan with annotated interventions for strategy

Figure 19: Typical interventions to windows to allow the insulation of pipework (DAS).

3.4 As already set out in the Introduction, the proposals have been developed with the sensitivity of relevant areas in mind but with the requirements of the long-standing current occupier also as an important consideration.

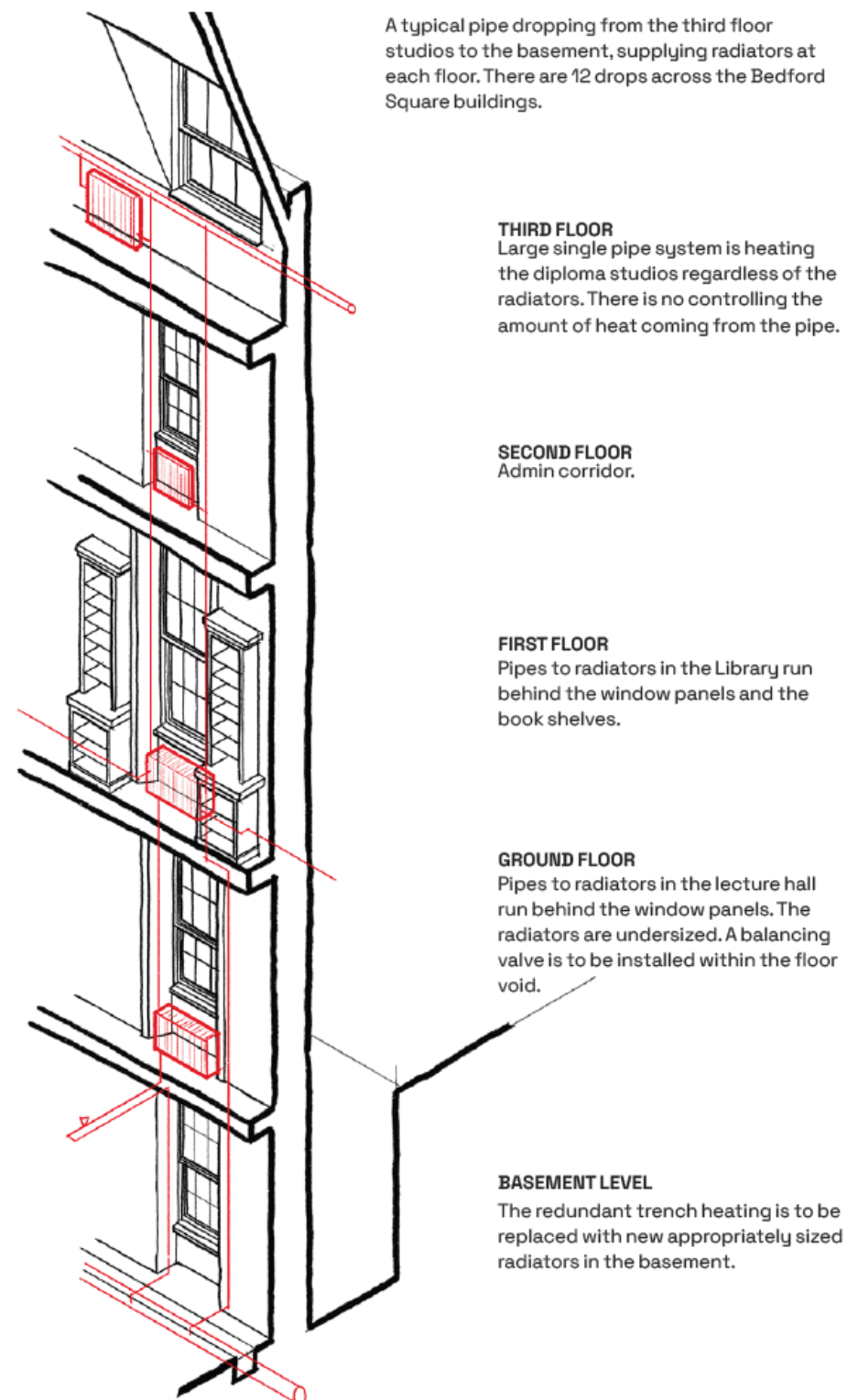
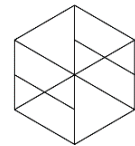


Figure 20: Typical pipe drop, front elevation (DAS).

Almost all of the areas in question have been disturbed and altered historically. The window joinery for example has already been removed and reinstated in order to introduce the pipework behind and both the lecture hall and library represent the lateral conversion of two of the three original townhouses and the removal of dividing walls to create useful learning and teaching spaces for the school.

3.5 The following paragraphs consider the different elements of the proposed scheme against the relevant statutory and policy provision as set out at Appendix C.

Proposed insulation works

3.6 There are clear benefits to insulating the existing pipework, not least in the protection of the historic fabric around the windows and front and rear elevations or the environmental enhancements that the proposals offer. The works relate to areas that have already been disturbed, replaced and adapted (figure 20).

3.6 All work in respect of the window joinery will be carefully and sensitively handled to ensure the protection of the existing joinery. Joinery will be removed temporarily and then reinstated as soon as insulation works are complete. Where repairs are necessary (in relation to existing fabric as opposed to works following the removal of joinery), these will be undertaken prior to reinstatement. Initial opening up works indicate that the existing pipework is behind the shutter box rather than behind the shutter panel.

3.7 Historic environment policy obviously resists the loss of historic fabric and features because of the severe harm that this can cause to the special interest of listed buildings. In this case, the fabric would not be permanently lost but would be removed temporarily to facilitate insulation and/or repair works. The proposed method of removal, repair and reinstatement is set out in an accompanying method statement. Reinstatement of the fabric in question in the way proposed will enhance the building and its environmental performance. Ultimately, no harm would be caused by this element of the proposals and instead, heritage and environmental benefits would be delivered.

3.8 LB Camden supported this element of the proposals at pre-application stage but noted that works to the joinery should be accompanied by a method statement. This is provided as part of the application submission.

3.9 In addition to the more widespread insulation works, and as explained in the DAS, there is an existing single pipe that runs through the third floor studio. These generate significant heat which is uncontrolled. The proposals involve the insulation of this pipe and boxing in beneath the third floor windows (not original to the building and later 20th century in date). A simple lining would improve the appearance of the third floor level and would have significant environmental benefits while having no direct impact on fabric of historic interest.

3.10 This element of the proposals would demonstrably benefit the occupiers and users of the third floor studios and the fabric and environmental performance of the building. While the proposals would result in a minor visual change, they would not affect historic fabric and would benefit the listed building and its energy use and performance. The council set out at pre-application stage that: *'Details of the boxing in would be needed otherwise this part of the proposals is likely to have our support.'*

Proposed Lecture Hall Alterations

3.11 The existing lecture layout and fittings date principally to the 1980s when a consented scheme for alteration was carried out. Since then, the space has undergone few alterations but the hall is generally in need of a technical upgrade and enhancement.

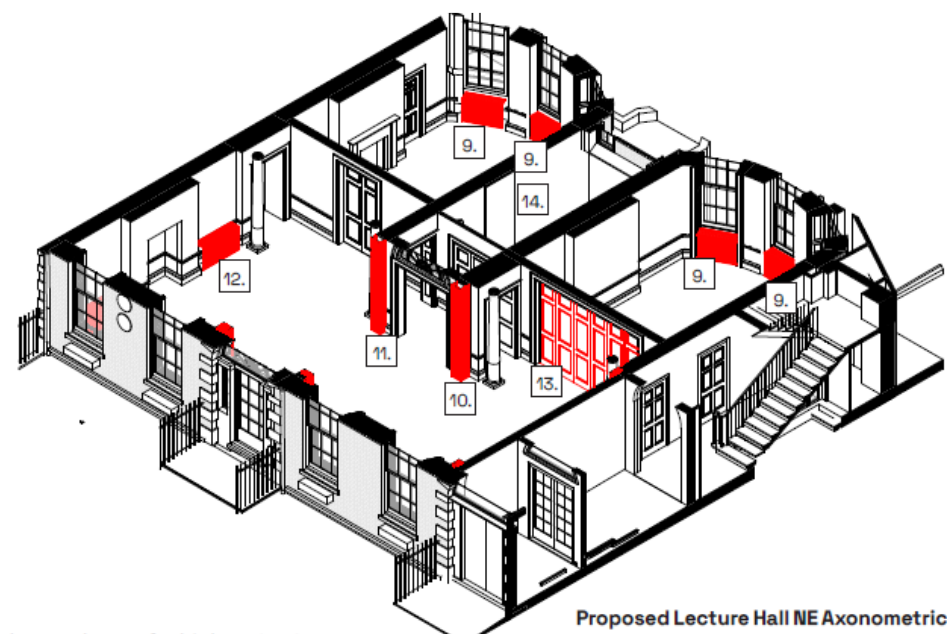
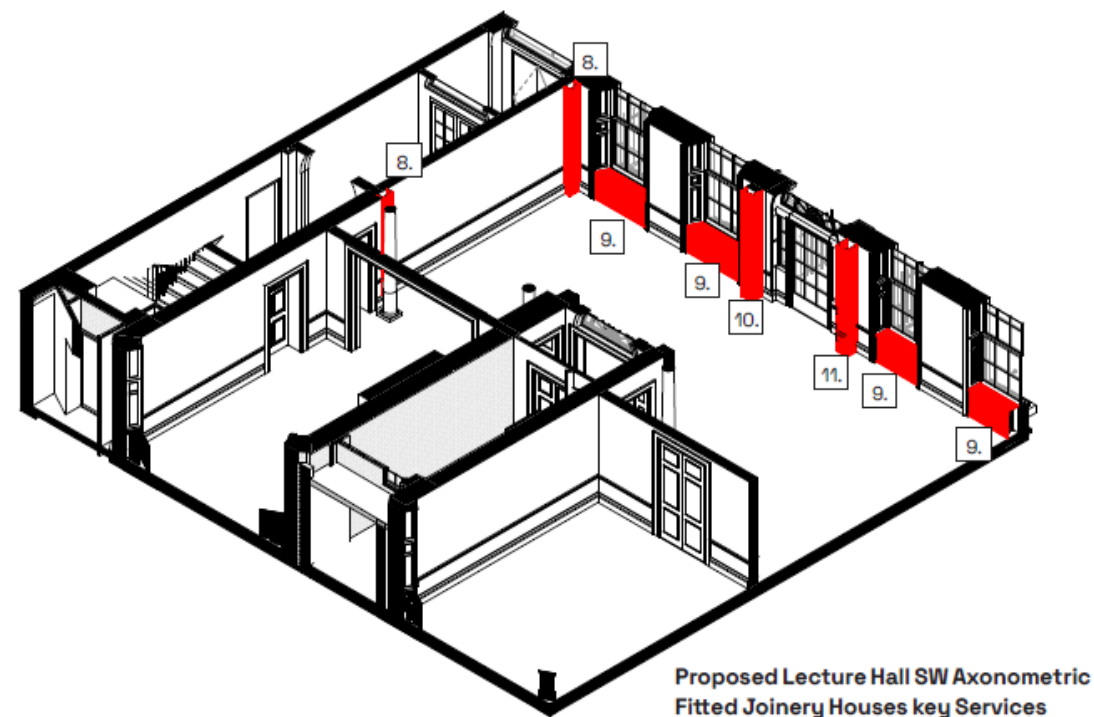
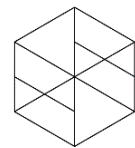


Figure 21: Enclosure locations.

3.12 As already noted, works to insulate the existing pipework will be carried out, taking the opportunity to repair the existing window joinery as necessary. Further to this, enhancements to the functionality, flexibility and usability of the lecture hall are being delivered. Theatre Projects, specialists in the delivery of appropriate audio/visual set ups within significant listed buildings, has developed a scheme for the Lecture Hall, the details of which are provided in the accompanying DAS.

3.13 At present the Lecture Hall is serviced by very ad hoc audio/visual arrangements which is unsatisfactory both in the visual effect on the listed buildings and also for the operations of the AA as an institution. As noted in the DAS, the intention of the proposals is to make the most of the existing space and to emphasise as much as possible the historic character of the building. Historically, the area has changed significantly in terms of historic fabric with most visible superficial finishes relating to works undertaken in the 1920s and throughout the 20th century in association with the AA's occupation (including a comprehensive scheme of redecoration in the 1920s replacing columns, floors and wall and ceiling finishes). The proposed Lecture Hall will be fit for purpose, unlike the outmoded existing, and will make a flexible and functional contribution to the use of the building overall.

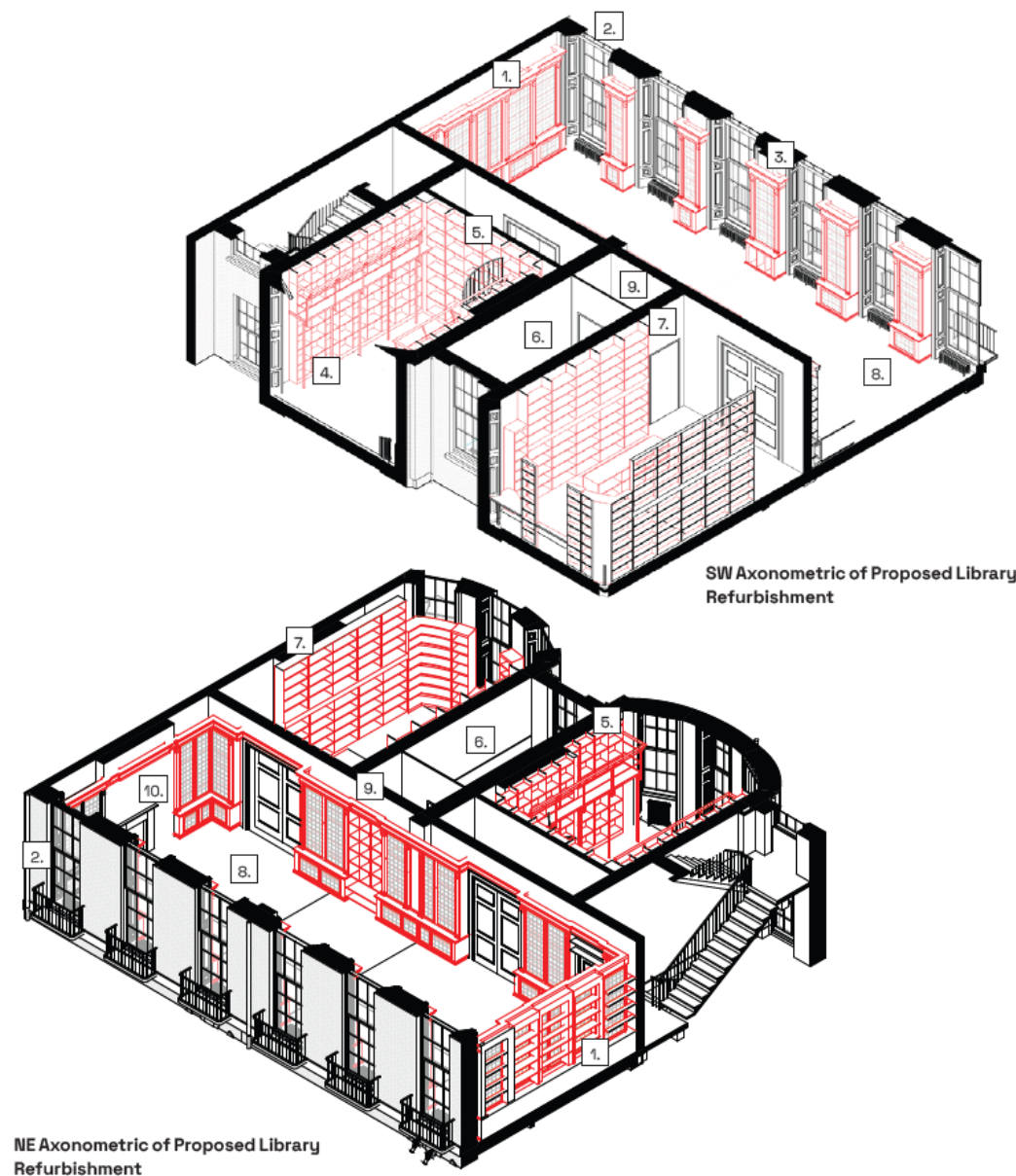
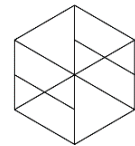
3.14 The provision of five ceiling acoustic rafts in the main areas of the Lecture Hall is proposed. These rafts will house multi-purpose rails that can physically support all relevant equipment such as lighting and video projection. In addition to these, purpose-built joinery enclosures will be provided in discrete locations beneath windows, in corners and adjacent to existing structural elements (figure 21). These enclosures will house AVB boxes and high output radiators. Their installation will involve cutting away of modern plaster board for insulation.

3.15 In order to fully incorporate the proposed rafts into the Lecture Hall refurbishment, additional strengthening works are required to the principal members of the areas in question. This would be achieved through additional structural support with minimal fixings through the timbers where relevant (and as indicated in the DAS). No other structural members would be affected by the proposed strengthening works. As the existing ceilings are modern plasterboard, the main intervention in this case would be the provision of new timbers or steel plates (timber being the preferred option if possible) and drilling through the principal members to allow for fixing. Strengthening works can be undertaken by carefully lifting the 20th century flooring in the library above and reinstating once structural works are complete.

3.16 The upside of works to the structure is that the proposed rafts can then be fixed to the ceilings with minimal attachment. They will enable the removal of existing modern light and other fittings and offer a more streamlined and refined appearance to the Lecture Hall and the former ground floor rooms of the Georgian houses. For example, all existing spotlights will be removed and the numerous holes made good. While new structure would be introduced, very little of the existing would be removed and can be balanced against the general enhancements to the Lecture Hall as described below and above. Further details of the proposed structural works are set out in the accompanying DAS and structural report prepared by Harley Haddow.

3.17 The proposed enclosures beneath the windows and within chimney breast recesses will be of a high quality and relate sympathetically to the character of the existing building. In obscuring radiators and other equipment, the proposed enclosures will remove visual clutter and again, result in a simplified appearance which is more in keeping with the original Georgian townhouses.

3.18 Overall, the proposed alterations to the Lecture Hall would benefit the appearance and character of the existing both in the context of the Georgian townhouses and as the main teaching space of the AA, an internationally significant educational institution. The existing Lecture Hall provision is poor and *ad hoc* and the



NE Axonometric of Proposed Library Refurbishment

1. Generally all shelves, carcasses and doors are stripped down, repaired and redecorated. All ironmongery is replaced for new
2. Generally all windows and shutters are stripped back, repaired and redecorated. All ironmongery overhauled and only replaced if necessary
3. Shallow shelving unit covering structural nib to become fitted information screens
4. Gallery journal shelves to be replaced for deeper units
5. Existing Gallery shelving to be retained and refurbished
6. Librarian's office to be refurbished with existing door to be replaced
7. Journal shelving to be replaced for more adequate units that better integrate with the existing room, with ladder access
8. Floor finishes replaced throughout
9. Generally walls made good and redecorated
10. War memorial protected throughout the works and carefully cleaned

Figure 22: Proposed works to the first floor Library (DAS).

proposed enhancements not only represent a significant investment into the AA's facilities but also into the ongoing use and management of these highly graded listed buildings.

Proposed Library alterations

3.19 The existing library is a pleasant space but is clearly in need of repair and refurbishment. In addition, the existing lighting and servicing of desks and learning spaces is poor and out of date for the needs of its users and students. The outdated nature of the Library is explained in more detail in the DAS.

3.20 The overall intention with regard to the library is to refurbish the existing fabric including windows, shelves and floor finishes. The existing floor finish is carpet laid over floorboards. Initial investigative works indicate that the library flooring has been laid with a close boarded 1920s floor similar to that seen elsewhere in the building. This would make sense given the unification of the space during this period and the removal of the party wall between nos. 34 and 35 Bedford Square.

3.21 The proposals therefore involve the upgrading of shelving in 'back of house' areas, the refurbishment of the historic library shelving and the repairs and refurbishment of the existing wall and ceiling finishes. As set out above, the main impact of works to the Library will be on the existing windows and shutter boxed where the insulation of pipework is required. This is considered in more detail above.

3.22 Overall, the proposed works to the library will enhance the provision of this facility for the school. Since works were last undertaken at this level, how students work and use the library has moved on and there is a perception that the AA should deliver world-class facilities albeit within the parameters set by the existing building. There is no wish to fundamentally alter the character of the space but instead the intention is to improve what already exists through better servicing and repair, refurbishment and redecoration. Ultimately, the proposals will enhance the flexibility, functionality and usability of the library.

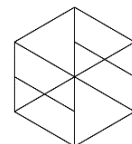
Policy compliance

3.23 The general thrust of historic environment policy is to avoid causing harm to the special interest of listed buildings. This is based on the statutory provision which requires decision makers to have regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

3.24 LB Camden's Policy D2 sets out that the council will 'resist proposals for a change of use or alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building.' Policy D2 also outlines that the Council will preserve, and where appropriate, enhance the borough's rich and diverse heritage assets, including conservation areas and listed buildings. Any less than substantial harm must be outweighed convincingly by the public benefits of the scheme.

3.25 The National Planning Policy Framework (NPPF) sets out at paragraph 199 that 'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.'

3.26 Paragraph 202 sets out that: 'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.'



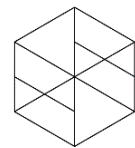
3.27 There is therefore a requirement for development proposals to protect the significance and special interest of listed buildings. Any harm must be justified and can be outweighed by heritage and other benefits, including environmental enhancements.

3.28 As acknowledged in the council's pre-application advice, there is much to commend the scheme, particularly the overall refurbishment of essential outdated facilities and repairs and refurbishment to the building overall, including window joinery. In addition to this are the substantial environmental benefits offered by the proposed insulation works which will not only ensure that heat loss can be better controlled and minimised but also that the fabric of the window joinery and the brickwork can be better protected.

3.29 The proposed strengthening works to the Lecture Hall ceiling will represent an intervention into the historic structure although this intervention has been kept to a minimum. The main effect on historic fabric will be the requirement for fixings in areas of certain principal timbers. This work, essential to facilitate the sympathetic restoration and refurbishment of the Lecture Hall as proposed, is effectively reversible and would not affect the legibility of the buildings or their structure. There is a clear justification for the approach in that it would deliver benefits to the existing buildings, significant for their association with the AA as much as for their interest as Georgian houses, and that the proposed approach to lighting and servicing the Lecture Hall would offer benefits to the buildings overall. A balanced decision on the structural works versus the benefits of the proposed scheme must conclude that the proposals would comply with historic environment policy.

3.30 It is considered that overall, the proposed scheme would not cause harm to the significance or interest of the host building and would ultimately enhance the building's fabric, usability and performance. The proposals would therefore comply with national historic environment policy.

3.31 For these reasons, and for those outlined above, it is considered that the proposed scheme would not have a harmful effect on the listed buildings in question. It is therefore the case that the proposal complies with national and local historic environment policy and the relevant statutory provision.



Appendix A – Full list description for nos. 28-38 Bedford Square

Grade: I

List entry number: 1244548

Date first listed: 24 October 1951

Date of most recent amendment: 11 January 1999

Statutory Address: 26, 26A AND 27, MORWELL STREET

Statutory Address 2: NUMBERS 28-38 AND ATTACHED RAILINGS, 28-38, BEDFORD SQUARE

Includes: Nos.26, 26A AND 27 MORWELL STREET. Terrace of 11 houses forming the west side of a square. 1776-1781. All built by W Scott and R Grews; perhaps designed either by Thomas Leverton or Robert Palmer; for the Bedford Estate. Nos 28-36 form a symmetrical terrace. Yellow stock brick with evidence on most of the houses of tuck pointing. Plain stucco band at 1st floor level. The centre house, No.32, is stuccoed. Slate mansard roofs with dormers and tall slab chimney-stacks.

EXTERIOR: 3 storeys, attics and basements. 3 windows each. Recessed round-headed entrances with Coade stone vermiculated intermittent voussoirs and bands; mask keystones. Enriched impost bands and cornice-heads to doors. Side lights to panelled doors, some 2-leaf. Fanlights, mostly radial patterned. Gauged brick flat arches to recessed sashes, most with glazing bars. The following have cast-iron balconies to 1st floor windows: Nos 29 & 30, 32-36 & 38. Cornice and parapets, Nos 28 & 36 with balustraded parapets.

INTERIORS not inspected save for Nos 34-36, but noted to contain original stone stairs with cast and wrought-iron balusters of various scroll designs, decoration and features; special features as mentioned: No.28: 3 window return to Bayley Street, 1 blind. Rear elevation with full height bow. Major renovation in 1910. 3 plaster ceilings, one dating from the renovation. No.29: rear elevation with full height canted bay, bowed internally. A plaster ceiling. No.30: rear elevation with full height bowed bay. Fine ceilings, one with painted cameos. No.31: rear elevation with full height bowed bay. 2 fine ceilings.

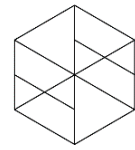
No.32: rusticated ground floor; 4 Ionic pilasters rise through the 1st and 2nd storeys to support a frieze, with roundels above each pilaster, and pediment with delicate swag and roundel enrichment on the tympanum. At 2nd floor level a continuous enriched band running behind the pilasters. Entrance of Doric columns supporting an entablature beneath the fanlight; double panelled doors. Rear elevation with full height bowed bay. INTERIOR detailing and joinery particularly good.

No.33: rear elevation with full height bowed bay. Internal distyle-in-antis screen with capitals derived from the Athenian Tower of the Winds. Plaster ceiling. No.37: rear elevation with full height bowed bay. Original wine cellar in the basement. No.38: a late C19 timber staircase. Some houses with original lead rainwater heads and pipes.

Nos 34 and 35 acquired by the Architectural Association - Britain's first full-time school of architecture - in 1917, whose Head and, from 1920, Director of Education, was Robert Atkinson. In 1919-21 he made many alterations and added studios to the rear, which latter are of very austere design. Ground floor and first-floor front rooms made into one, now respectively lecture room and library, with missing mouldings to No.34 matched up with those surviving in No.35. This includes first-floor ceiling to No.34. First-floor library is a war memorial, with fitted bookcases by Atkinson and a memorial tablet to fallen members, unveiled

1921 and recarved after 1945 to commemorate both World Wars. No.35 has no staircase, but retains some fireplaces and original mouldings. Both houses have rear elevations with full-height bowed bays. No.36 also with full-height bowed bay to rear. SUBSIDIARY FEATURES: attached cast-iron railings to areas with urn or torch flambe finials. Most houses with good wrought-iron foot scrapers.

HISTORICAL NOTE: the houses in Bedford Square form a most important and complete example of C18 town planning. Built as a speculation, it is not clear who designed all the houses. Leverton was a country house architect and may have been involved with only the grander houses; he lived at No.13 (qv). Palmer was the Bedford Estate surveyor and may be responsible for the vagaries of the square. The majority of the plots leased by the estate were taken by Robert Grews, a carpenter, and William Scott, a brickmaker. No.35 was the residence of Thomas Wakley, reformer & founder of The Lancet, also of Thomas Hodgkin, physician, reformer & philanthropist (LCC/ GLC plaques). No.36 was acquired by the Architectural Association in 1927 and adapted as offices and members' rooms by Atkinson, who added more studios to the rear - these last again of very simple design. The presence of the Architectural Association in one of London's most important squares did much to promote the special interest and importance of Georgian London, especially amongst the many international architects and writers who came there. Here, for example, Steen Eiler Rasmussen lectured in 1928 and his book on the quintessentials of London architecture, 'London, the Unique City', perfectly captures the homely spirit for which London's Georgian squares and terraces have since been venerated. (Byrne A: Bedford Square, An architectural study: London: -1990; Summerson J: The Architectural Association, a Centenary History: Architectural Association: -1948).



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Heritage Appraisal
The Architectural Association, no. 36 Bedford Square,
London, WC1B 3ES
February 2023

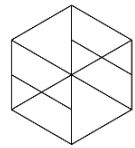
Appendix B – Significance

The following pages summarise the historic development and significance of nos. 34-36 Bedford Square on a room-by-room basis. The discussion of significance has been informed by a visual assessment of the building, historic research and initial investigative works. It is likely that information set out in the following assessment of significance could be amended once works have commenced on site and the building can be even better understood.

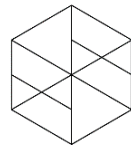


Ground Floor Significance Plan
The Architectural Association, no. 36 Bedford Square,
London, WC1B 3ES
February 2023

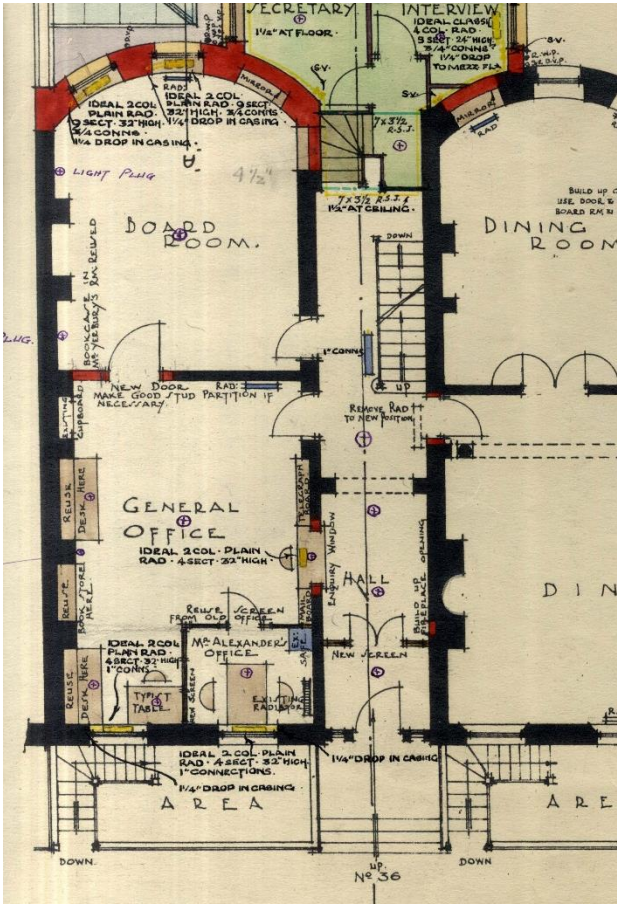


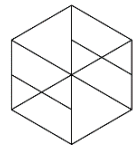


Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
1	<p>The AA acquired no. 36 in 1926 and soon after, it was adapted for offices and members rooms by Atkinson. It was further adapted in 1927 by Easton and Robertson. The entire rear bay was rebuilt. The spine wall dividing front and rear rooms was still in place in 1973, together with a subdivision of the front room but this had been removed by 1980 as part of works to create an exhibition gallery.</p>	<p>The existing visible floorboards are not original to the building and were most likely introduced in c. 1980. The existing floor finish is of low to medium significance.</p>	<p>Walls boarded over with modern finish for exhibitions. Underlying fabric unknown.</p>	<p>Ceiling looks to be historic to the front room. Cornice matches that to no. 35 and no. 34 which may be indicative of a comprehensive unifying decorative scheme which is known to have taken place across at least nos. 34 and 35. Lighting tracks have been fitted to the front and rear rooms.</p> <p>Given that the entire rear bay was reconstructed, the cornice in this location at least cannot be original and the ceiling probably dates to the 1920s. The ceiling and cornice in the rear room is of medium significance.</p> <p>The ceiling to the front room looks more authentic but may also have been subject to change. The ceiling and cornice to the front room are of medium to high significance.</p>	<p>Replacement windows most likely early 20th century. Medium significance.</p>	<p>Historic fire surrounds to front and rear rooms. High significance.</p>	<p>Room 1 retains some historic character but has been much altered through window replacement, a new floor finish and the opening up between front and rear rooms (although with nibs and downstands, legibility of the former ground floor is retained).</p> <p>Given that Room 1 is a principal floor of no. 36 the room is overall medium to high significance although existing finishes</p>



Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
2	No. 36 was acquired in 1926 and alterations to the building were undertaken at this time. The fireplace to the hall was built up in 1926 and the panelling is also likely to have been added at this time. Drawings from 1926 indicate that the inner doors and screen were also added at this time. The rear wall of the stair compartment was removed with new stairs accessing an extension to the rear. The floor also appears to have been relaid in stone at this time. Historic drawings also indicate that there was an opening between Room 1 and 2 through the front room wall to create an 'enquiry window'.	Stone floor but probably 1920s. The floor finish is of medium to high significance .	1920s panelling and mid-20 th century work to room dividing entrance hall and Room 1. This work is of medium significance .	The cornice and ceiling to the entrance hall appear to be original and are of high significance .	The inner screen door dates to the late 1920s and matches that to no. 34. The screen is nicely detailed but is not original to the building and is therefore of medium significance .	The principal staircase is of a very high quality and of the highest significance .	The existing hallway and ground floor stair compartment are of interest as the principal entrance to the original 18 th century house. The space has been altered with new fabric and finishes but the entrance hall retains legibility as a key space withing the historic building. There are a mixture of new and historic finishes. The overall significance of the space is medium to high .



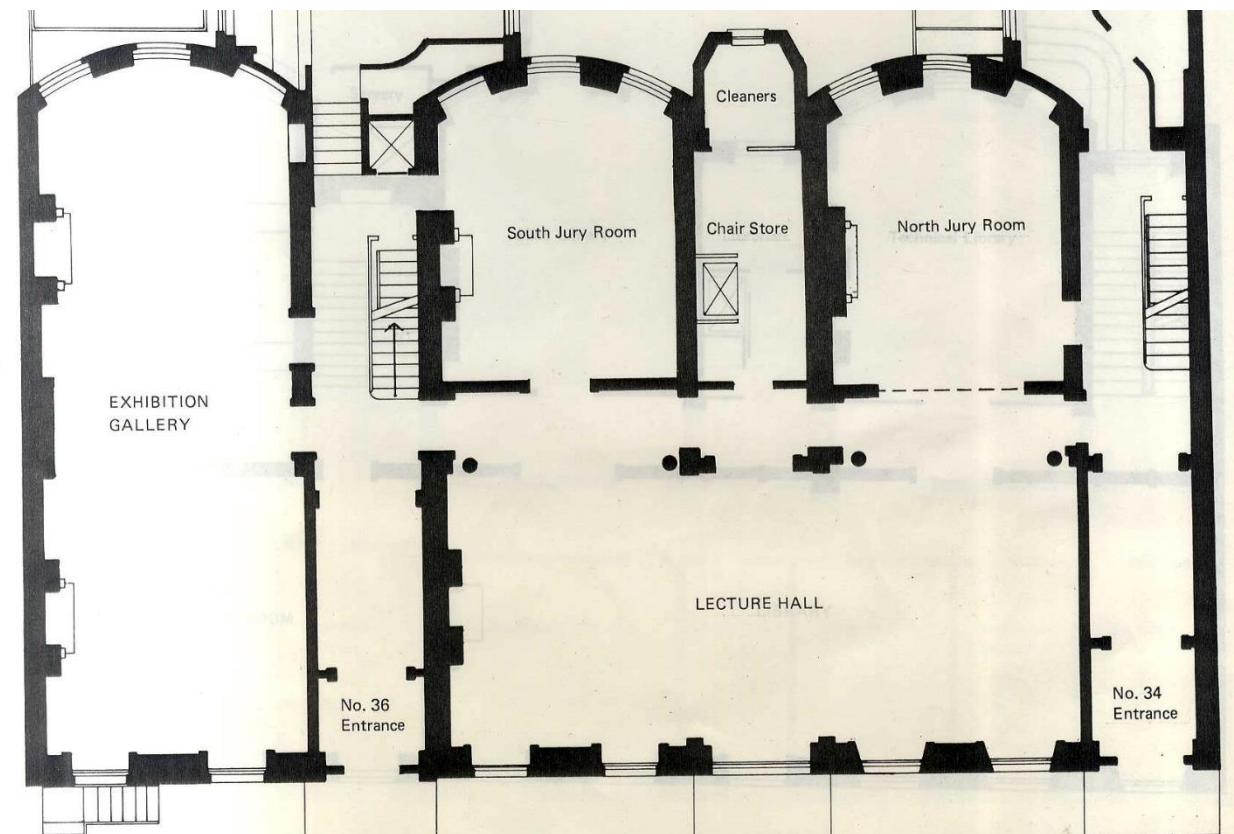
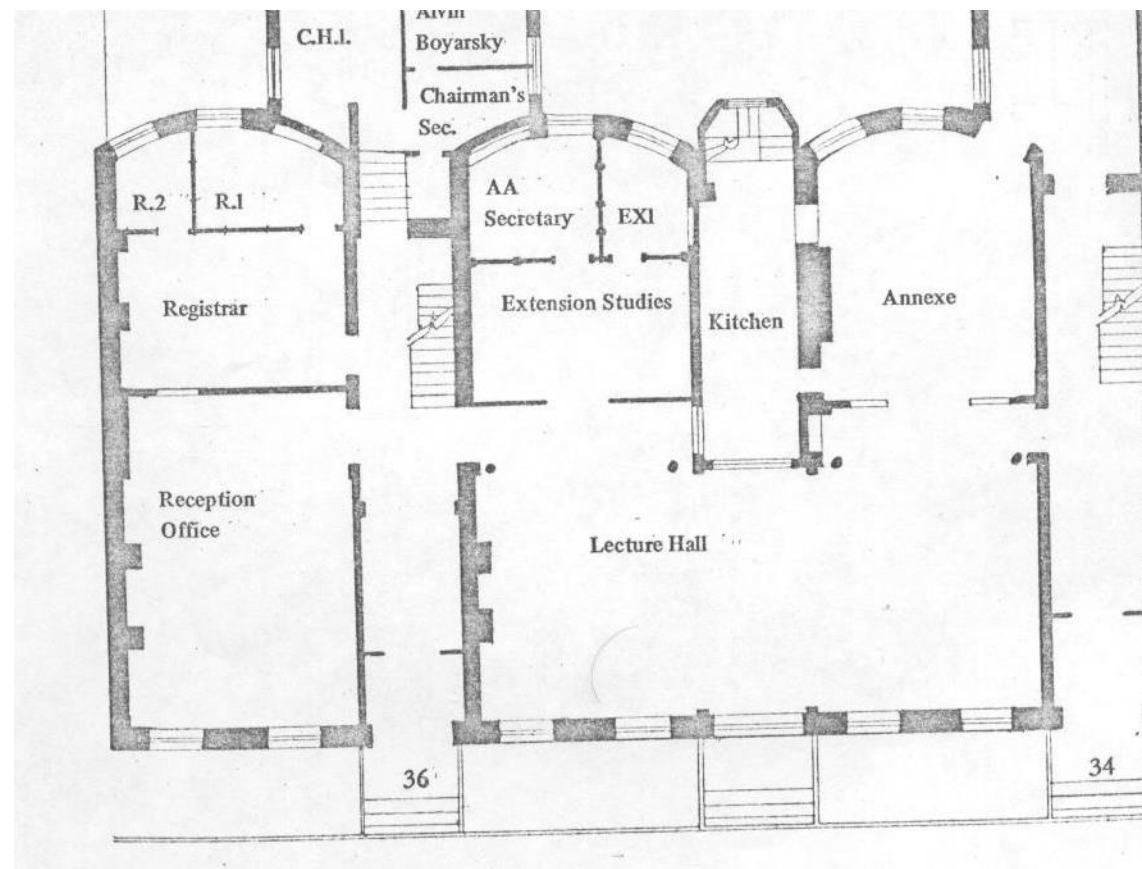


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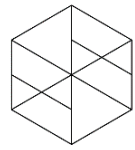
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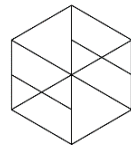
Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
3	Room 3 is the former rear room of no. 35 Bedford Square. It has been altered to a degree. The doorway from the front room was widened in 1919 and new doors added in. One window was blocked and mirrored in 1926. An opening made in 1919 by Atkinson to the former stair compartment of no. 35 was also blocked in 1926. By 1973, the room was subdivided (see below) and y 1980, a doorway was made through to the rear of the stair compartment in no. 35.	Modern carpet finish with underlying fabric unknown.	Walls boarded over with modern finish for displays above the dado. The dado doesn't appear to match historic photographs and may be a 20 th century replacement. Underlying fabric to walls is unknown.	Ceiling looks to be historic with cornice matching that to the front room. Subdivision historically may have disrupted any original/historic ceiling. The ceiling and cornice are of the highest significance .	Good quality windows of the highest significance .	Original fire surround of the highest significance .	Room 1 retains some historic character but has been much altered through window replacement, a new floor finish and the opening up between front and rear rooms (although with nibs and downstands, legibility of the former ground floor is retained). Given that Room 1 is a principal floor of no. 36 the room is overall medium to high significance although existing finishes



1973 Plan (left) and 1980 plan (right).



Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
4	Room 4 was the original location of no. 35's principal staircase. This was removed in 1919. An original opening to the rear room of no. 35 was blocked at the same time and new openings were added towards the rear elevation into both the rear room of no. 34 and of no. 35. Service lifts were also added. This room was subsequently altered several times during the 20 th century and is now ancillary to Lecture Hall use with all new modern fittings and finishes.	Modern floor finish of lowest significance .	Modern wall finishes of lowest significance .	Modern ceiling finish of lowest significance .	Modern window of the lowest significance .	None.	Given the area's history of change, the fabric in this area is of the lowest significance .

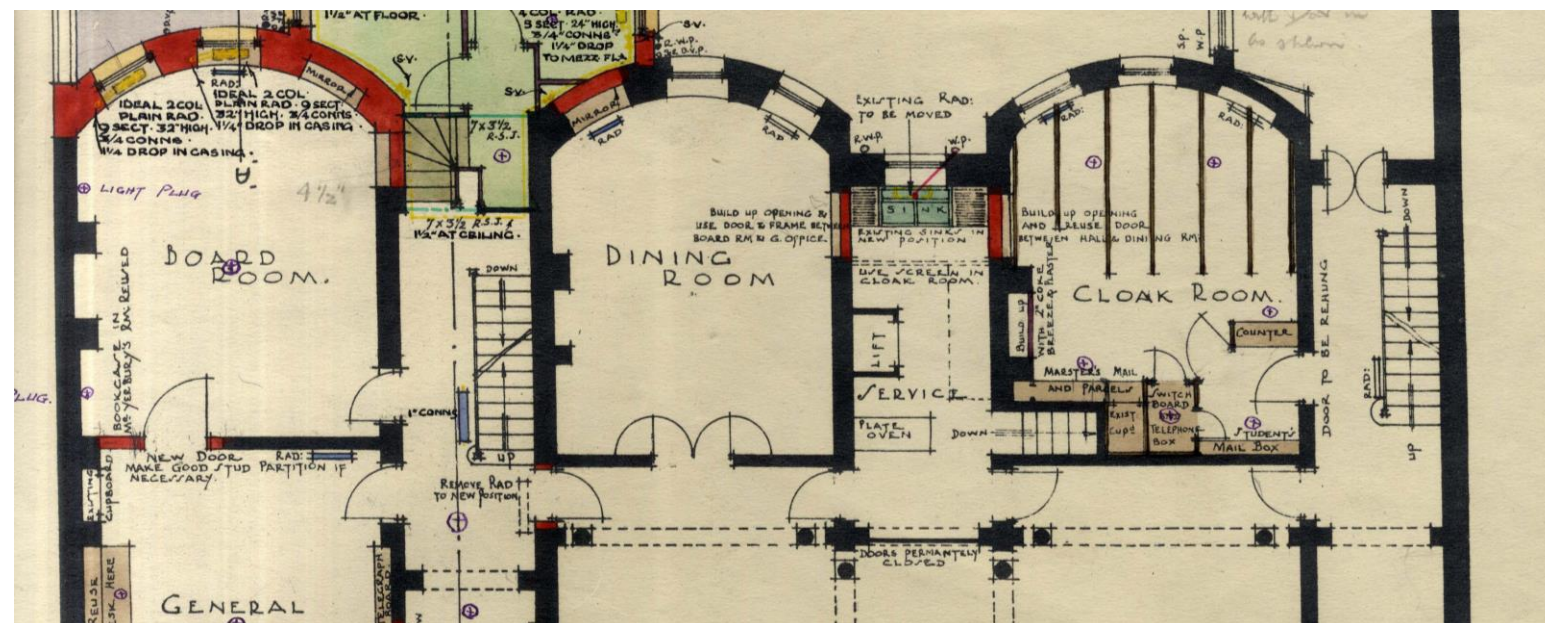


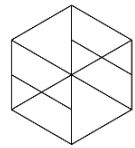
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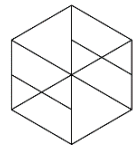
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Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
5	In 1919, alterations were carried out to this room. Atkinson removed the fire surround and chimney breast. This may have necessitated the substantial downstand now present in the centre of the room. In 1926, the chimney breast was reconstructed using 'breeze and plaster'. Also added was a staircase going down to lower ground floor in the corner of the room (see below plan of 1926). An original opening between front and rear rooms was blocked in 1926 but this wall has now been significantly opened up with modern doors dating to c. 1980.	The floor is likely to have been much disturbed through works to create a staircase to the lower ground floor level. While the floor is covered in a modern carpet finish and it the underlying fabric is unknown, it is likely that the floor is now early 20 th century in date and of medium significance.	The wall finishes are also likely to be of the late 1910s/1920s and are therefore considered to have medium significance.	The AA undertook major decorative works to no. 34 from 1917 in order to make it more consistent with the original building. The existing cornice matches that to no. 35, rather than being a Greek revival style, and it also runs around the downstand beam with is clearly an atypical feature. This suggests that the ceiling and cornice in the rear room are 1920s in date and are therefore of medium significance.	The windows to the rear elevation are 1910s/1920s and are of medium significance.		The rear room of no. 34 has been reworked since the AA's acquisition and in the context of the existing dwelling is of medium significance.





Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
6	<p>In 1917, the AA purchased nos. 34 and 35 Bedford Square. In 1919 works to laterally convert the buildings were undertaken by Robert Atkinson. This included the demolition of the entrance hall to no. 35 and the opening up between nos. 34 and 35 at ground floor level. This removed the historic fireplace to no. 34 and new columns supporting the wall over. A country life article of 1919 that 'Of the two houses now united, no. 35 is the more interesting, as no. 34 was reconstructed under the influence of the Greek revival. The leading features of the interior of no. 35, are a room on the ground floor with a columned recess, a good ceiling on the first floor, and some interesting marble mantelpieces in which coloured inlays are used. The friezes of the chief rooms resemble Adam patterns. It is evident from the photos included in the article (figure 1) that the ground floor rooms of no. 34 and 35 have been largely reworked decoratively in addition to the substantial physical works of lateral conversion.</p> <p>Further works were undertaken to the Lecture Hall in the late 1970s/early 1980s. This included new lighting, doors and possibly a new ceiling to the ground floor of no. 34. A large recessed projection screen was introduced at this time (still <i>in situ</i>).</p> <p>A dropped ceiling was added to the 'corridor' to the rear of Room 6 in the 1970s.</p>	<p>The floor finish to the main area is carpeted but minor opening up works indicate a plyboard finish although this potentially overlays historic floorboards. Further investigative works are required. Vinyl floor tiles have been applied to the corridor.</p> <p>The existing floor finishes are of no significance but their may be historic floorboards beneath.</p> <p>The floor has the potential to be of low or high significance subject to opening up works.</p>	<p>There is likely to be a mixture of finishes given the substantial invasive works that have been undertaken to the front ground floor room.</p>	<p>The existing ceiling appears to be historic although this could still date to the 1920s where lath and plaster would also have been used. There are recessed spotlights in the ceiling and investigative works to these areas could reveal the nature of the existing fabric.</p> <p>The existing cornice matches that to Room 7 and Room 8. It also matches the 1919 photograph at figure 1. Given that no. 34 was 'reconstructed in a Greek revival style', it seems likely that the detail of no. 35 was replicated in 34 (as it was in the Library on the first floor).</p> <p>Works to remove the party wall between no. 34 and 35 would have involved the introduction of a beam within the retained downstand. This may mean that the cornice in this location (and elsewhere in the room) has been replaced.</p> <p>Even if a replacement, the cornice to Room 6 is comparable to the original detailing and to other similar cornices in Bedford Square.</p> <p>The cornice and ceiling are potentially of medium to high significance.</p> <p>The ceiling in the corridor is of low significance and the surrounding cornice is modern and of low-medium significance. A historic lath and plaster may be present above the dropped ceiling according to historic plans.</p>	<p>Windows to the front elevation are c. 1919-1926 in date.</p> <p>The windows are of medium significance.</p>	<p>The existing columns are not original in no. 35 as shown in figure 1. The original columns had Ionic capitals. The existing columns are of medium significance.</p> <p>The original fireplace has been removed.</p>	<p>The architectural integrity of no. 35 as an individual building has been eroded through 20th century alteration. However, this work relates to another layer of the site's significance, that of the occupation and use of the buildings by the Architectural Association. The ground floor was used previously as a dining hall and is now in use as the lecture theatre.</p> <p>As the principal ground floor room of no. 35 and with replacement features and finishes, the character and appearance of the room is much removed from its original form and design. The fabric is of mixed interest and value. The ceiling and the cornice are the areas where historic fabric has been most likely retained. In other respects, the room has lost its original definition, columns, fireplace, windows and potentially its historic flooring.</p> <p>As a result the, room overall is of medium significance, mostly because of its association with the Architectural Association.</p>



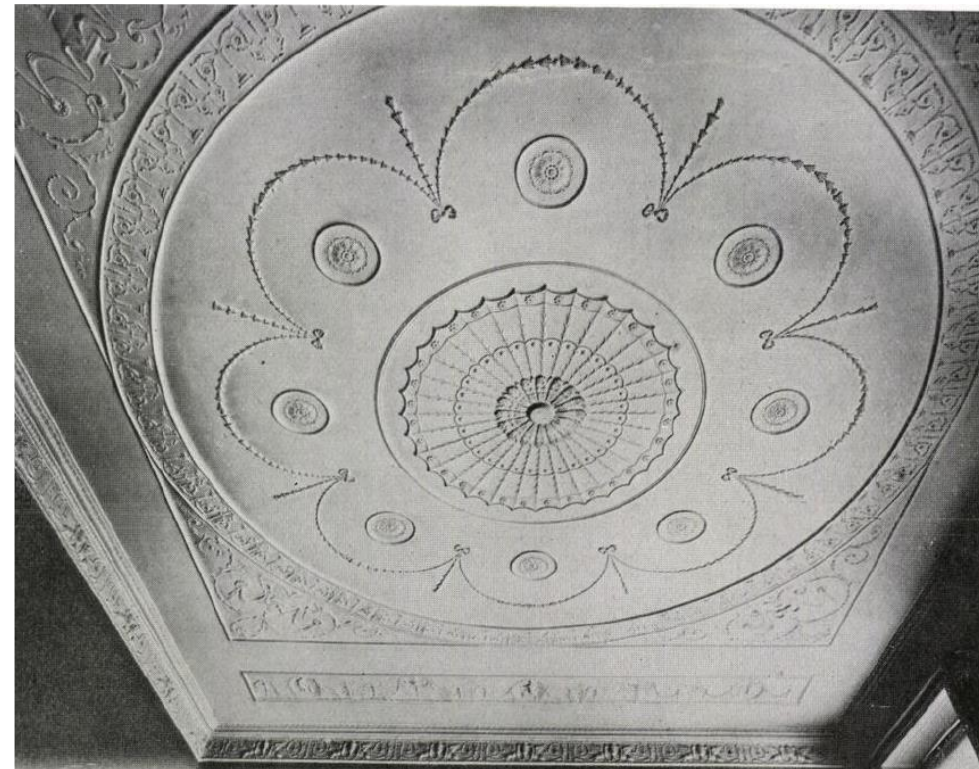
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GROUND FLOOR FRONT ROOM.



Copyright. CEILING OF FIRST FLOOR ROOM.

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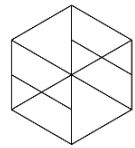


FIREPLACE, FIRST FLOOR FRONT ROOM.



FIREPLACE, GROUND FLOOR BACK ROOM.

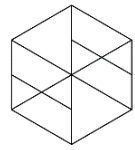
Photographs, Country Life: Houses of the Late XVIII Century, November 3, 1917.



Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
7	No. 7 is the former hallway to no. 35 Bedford Square. The party wall and wall to front room were removed in c. 1919. The front door was replaced with a window at the same time. The internal hall fanlight was retained. Atkinson introduced RSJs (as noted on historic drawings) supported on pillars along the line of the original walls. This work is likely to have caused much disruption to the ceiling and cornice. The features here, while historically appropriate, are likely to be c. 1919 in date. The floor is likely to have been stone in this location but there is no indication that this remains <i>in situ</i> .	<p>Further investigative works are required but it is likely that the floor finish has been unified (as with the wider decorative scheme across nos. 34-36) to provide an even finish.</p> <p>The flooring in this location is likely to be of low to medium significance.</p>	None.	<p>Given the extensive work undertaken in this area, the existing cornice and ceiling are likely to be replicas of the early 20th century, designed to match the decorative scheme of no. 35</p> <p>The ceiling therefore is of medium to high significance.</p>	<p>The front window that replaced the original door is of low to medium significance.</p> <p>Both fanlights are of high significance.</p>	None.	This area has been subject to much invasive alteration and as such the value of its fabric has been reduced. However, there is some aesthetic value to the cornice and ceiling and both fanlights. Value can also be attributed to the use of the space by the Architectural Association. This area is of medium significance overall.

Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
8	In 1917, the AA purchased nos. 34 and 35 Bedford Square. In 1919 works to laterally convert the buildings were undertaken by Robert Atkinson. This included the demolition of the entrance hall to no. 35 and the opening up between nos. 34 and 35 at ground floor level. It was reported at the time that no. 34 had been refurbished in a Neo Grecian style and was therefore not considered as valuable architecturally as no. 35. Casts were therefore made of the mouldings to no. 35 and replicated in no. 34.	<p>The floor finish to the main area is carpeted but minor opening up works indicate a plyboard finish although this potentially overlays historic floorboards. Further investigative works are required. Vinyl floor tiles have been applied to the corridor.</p> <p>The existing floor finishes are of no significance but their may be historic floorboards beneath.</p> <p>The floor has the potential to be of low or high significance subject to opening up works.</p>	There is likely to be a mixture of finishes given the substantial invasive works that have been undertaken to the front ground floor room.	The exiting cornice and ceiling were installed in the late 1910s and are of medium significance .	<p>Windows to the front elevation are c. 1919-1926 in date.</p> <p>The windows are of medium significance.</p>	<p>The existing columns are not original and were added as part of Atkinson's work. The existing are of medium significance.</p> <p>The original fireplace has been removed.</p>	<p>Room 8 has lost its original decoration and that added presumably during the early – mid 19th century. The room has been made to resemble no. 35 as part of a cohesive decorative scheme.</p> <p>As a result the, room overall is of medium significance, mostly because of its association with the Architectural Association.</p>

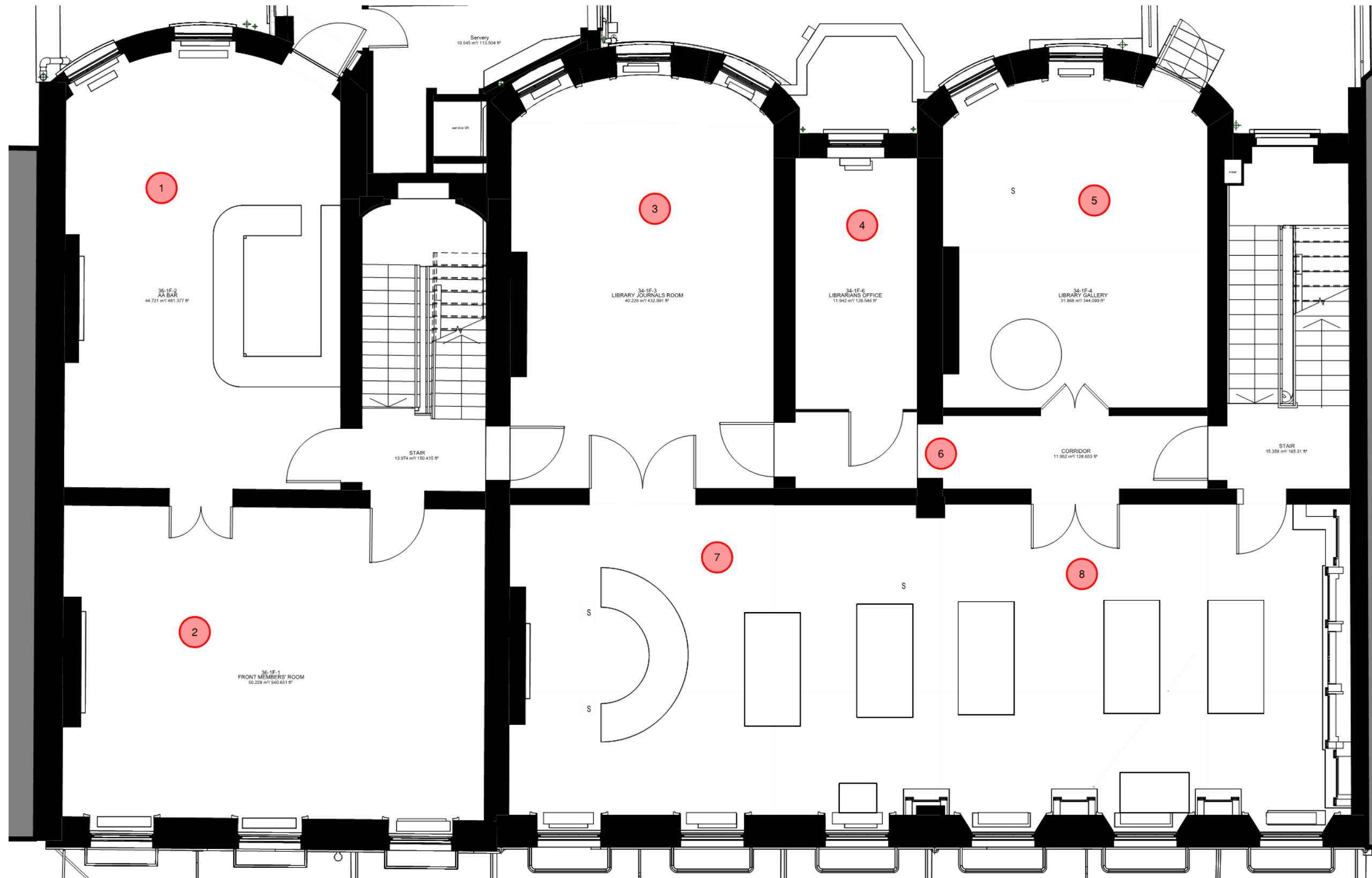
Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
9	No. 34 was acquired by the AA in 1917 and laterally converted into no. 35 by 1919. Although at the time this building was considered to be much altered by a Greek revival redecoration, the entrance hall retains more of its architectural integrity. The existing screen that divides the hall to create a lobby is potentially the model for the screen that was added to no. 36 in 1926.	Modern viny flooring throughout of the lowest significance . Unknown if historic floor finishes existing beneath.	Historic cornices and wall finishes as well as plaster roundels in the entrance hall are of the highest significance .	Existing ceiling potentially historic and with cornices of the highest significance .	Existing doors to the inner screen are of 1920s in date and are of medium significance .	The principal staircase is of the highest significance .	The entrance hall and stair compartment to no. 34 retains its historic legibility and integrity and is of the highest significance .

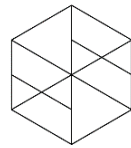


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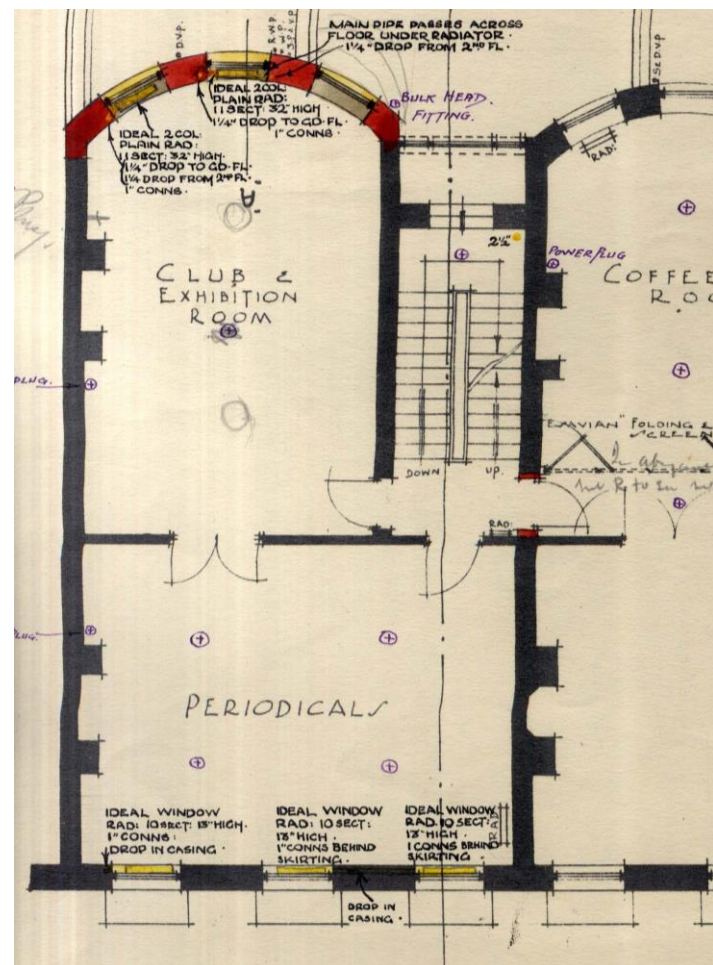


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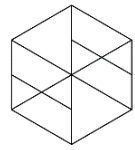
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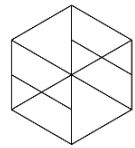
Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
1	The AA acquired no. 36 in 1926 and soon after, it was adapted for offices and members rooms by Atkinson. It was further adapted in 1927 by Easton and Robertson. The entire rear bay was rebuilt. In the 1926 plans of the scheme by Easton and Robertson, the room is shown as a Club and Exhibition Room with double doors through to Room 2 and a single width door to the stair compartment and landing. In c. 1980 the existing bar and tiled floor finish surround were added as part of the Rick Mather works at the AA which also included the Lecture Hall.	Carpet finish over timber boards. Likely to be 1920s floorboards as per Room 2. Medium significance. Tiled finish to bar low to medium significance.	Walls boarded over with modern finish for exhibitions. Underlying fabric unknown. Finish to bay 1920s fabric of medium significance.	Given that the entire rear bay was reconstructed, the cornice in this location at least cannot be original and the ceiling probably dates to the 1920s. The ceiling is plain but the and cornice matches that to the front room and is of medium to high significance.	Replacement windows 1920s with horns and 1920s timber surrounds and architraves. Medium significance.	Historic fire surrounds of High significance.	Room 1 retains some historic character but has been much altered through window replacement, a new floor finish in part and a new bar. While this has some significance in terms of the history of the AA and works of Rick Mather, it is discordant in the context of the Georgian townhouse. Given that Room 1 is a principal floor of no. 36 the room is overall medium to high significance although existing finishes are likely to be largely 1920s.



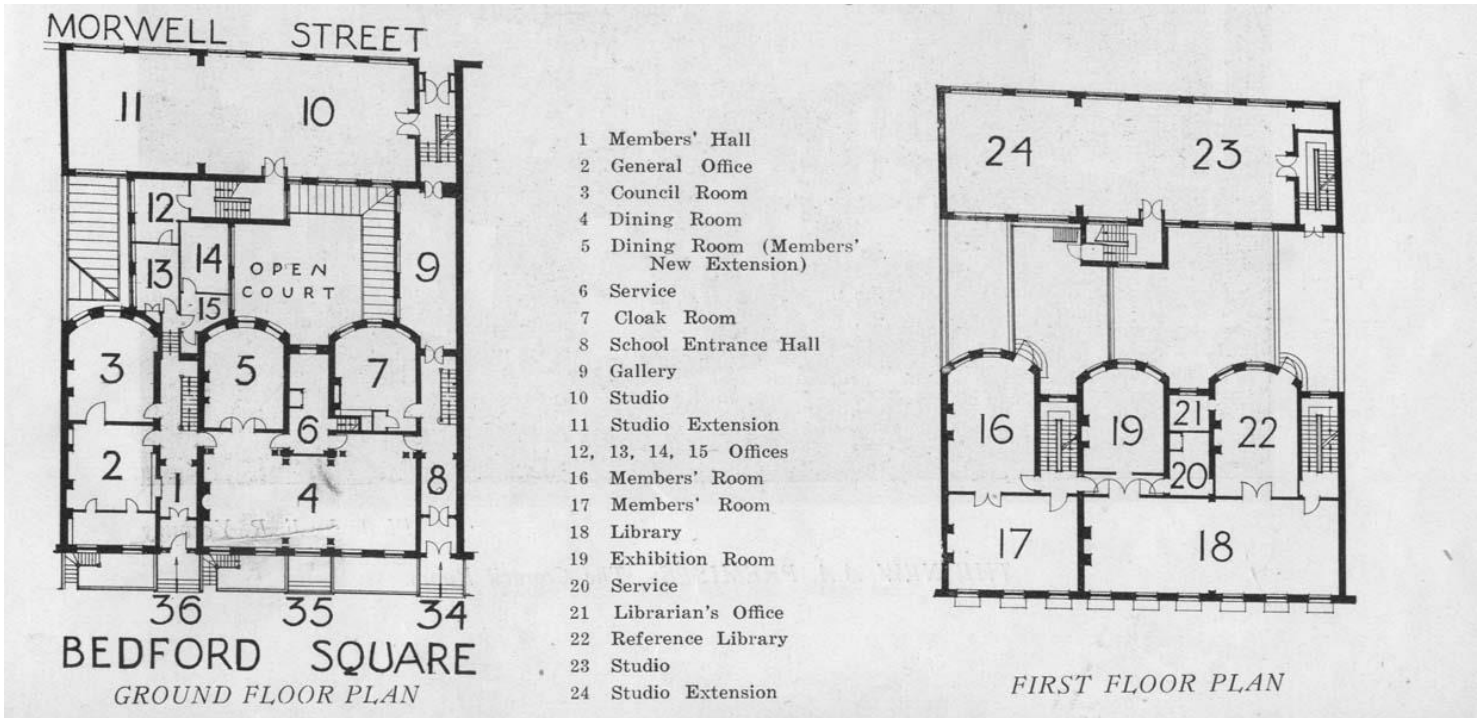
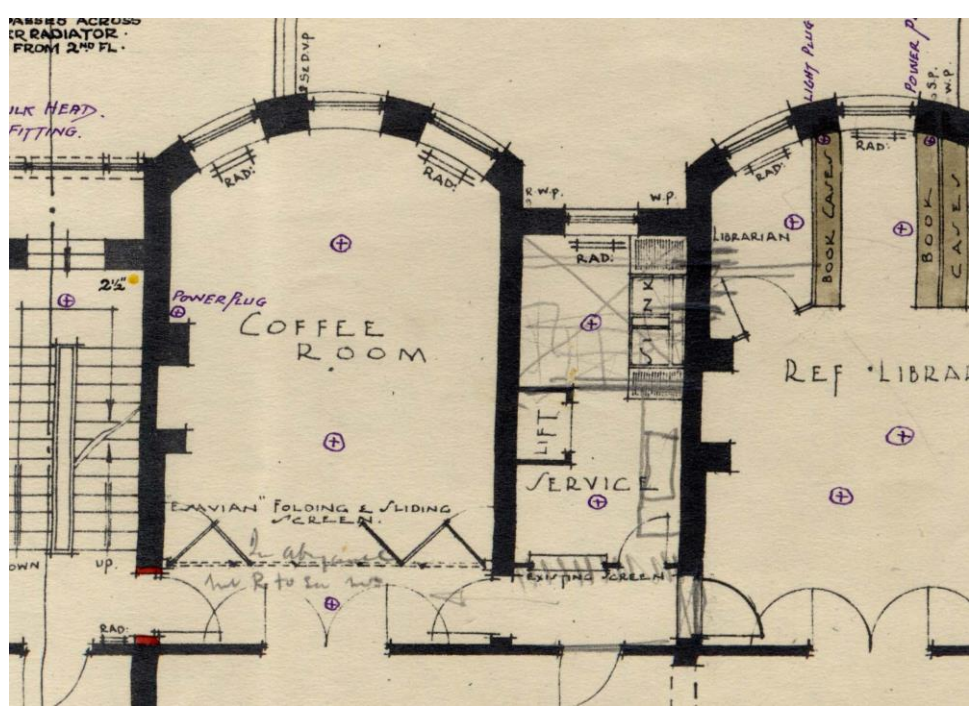
1926 Plan of no. 36 first floor.



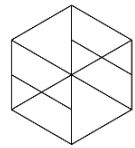
Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
2	<p>No. 36 was acquired in 1926 and alterations to the building were undertaken at this time. The building retains much of its historic character and appearance with an original ceiling and fire surround.</p> <p>In 1926 the room was used for 'periodicals' and has subsequently been used for members and meeting rooms and as ancillary to the bar in Room 1.</p>	Timber floor c. 1920s in date. Medium significance.	Walls lined over to allow for exhibition hangings. Wall finish beneath linings unknown. Existing wall finish is of the lowest significance..	The cornice and ceiling are original and are of the highest significance.	The inner screen door dates to the late 1920s and matches that to no. 34. The screen is nicely detailed but is not original to the building and is therefore of medium significance.	Dado, fire surround, window architraves and shutters are of the highest significance.	This room is probably the least altered across the whole site at nos. 34-36 and its retained fittings and finishes mean it is of the highest significance.



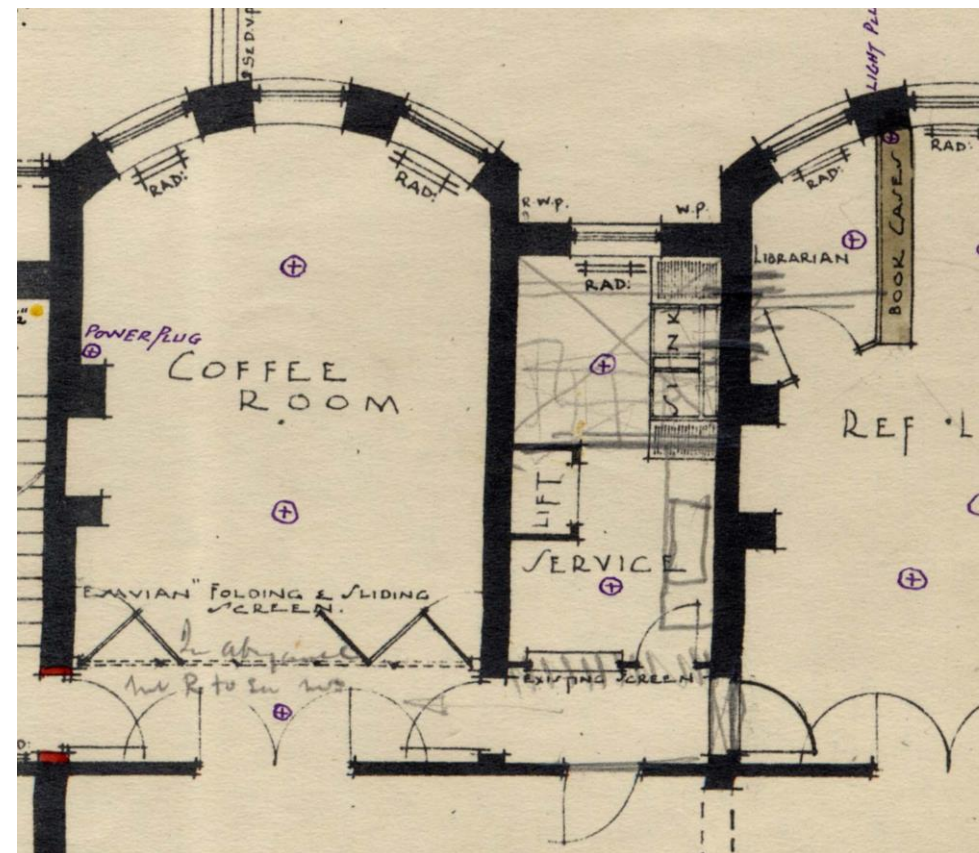
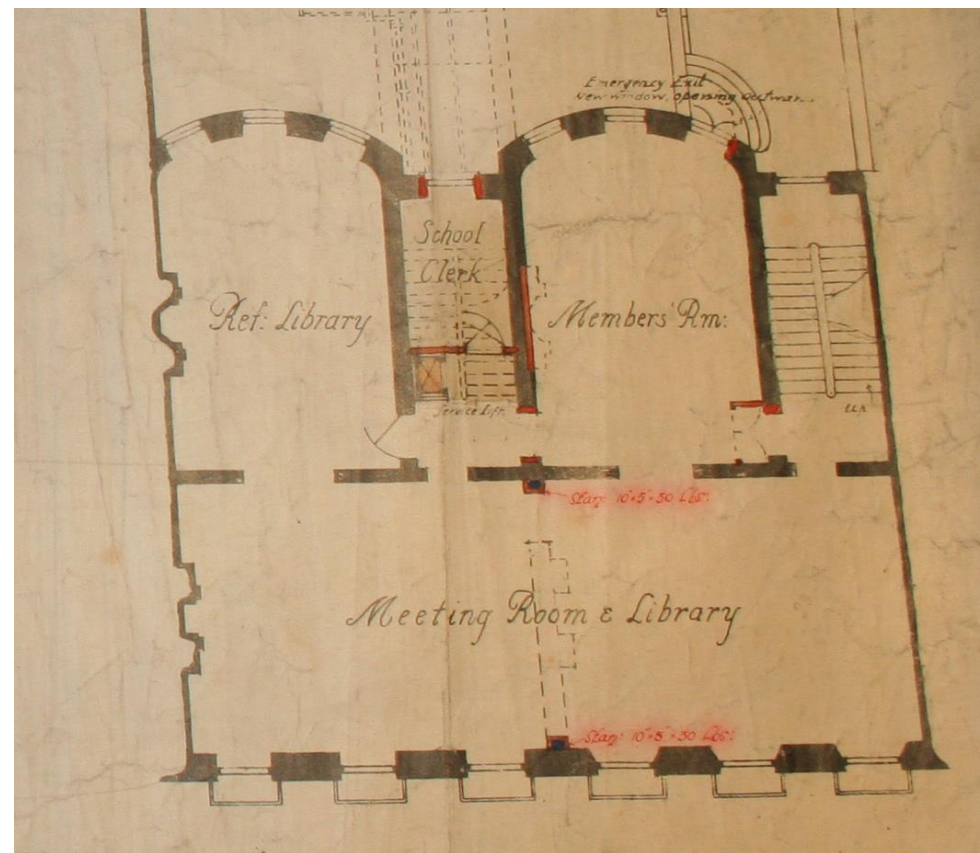
Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
3	<p>Room 3 is the former rear room of no. 35 Bedford Square. It has been altered to a degree. In 1919, the room was used as a reference library and accessed from the stair compartment of no. 34. It has since been connected to no. 36 by a single doorway.</p> <p>In 1926, sliding doors were shown subdividing the room from the corridor created by the lateral conversion into no. 36. This subdivision was retained up to c. 1980s but appears more solid in later plans.</p>	Modern carpet finish with underlying fabric unknown. Likely to be timber floor boardings that potentially match those to the front room. If so, the floor finish would be of medium significance .	Walls largely obscured by shelving. Likely to be lath and plaster finish of medium-high significance .	The ceiling and cornice look to be original/historic and are of the highest significance . The cornice doesn't match that to the front room.	Good quality windows of the highest significance although one is obscured..	Chimney breast obscured by shelving. Unknown if fireplace exists behind.	<p>Room 3 retains its historic character and appearance but much of the existing finishes are obscured making assessment difficult.</p> <p>Given that Room 3 is a principal room of no. 35 and that it broadly retains its original layout and form, the room is considered to be of the highest significance overall.</p>



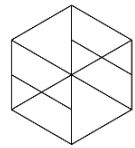
1973 Plan (left) and 1980 plan (right).



Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
4	<p>Room 4 was the original location of no. 35's principal staircase. This was removed by 1919. The room has been subdivided historically with a lift serving basement to second floors.</p> <p>The room was subdivided into two for most of the 20th century but now is reunited as a single space. During the middle of the 19th century, a doorway provided access between Rooms 4 and 5.</p>	Modern floor finish of lowest significance .	Modern wall finishes of lowest significance .	Trace of historic cornice to former stair compartment retained of the highest significance . The ceiling above the former landing is historic but the remainder is modern and of low significance .	Modern window of the medium significance .	None.	Given the area's history of change, the fabric in this area is of the lowest significance although the trace of original cornice is of the highest significance .



1919 plan (left) and 1926 plan (right)

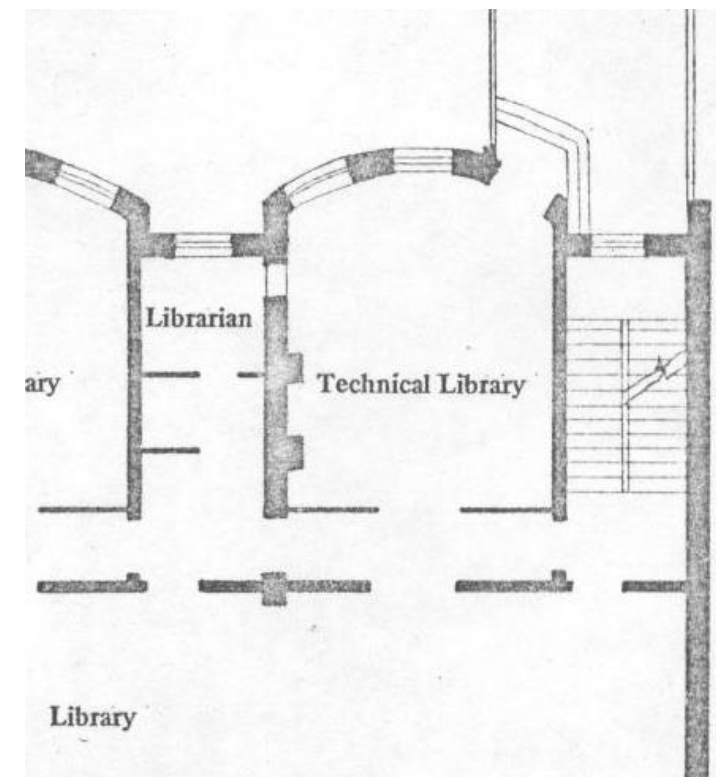
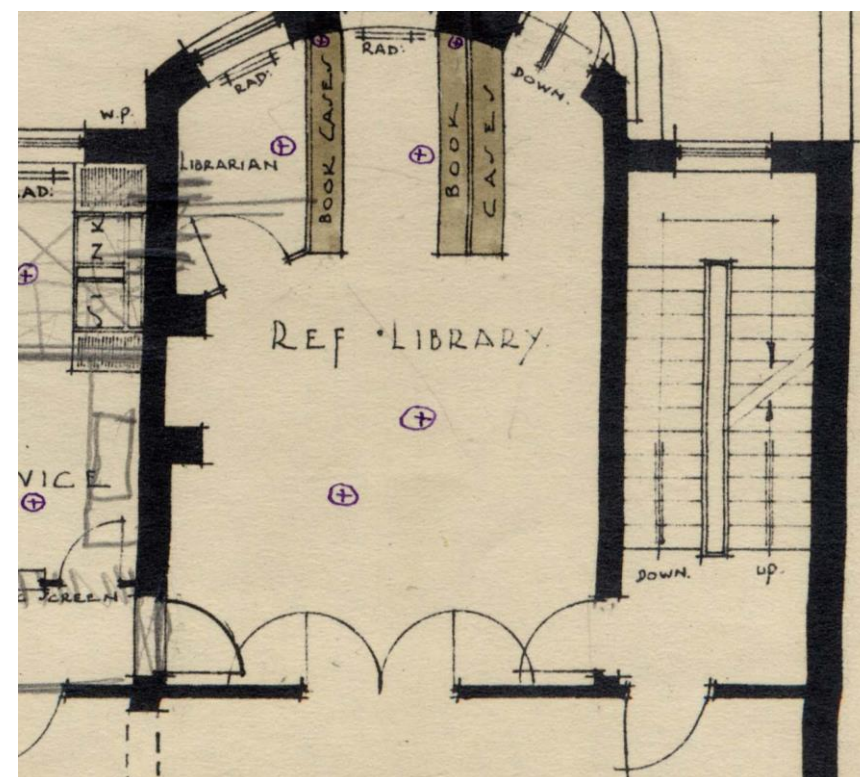
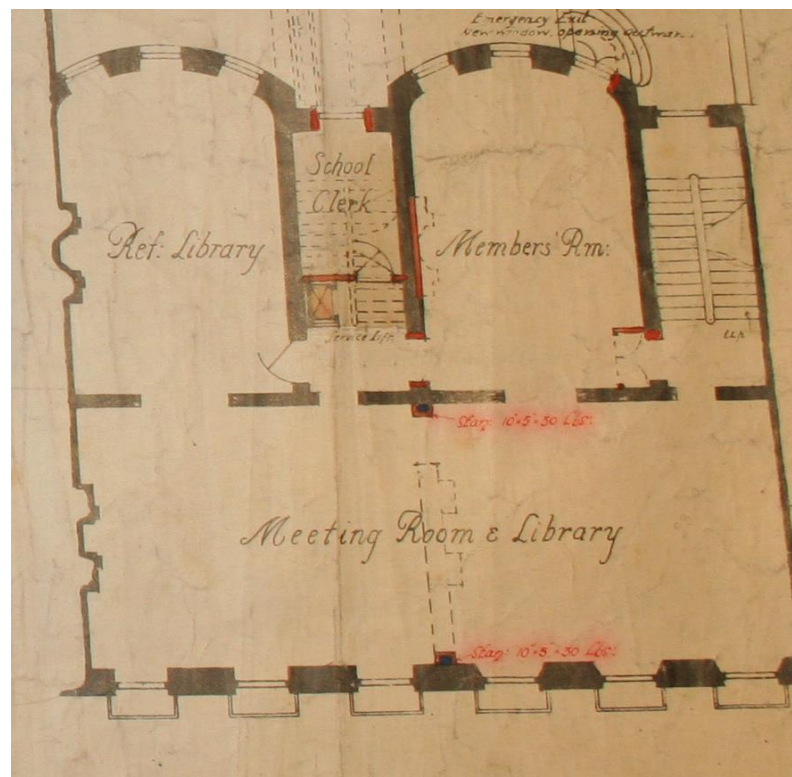


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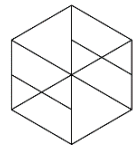
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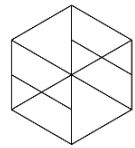
Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
5	<p>In 1919, alterations were carried out to this room. A doorway was created through the rear bay (which still exists). In 1926, book cases were added as was a small librarian's office in one corner.</p> <p>Eventually, the room was subdivided off to create a corridor through the centre of the building. This must have taken place between 1926 and 1973.</p>	<p>The existing floor has a carpet finish but is likely to be timber boarded. The floor boarding is likely to date from the 1920s. If this is the case the floor is of medium significance.</p>	<p>The wall finishes are also likely to be of the late 1910s/1920s and are therefore considered to have medium significance.</p>	<p>The AA undertook major decorative works to no. 34 from 1917 in order to make it more consistent with the original building. Further works were undertaken to the room by 1973 to subdivide the room from the central corridor. The existing cornice aligns with this 20th century partition and is therefore likely to relate to a phase of alterations carried out at this time. The cornice detailing does not match any other in the building. The ceiling has a smooth finish and its likely to comprise 20th century plaster. Low to medium significance.</p>	<p>The windows to the rear elevation are 1910s/1920s and are of medium significance.</p>	<p>Chimney breast now obscured by shelving.</p>	<p>The rear room of no. 34 has been reworked since the AA's acquisition and in the context of the existing dwelling is of medium significance.</p>



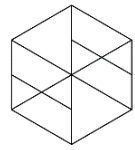
1919 plan (left), 1926 plan (centre) and 1973 plan (right).



Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
6	<p>The corridor between the front and rear rooms of nos. 35 and 35 has been formed over time. Originally, there was no subdivision here – the original houses had front and rear rooms at first floor, accessed via the stair compartment. A double door width opening linked the front and rear rooms.</p> <p>The double door opening to the front room is retained, as is the door from the stair. The door within the opening is not original. The original door opening to the rear room now leads to this central corridor.</p> <p>The wall that subdivides the rear room from the corridor was added between 1926 and 1973. So to was the existing dropped ceiling that extends from the stair at no. 34 to the former stair at no. 35.</p>	<p>The existing floor has a carpet finish but is likely to be timber boarded. The floor boarding is likely to date from the 1920s. If this is the case the floor is of medium significance.</p>	<p>The wall and finishes between the rear room of no. 34 (room 5) and Room 6 are modern and are of low significance. The walls to the front rooms are on the original line but obscured by shelving and a dropped ceiling. There is the potential for this wall to be of high significance.</p> <p>A glazed screen divides the office and the corridor which is of low significance.</p>	<p>The part of Room 6 relating to no. 34 has a dropped ceiling of low significance. A historic ceiling and cornice may be present above.</p> <p>To the rear of no. 35 the ceiling level is original and retains a section of cornice relating to the former stair compartment. This is of high significance.</p>	<p>No windows present.</p>	<p>Doors and joinery are present but these appear to be 1920s in date. These are of medium significance.</p>	<p>Room 6 has been incrementally altered since 1919 and as a result has an <i>ad hoc</i> character and appearance. The corridor emphasises the lateral conversion of the buildings and although retains some historic features, in the context of the original Georgian houses, it is of low-medium significance.</p>



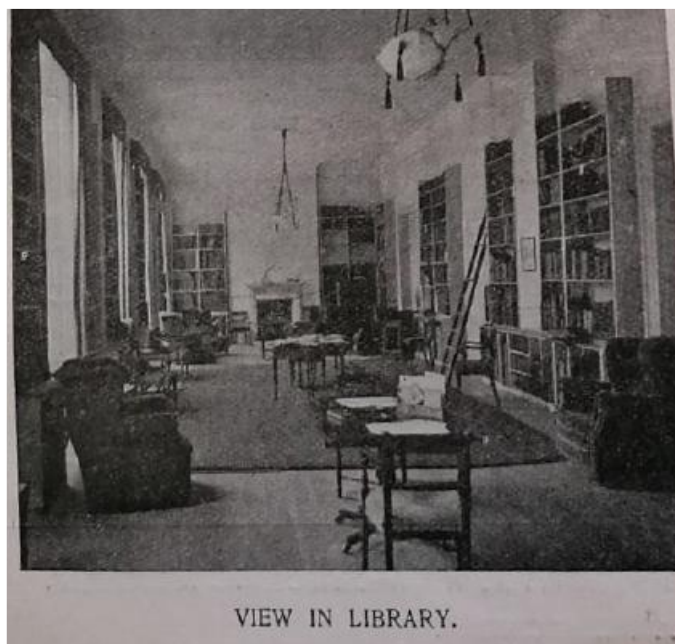
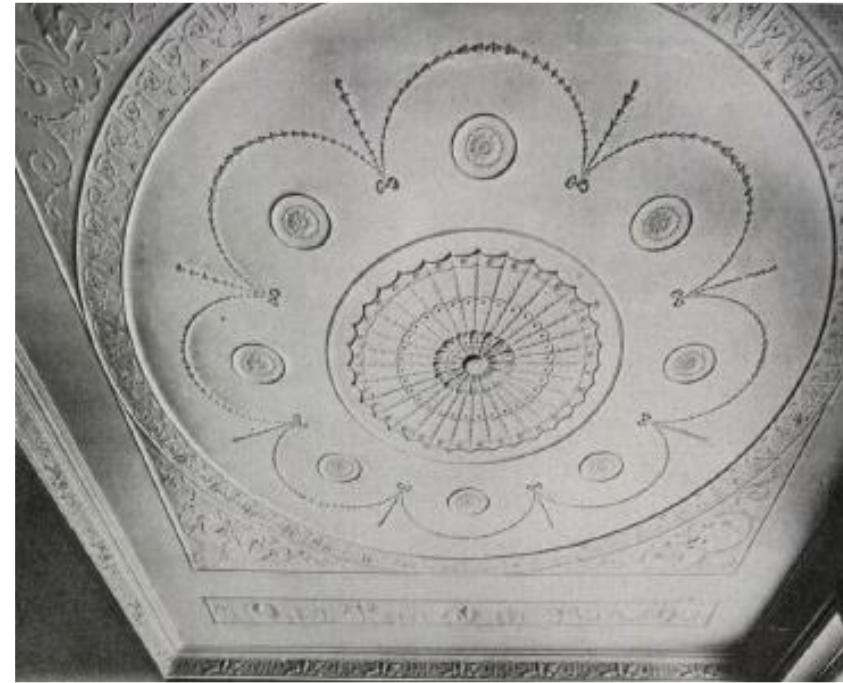
Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
7	<p>In 1917, the AA purchased nos. 34 and 35 Bedford Square. In 1919 works to laterally convert the buildings were undertaken by Robert Atkinson.</p> <p>The works involved the removal of the party wall between nos. 34 and 35 at first floor level to create a meeting room and library. The fireplace to the first floor front room of no. 34 was also removed. A steel was introduced on the line of the party wall.</p> <p>No. 34 had been redecorated in a neo-Grecian style prior to acquisition by the AA. Works were undertaken to no. 34 to match detailing of no. 35. During works to the building, the ceiling of no. 34 reportedly collapsed and a new ceiling and cornice were introduced that matched that to no. 35. This resulted in a more coherent decorative scheme across the unified space.</p> <p>In 1921, Atkinson created the Memorial Library complete with a war memorial over the original fireplace in no. 35. The existing shelving relates to this early 1920s work.</p>	<p>The existing floor is carpeted but historic photographs show a c. 1920s floor with narrow boards similar to those seen elsewhere in the building. The timber floor finish is of medium significance.</p>	<p>The wall finishes behind the existing shelves are likely to be c. 1920s in date, together with the shelving. The wall finishes are of medium significance. The shelving forms part of a scheme for the Memorial Library and hold commemorative as well as architectural and historic value. The shelving as a consistent scheme across nos. 34 and 35 is of medium to high significance.</p>	<p>The existing ceiling and cornice to Room 7 are original and are of the highest significance.</p> <p>However, the ceiling to no. 35 has clearly been disrupted through the removal of the party wall and the cornice and ceiling are likely to have been disrupted.</p>	<p>Windows to the front appear to be historic/original. The windows and surrounding shutter boxes and panelling are of the highest significance.</p>	<p>The existing fireplace to no. 35 is original and of the highest significance.</p> <p>The surrounding war memorial decorative scheme and tablet are clearly of historic and architectural value. As non-original elements of the building, they are considered to be of medium-high significance.</p> <p>The existing doors and joinery are 1920s in date but relate to historic positions and are sympathetically detailed. They are considered to be of medium significance.</p>	<p>The architectural integrity of no. 35 as an individual building has been eroded through 20th century alteration. However, this work relates to another layer of the site's significance, that of the occupation and use of the buildings by the Architectural Association. The room now forms part of the AA's Library and of its WW memorial.</p> <p>Room 7 was the principal room of the house and it still retains a principal function, albeit one removed from its original character and appearance. That said, the room retains its historic ceiling and fire surround together with a broad appreciation for its original layout.</p> <p>The War Memorial and Memorial Library add an additional layer of significance to this area and overall, Room 7 is considered to be of the highest significance despite alterations made to the floors and windows.</p>



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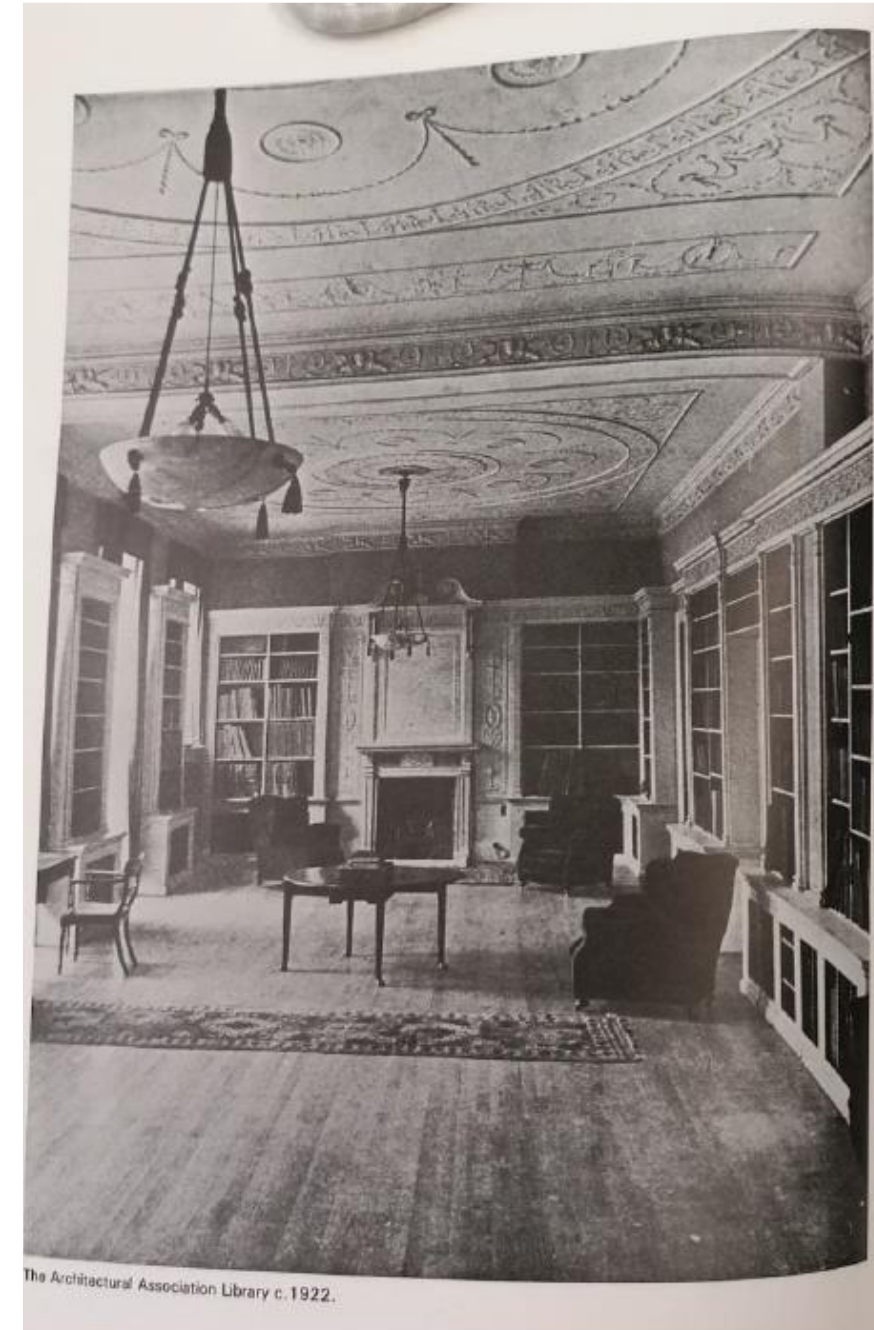
First Floor Significance Plan
The Architectural Association, no. 36 Bedford Square,
London, WC1B 3ES
February 2023



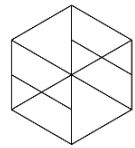
1920 [© The Architects Journal 13 Oct 1920]



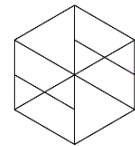
1920 [© The Architects Journal 13 Oct 1920]



The library in 1922 [© Elizabeth Dixon, Architectural Association Library, (1981)]



Room	History	Floor	Walls	Ceiling and cornice	Windows	Other decorative features	Effect and overall significance
8	<p>In 1917, the AA purchased nos. 34 and 35 Bedford Square. In 1919 works to laterally convert the buildings were undertaken by Robert Atkinson.</p> <p>The works involved the removal of the party wall between nos. 34 and 35 at first floor level to create a meeting room and library. The fireplace to the first floor front room of no. 34 was also removed. A steel was introduced on the line of the party wall.</p> <p>No. 34 had been redecorated in a neo-Grecian style prior to acquisition by the AA. Works were undertaken to no. 34 to match detailing of no. 35. During works to the building, the ceiling of no. 34 reportedly collapsed and a new ceiling and cornice were introduced that matched that to no. 35. This resulted in a more coherent decorative scheme across the unified space.</p> <p>In 1921, Atkinson created the Memorial Library complete with a war memorial over the original fireplace in no. 35. The existing shelving relates to this early 1920s work.</p>	<p>The existing floor is carpeted but historic photographs show a c. 1920s floor with narrow boards similar to those seen elsewhere in the building. The timber floor finish is of medium significance</p>	<p>The wall finishes behind the existing shelves are likely to be c. 1920s in date, together with the shelving. The wall finishes are of medium significance. The shelving forms part of a scheme for the Memorial Library and hold commemorative as well as architectural and historic value. The shelving as a consistent scheme across nos. 34 and 35 is of medium to high significance.</p>	<p>The existing ceiling and cornice to Room 8 are 1920s in date. The replaced an historic decorative scheme in no. 34 to match that in no. 35. The ceiling and cornice are of medium significance.</p>	<p>Windows to the front appear to be historic/original but are late 1910s/1920s in date. In addition to this, it has been reported that WWII blast damaged blew out the library windows necessitating their replacement. The windows are therefore of medium significance and surrounding shutter boxes and panelling are of the highest significance.</p>	<p>Beyond the existing ceiling, cornice, shelving and windows, there are no other features of historic interest.</p>	<p>The architectural integrity of no. 34 as an individual building has been eroded through 20th century alteration. However, this work relates to another layer of the site's significance, that of the occupation and use of the buildings by the Architectural Association. The room now forms part of the AA's library and of its WW memorial.</p> <p>Room 8 was the principal room of the house and it still retains a principal function, albeit one removed from its original character and appearance. The principal room has been much altered from its original appearance and it has lost more of its legibility than no. 35 because of the removal of the party wall and chimney breast.</p> <p>The existing character and appearance is derived from works undertaken in the late 1910s and the early 1920s.</p> <p>The War Memorial and Memorial Library add an additional layer of significance to this area and overall, Room 8 is considered to be of the medium to high significance despite alterations made to the floors and windows.</p>



Appendix C – Relevant historic environment policy

National Planning Policy & Legislation

A1 Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that:

In considering whether to grant listed building consent for any works the local planning authority or the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

A2 The revised National Planning Policy Framework 2021 (NPPF) sets out the Government's planning policies and how these are expected to be applied. There is a general presumption in favour of sustainable development within national planning policy guidance.

Paragraph 194

In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary.

Paragraph 195

Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.

Paragraph 197

In determining planning applications, local planning authorities should take account of: the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;

- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and,*
- the desirability of new development making a positive contribution to local character and distinctiveness.*

Paragraph 199

When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

Paragraph 202

Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

Local Planning Policy

A3 *Camden's Local Plan was adopted on 3 July 2017 and sets out the Council's planning policies, replacing the Core Strategy and Development Policies planning documents that were adopted in 2010. The Local Plan will cover the period 2016-2031 and will play an essential role in the delivery of the Camden Plan, which sets out the Council's vision for the borough.*

A4 Policy D1 – Design is a key policy and has various parts that are relevant to the proposed development in heritage terms:

The Council will seek to secure high quality design in development. The Council will require that development:
a. respects local context and character;
b. preserves or enhances the historic environment and heritage assets in accordance with "Policy D2 Heritage";
e. comprises details and materials that are of high quality and complement the local character.

A5 Policy D2 – Heritage has relevant parts and is clear that:

The Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.

Designated heritage assets

The Council will not permit development that results in harm that is less than substantial to the significance of a designated heritage asset unless the public benefits of the proposal convincingly outweigh that harm.

Listed Buildings

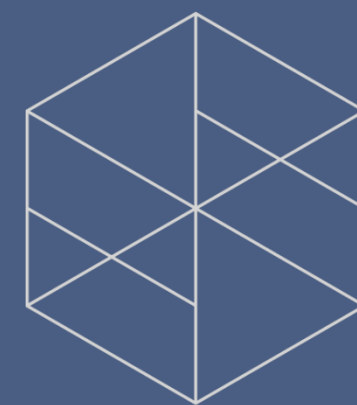
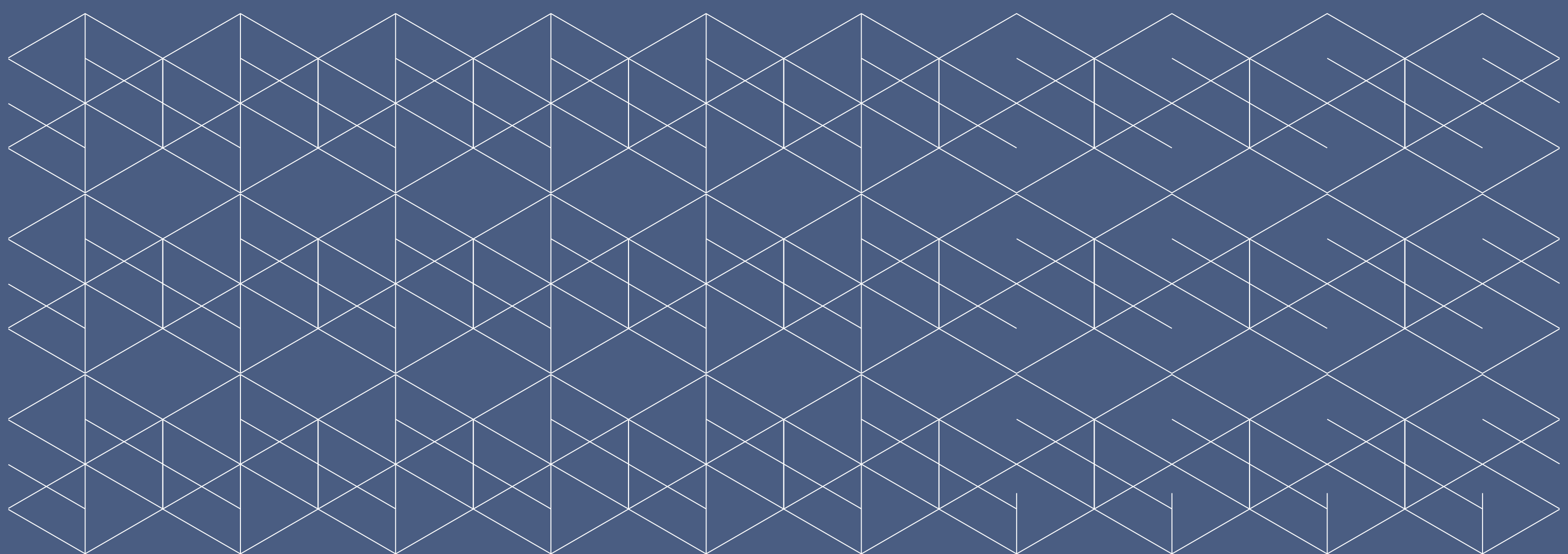
Listed buildings are designated heritage assets and this section should be read in conjunction with the section above headed 'designated heritage assets'. To preserve or enhance the borough's listed buildings, the Council will:

- i. resist the total or substantial demolition of a listed building;*
- j. resist proposals for a change of use or alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building; and*
- k. resist development that would cause harm to significance of a listed building through an effect on its setting.*

The London Plan

A6 The London Plan 2021 is the Spatial Development Strategy for Greater London. It sets out a framework for how London will develop over the next 20-25 years and the Mayor's vision for Good Growth. Policy HC1 Heritage conservation and growth part C is relevant.

C Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets' significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.



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