

# BUILT.WORKS

3-5 Bleeding  
Heart Yard,  
London,  
EC1N 8SJ

020 86385945  
info@built.works  
@built.works  
www.built.works

PROJECT NUMBER: **BW125**  
PROJECT NAME: **AA Minor Works**

CLIENT:  
**Architectural Association**

PROJECT STATUS:  
**EXISTING**

## PLANNING NOTES

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.

The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.

Dimensions and setting out - Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

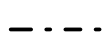


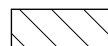

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

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Areas - the areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

## REFERENCE KEY

-  PARTY WALL LINE
  -  EXISTING WALLS
  -  DEMOLISHED WALLS
  -  PROPOSED WALLS
  -  ROOM DETAILS
- 09.01  
TYPICAL OFFICE  
100sqm  
1000sqft

Rev Date Description Author Checker

Scale at A1 / A3

1:50 / 1:100

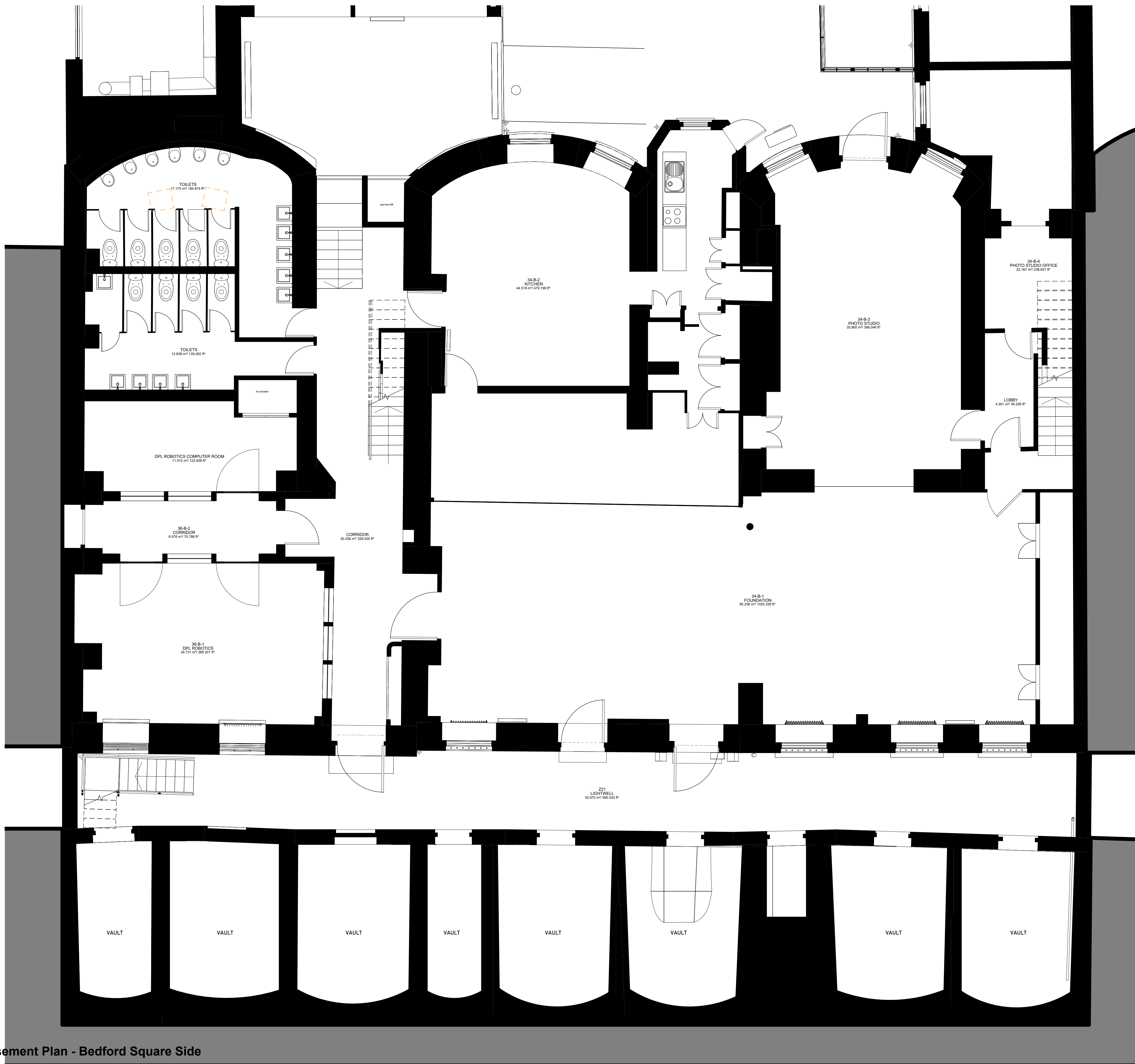


Drawing Name

**Existing Basement Plan - Bedford Square Side**

Drawing Number

**BW125 - BW - A - B1 - DR - A - E0009A**



E0009A - Existing Basement Plan - Bedford Square Side





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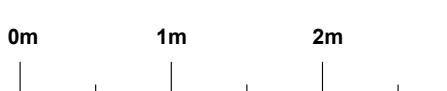
## REFERENCE KEY

- - - - - PARTY WALL LINE
- █ EXISTING WALLS
- ▭ DEMOLISHED WALLS
- ▨ PROPOSED WALLS
- D9.01 TYPICAL OFFICE 100sqm 1000sqft
- ROOM DETAILS

Rev	Date	Description	Author	Checker
/	22.06.22	Initial Issue	DC	HK

Scale at A1 / A3

1:50 / 1:100



Drawing Name

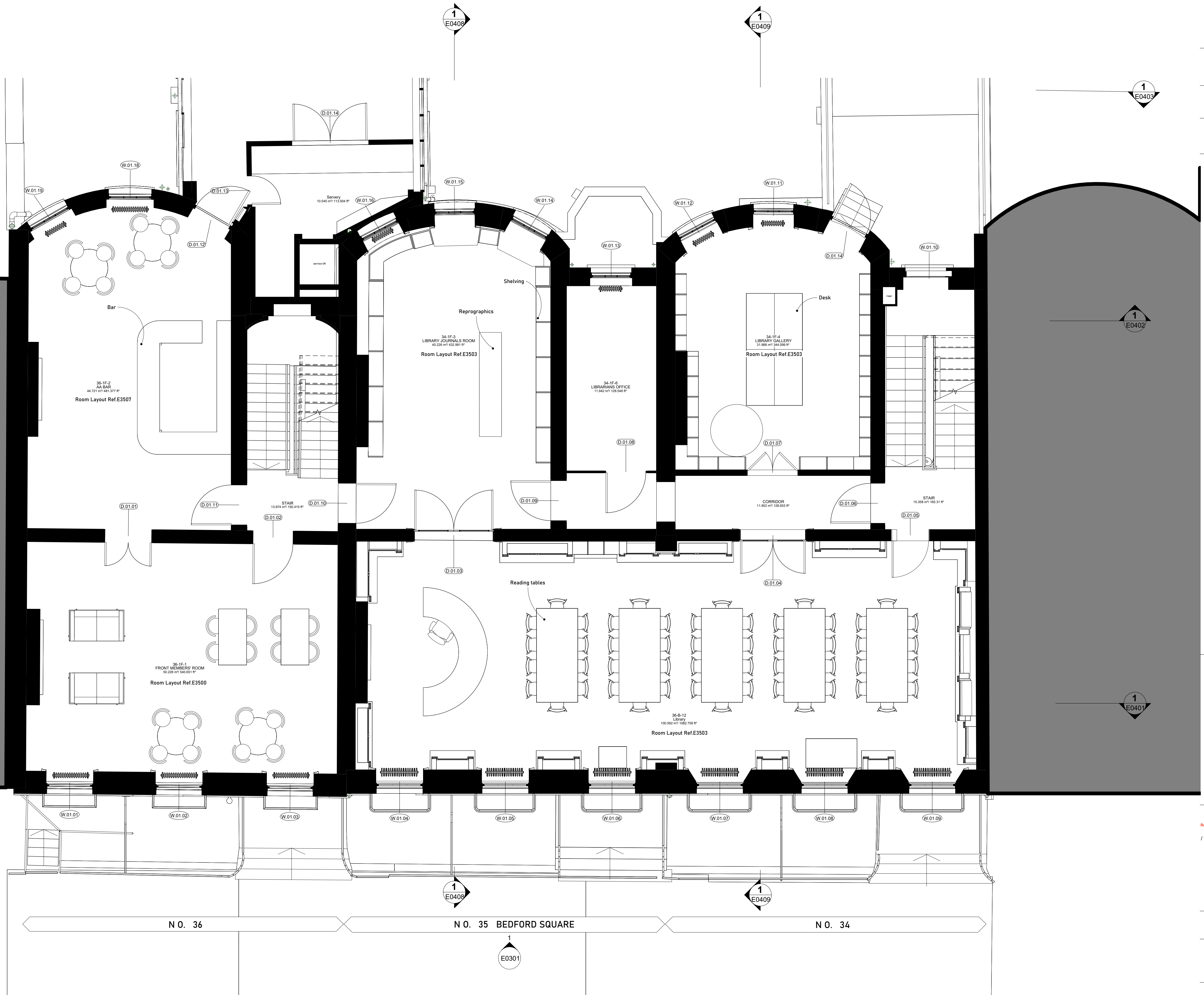
**Existing First Floor Plan - Bedford Square Side**

Drawing Number

BW125 - BW - A - 01 - DR - A - E0011A

Revision

/



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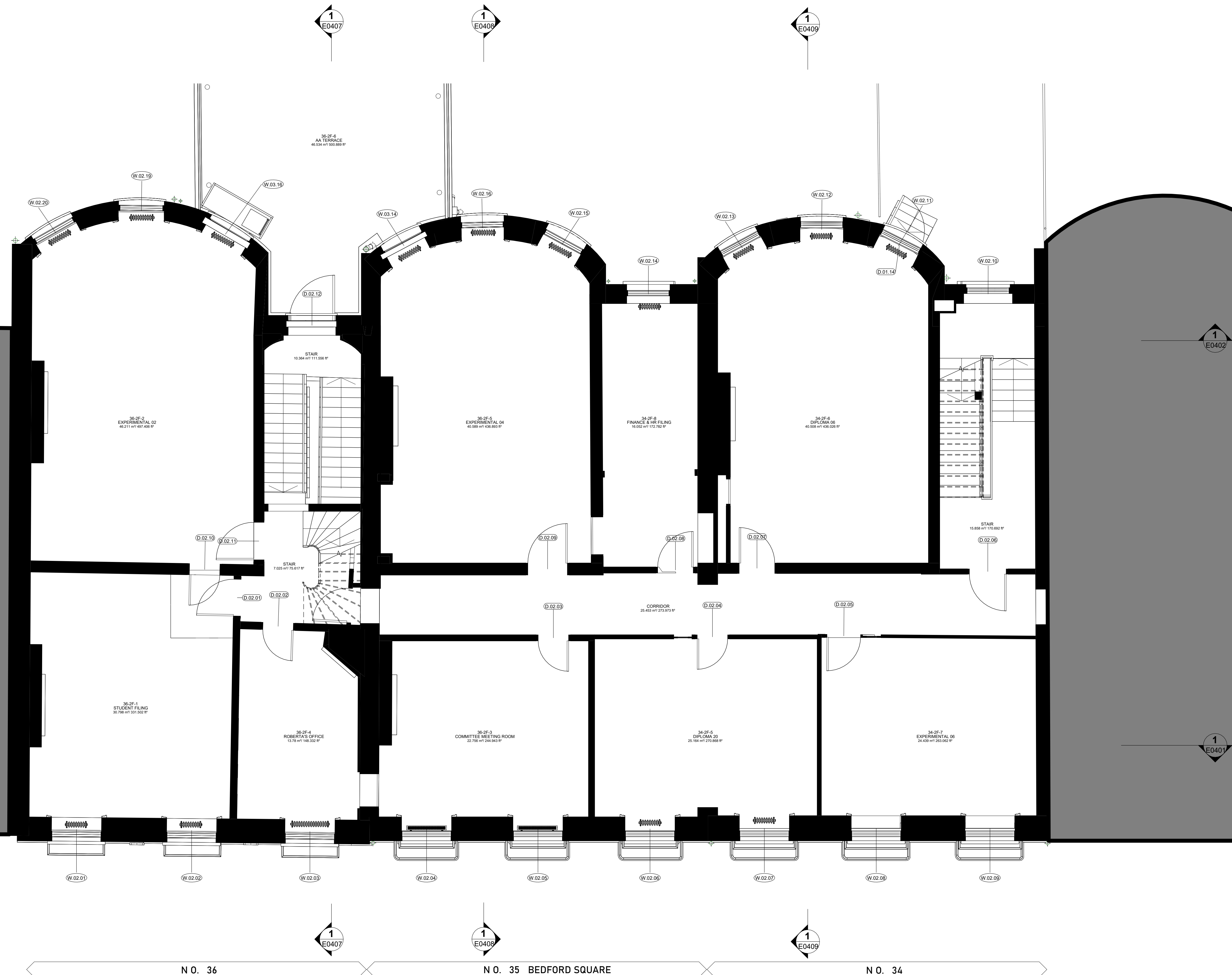
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Rev	Date	Description	Author	Checker
/	22.06.22	Initial Issue	DC	HK

Scale at A1 / A3

1:50 / 1:100



Drawing Name: Existing Second Floor Plan - Bedford Square Side

Drawing Number: BW125 - BW - A - 02 - DR - A - E0012A /



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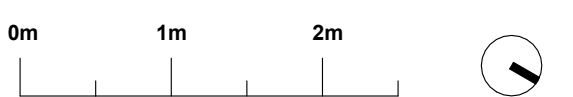
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- ROOM DETAILS

Rev	Date	Description	Author	Checker
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Scale at A1 / A3

1:50 / 1:100



Drawing Name

Existing Third Floor Plan - Bedford Square Side

Drawing Number

BW125 - BW - A - 03 - DR - A - E0013A



1  
E0403

1  
E0408

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E0409

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E0403

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E0402

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