BEDFORD SQUARE

N O. 36 N O. 35 N O. 34 Architectural Association PROJECT STATUS PLANNING NOTES / Structural subsidance has been treated. See heritage The drawings should therefore not be used for any other E - RL 16445 mm Dimensions and setting out - Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility. Structure & Construction – these drawings, unless W.03.04 W.03.05 E - RL Mid 14460 mm Planning drawings and take responsibility for the discharge of any planning conditions. E - RLb Mews obtained before work commences. 12880 mm Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any E - 03 12130 mm obtained before work commences. Areas – the areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon E - 03b - Mews 10560 mm that may occur during construction. E - 02 8810 mm E - 02b - Mews W.01.09 W.01.05 W.01.02 W.01.03 W.01.06 REFERENCE KEY E - 01 4110 mm — - - - - — PARTY WALL LINE **EXISTING WALLS** E - 01b - Mews W.00.01 W.00.02 W.00.04 W.00.05 W.00.06 DEMOLISHED WALLS W.00.03 (D.00.0) 09.01
TYPICAL OFFICE ROOM DETAILS 100sqm 1000sqft **E - 00**a E - 00b - Mews <u>E - B1 - Mezzanine</u> _ Scale at A1 / A3 1:50 / 1:100 E - B1

BUILT.WORKS

3-5 Bleeding 020 86385945 Heart Yard, info@built.works @built.works

EC1N 8SJ www.built.works

BW125 AA Minor Works

PROJECT NUMBER PROJECT NAME

INFORMATION

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.

purpose without both the prior the agreement of the architect, and subsequent checking / development by

expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is

completed in accordance with the Building Regulations. Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved

Party Walls & Rights to Light – the client/ the contractor will ensure that any notices and consents required are

notices and consents required are obtained before work

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are

received survey information and as such a reasonable allowance should be made for discrepancies or deviations

PROPOSED WALLS

Existing Elevation 01 (NW)

-3190 mm

BEDFORD SQUARE N O. 34 N O. 35 N O. 36 16445 mm Pier 06 Pier 02 Pier 03 Pier 04 Pier 05 Pier 08 Pier 07 Pier 09 Drwg no.E3002 Drwg no.E3006 Drwg no.E3001 Drwg no.E3003 Drwg no.E3004 Drwg no.E3005 Drwg no.E3007 Drwg no.E3008 Drwg no.E3009 W.03.01 W.03.05 W.03.04 W.03.03 W.03.02 E-03 12130 mm

W.00.0 (D.B1.11) D.B1.10

BUILT.WORKS

3-5 Bleeding Heart Yard, info@built.works @built.works EC1N 8SJ www.built.works

PROJECT NUMBER PROJECT NAME

BW125 AA Minor Works

Architectural Association

PROJECT STATUS

EXISTING

PLANNING NOTES

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Areas – the areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

CONCEALED PIPEWORK KEY

PRIMARY PIPE WORK

- - DROPPED PIPE HIDDEN *ALL ROUTES ASSUMED

REFERENCE KEY

— - — - — PARTY WALL LINE



DEMOLISHED WALLS



PROPOSED WALLS

09.01
TYPICAL OFFICE ROOM DETAILS 100sqm 1000sqft

1:50 / 1:100

Drawing Name

Existing Section 01

BW125 - BW - 00 - ZZ - DR - A - E0401

E - 02

E - 01 4110 mm

 $\frac{E - 00}{10 \text{ mm}} -$

E - B1 -3190 mm

8810 mm



BUILT.WORKS

3-5 Bleeding Heart Yard, info@built.works @built.works EC1N 8SJ www.built.works

PROJECT NUMBER PROJECT NAME

BW125 AA Minor Works

Architectural Association

PROJECT STATUS

EXISTING

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Freeholder / Leaseholder / Restricted covenants /

Easement approvals - the client will ensure that any notices and consents required are obtained before work

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Areas – the areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

CONCEALED PIPEWORK KEY

PRIMARY PIPE WORK

− − − DROPPED PIPE HIDDEN *ALL ROUTES ASSUMED

REFERENCE KEY

— - — - — PARTY WALL LINE

DEMOLISHED WALLS

EXISTING WALLS

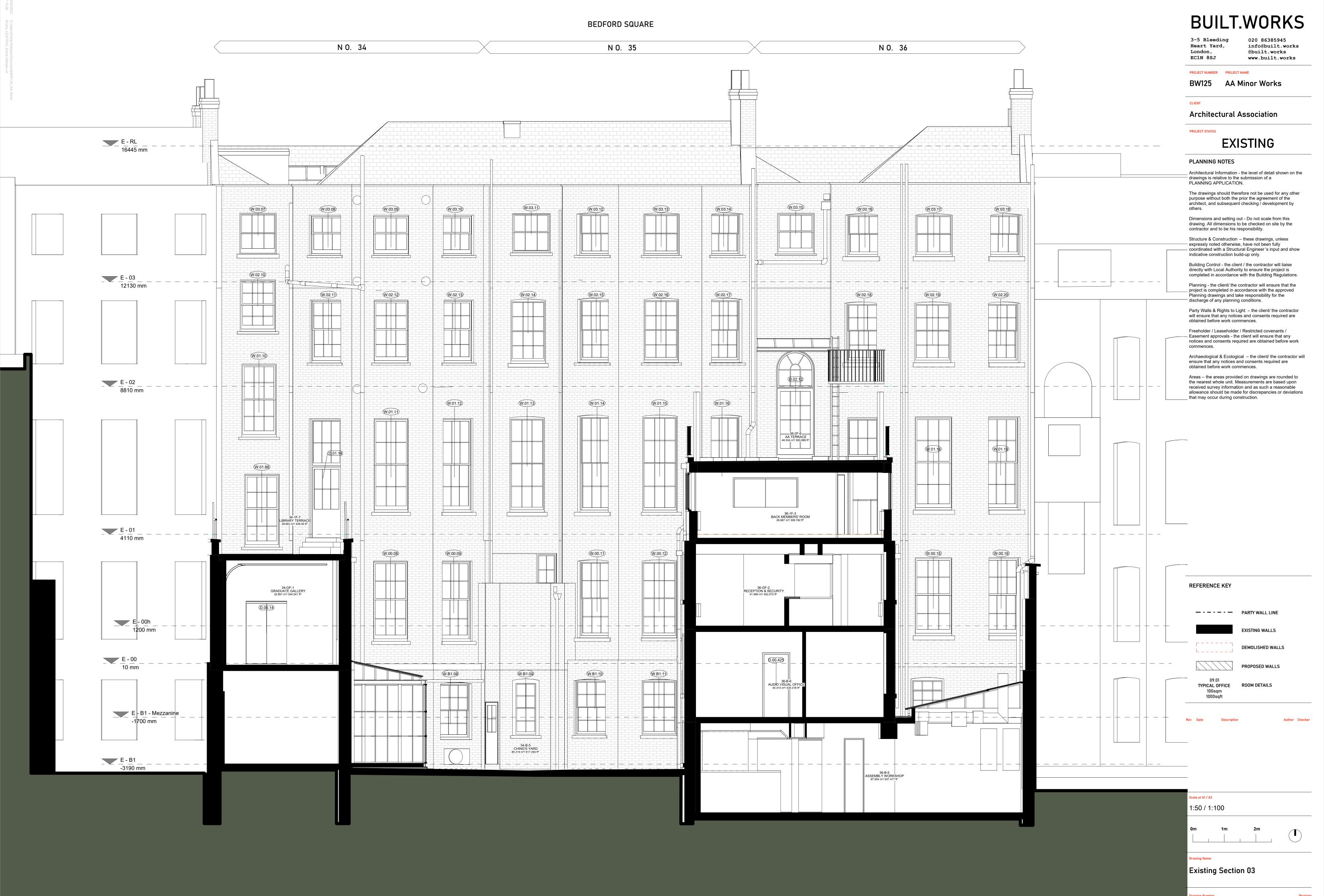
PROPOSED WALLS

09.01
TYPICAL OFFICE ROOM DETAILS

100sqm 1000sqft

1:50 / 1:100

Existing Section 02



MORWELL STREET BEDFORD SQUARE 3-5 Bleeding Heart Yard, info@built.works @built.works EC1N 8SJ www.built.works PROJECT NUMBER PROJECT NAME BW125 AA Minor Works Architectural Association PROJECT STATUS **EXISTING** E-RL 16445 mm PLANNING NOTES Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose without both the prior the agreement of the architect, and subsequent checking / development by E - RL Mid 14460 mm Dimensions and setting out - Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility. D.03.07 Structure & Construction – these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show E - RLb Mews indicative construction build-up only. 12880 mm Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions. Party Walls & Rights to Light – the client/ the contractor will ensure that any notices and consents required are obtained before work commences. <u>E</u> - 03b - Mev Freeholder / Leaseholder / Restricted covenants / 0.00.465 Easement approvals - the client will ensure that any notices and consents required are obtained before work Archaeological & Ecological – the client/ the contractor will ensure that any notices and consents required are obtained before work commences. Areas – the areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations E - 02 that may occur during construction. <u>E</u> - 02b -6690 mm D.01.09 34-1F-4 FIRST YEAR STUDIO UPSTAIRS 151.647 m²/ 1632.319 ft² Z46 STAIR 23.542 m²/ 253.408 ft² E - 01 4110 mm <u>E - 01b - 1</u> 2880 mm REFERENCE KEY 36-GF-4 SOUTH JURY ROOM 31.798 m²/ 342.272 ft² 36-GF-6 LECTURE HALL 103.306 m²/ 1111.974 ft² — - - - - — PARTY WALL LINE <u>E - 00c</u> 1200 mm **EXISTING WALLS** 36-GF-3 DOWNSTAIRS FIRST YEAR STUDIO 109.993 m²/ 1183.951 ft² DEMOLISHED WALLS 09.01
TYPICAL OFFICE ROOM DETAILS
100sqm
1000sqft 34-B-5 HING'S YARD 219 m²/ 917.294 ft E - Bi - Mezzanine -1700 mm 1:50 / 1:100 E - B1b Mews -4880 mm Existing Section 08

BUILT.WORKS

