

## BEDFORD SQUARE

N O. 36

N O. 35

N O. 34



PROJECT NUMBER: BW125  
PROJECT NAME: AA Minor Works

CLIENT: Architectural Association

### INFORMATION

#### PLANNING NOTES

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.

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Dimensions and setting out - Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

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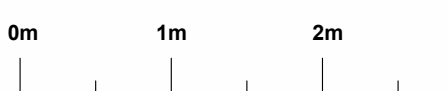
Areas - the areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

#### REFERENCE KEY

- - - - - PARTY WALL LINE
- █ EXISTING WALLS
- ▭ DEMOLISHED WALLS
- ▨ PROPOSED WALLS
- 09.01 TYPICAL OFFICE 100sqm 1000sqft
- ROOM DETAILS

Rev Date Description Author Checker

Scale at A1 / A3  
1:50 / 1:100



Drawing Name  
Existing Elevation 01 (NW)

Drawing Number  
BW125 - BW - 00 - ZZ - DR - A - E0301



BEDFORD SQUARE

N O. 34

N O. 35

N O. 36

E - RL  
16445 mm

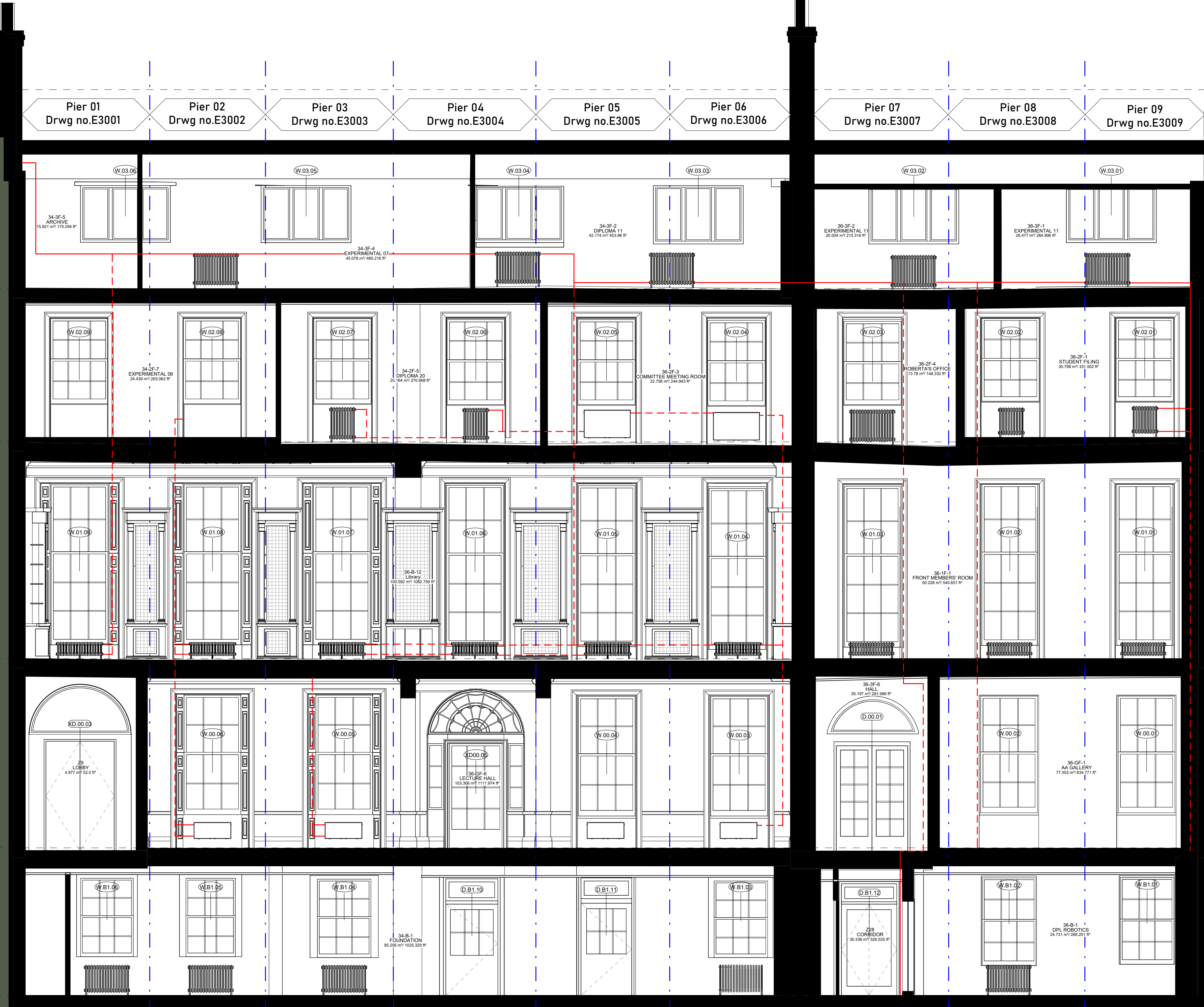
E - 03  
12130 mm

E - 02  
8810 mm

E - 01  
4110 mm

E - 00  
10 mm

E - B1  
-3190 mm



BUILT.WORKS

3-5 Bleeding Heart Yard, London, EC1N 8SJ  
020 86385945  
info@built.works  
www.built.works

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CLIENT: Architectural Association

PROJECT STATUS: EXISTING

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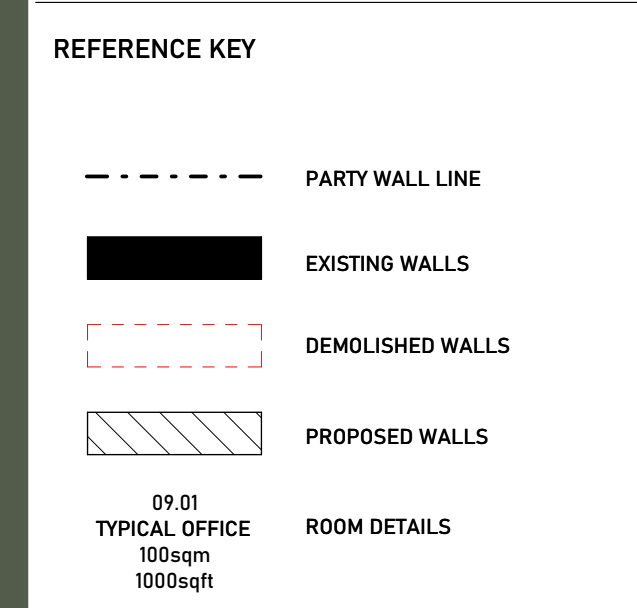
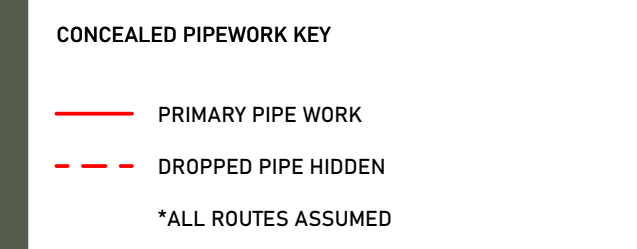
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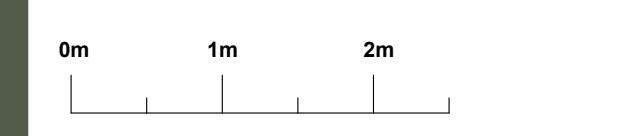
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Rev	Date	Description	Author	Checker

Scale at A1 / A3  
1:50 / 1:100



Drawing Name: Existing Section 01

Drawing Number: BW125 - BW - 00 - ZZ - DR - A - E0401

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N O. 36

N O. 35

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E - RL  
16445 mm

E - 03  
12130 mm

E - 02  
8810 mm

E - 01  
4110 mm

E - 00b  
1200 mm

E - 00  
10 mm

E - B1 - Mezzanine  
-1700 mm

E - B1  
-3190 mm



**CONCEALED PIPEWORK KEY**

— PRIMARY PIPE WORK  
- - - DROPPED PIPE HIDDEN  
\*ALL ROUTES ASSUMED

**REFERENCE KEY**

- - - - - PARTY WALL LINE  
█ EXISTING WALLS  
- - - - - DEMOLISHED WALLS  
▨ PROPOSED WALLS

09.01 TYPICAL OFFICE  
100sqm  
1000sqft

ROOM DETAILS

Rev Date Description Author Checker

Scale at A1 / A3  
1:50 / 1:100

0m 1m 2m

Drawing Name  
Existing Section 02

Drawing Number  
BW125 - BW - 00 - ZZ - DR - A - E0402



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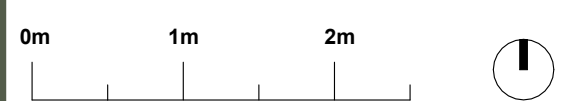
REFERENCE KEY

- - - - - PARTY WALL LINE
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- ▭ DEMOLISHED WALLS
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- 09.01 TYPICAL OFFICE 100sqm 1000sqft
- ROOM DETAILS

Rev Date Description Author Checker

Scale at A1 / A3

1:50 / 1:100



Drawing Name  
Existing Section 03

Drawing Number Revision  
BW125 - BW - 00 - ZZ - DR - A - E0403

E - RL  
16445 mm

E - 03  
12130 mm

E - 02  
8810 mm

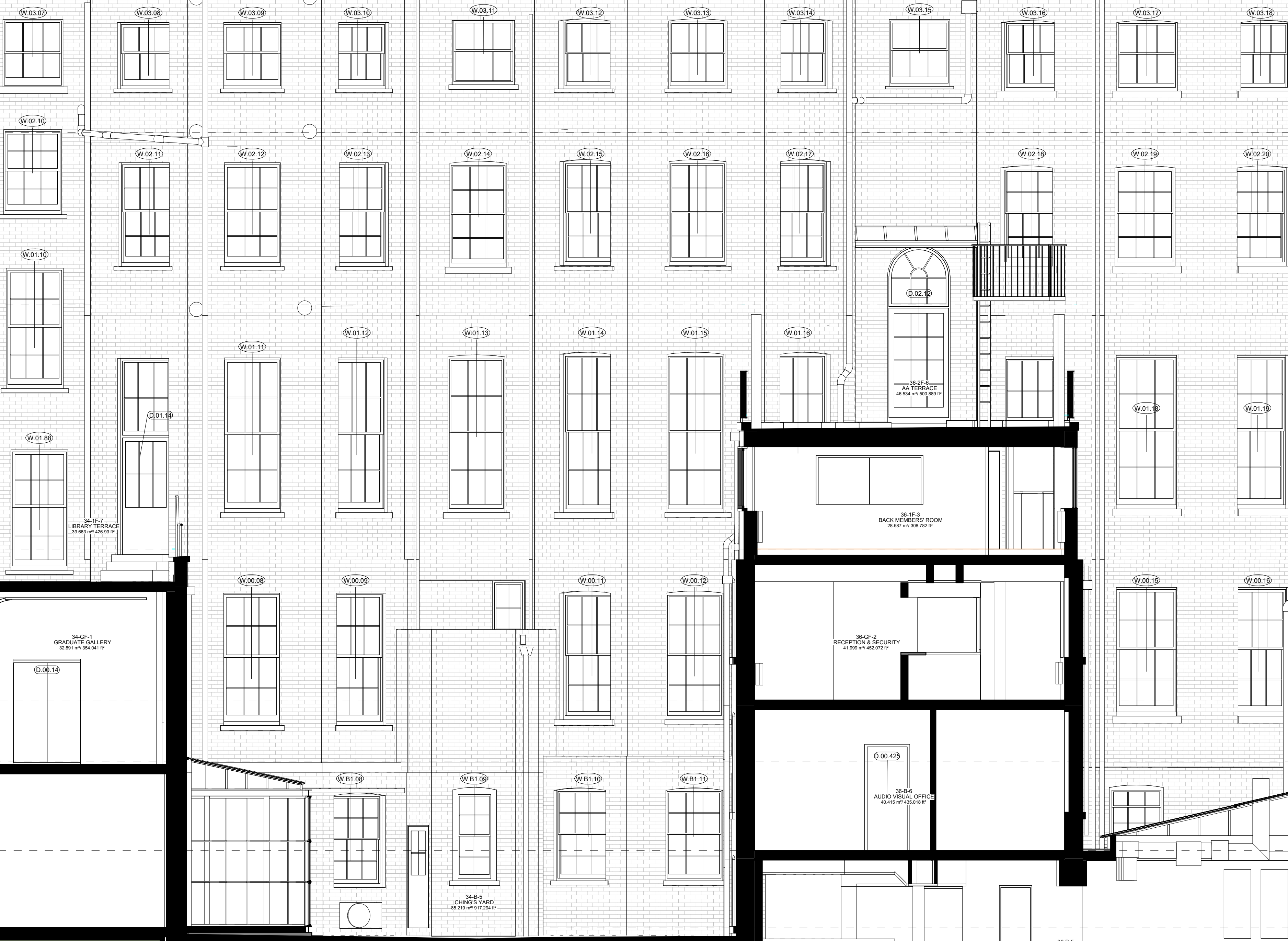
E - 01  
4110 mm

E - 00h  
1200 mm

E - 00  
10 mm

E - B1 - Mezzanine  
-1700 mm

E - B1  
-3190 mm



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E - RL 16445 mm

E - RL Mid 14460 mm

E - 03 12130 mm

E - 02 8810 mm

E - 01 4110 mm

REFERENCE KEY

--- PARTY WALL LINE

█ EXISTING WALLS

▭ DEMOLISHED WALLS

▨ PROPOSED WALLS

09.01 TYPICAL OFFICE 100sqm 1000sqft

Rev Date Description Author Checker

Scale at A1 / A3  
1:50 / 1:100



Drawing Name  
Existing Section 08

Drawing Number  
BW125 - BW - 00 - ZZ - DR - A - E0408

E - RLb Mews 12880 mm

E - 03b - Mews 10560 mm

E - 02b - 6690 mm

E - 01b - 2880 mm

E - 00c 1200 mm

E - 00b - 930 mm

E - B1 - Mezzanine -0.81.50 -1700 mm

E - B1b Mews -4880 mm



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Restrictions / Leaseholder / Restricted covenants / Easements - the client will ensure that any notices and consents required are obtained before work commences.

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E - RL  
16445 mm

E - 03  
12130 mm

E - 02  
8810 mm

E - 01  
4110 mm

E - B1  
90 mm

E - 02b - Mews  
6690 mm

E - 01b - Mews  
2880 mm

E - 00c  
1200 mm

E - 00  
10 mm

E - 00e  
-3485 mm

E - B1b Mews  
-4880 mm

0m 1m 2m

Rev	Date	Description	Author	Checker

Scale at A1 / A3  
1:50 / 1:100  
Drawing Name: Existing Section 09  
Drawing Number: BW125 - BW - 00 - ZZ - DR - A - E0409