

1.0 Introduction

This document is the Design and Access statement prepared by Alex Tart Architects in support of a householder planning application for a roof terrace party wall extension of a property at No 7 Daleham Mews Belsize Park, London NW3 5DB. The wall extension would not alter or materially affect the overall appearance of the previously consented scheme.

The application includes the following:

- *Location Plan (E01.0)*
- *Existing Drawings (E03.0, E06.0, E07.0, E08.0)*
- *Proposed Drawings (P02.0, P05.0, P06.0, P07.0)*
- *Design and access statement*

1.1 The Property

The property is currently used as a single private dwelling and will continue to be used as such. The existing property consists of a 2-storey terraced house on Daleham Mews. The immediate surroundings are predominantly residential in nature. The houses sit directly on the street which slopes uphill to the north. All houses on the Mews, Nos. 2-18 and 1-37 are situated within the Belsize conservation area. The Belsize Village sub area has been designated for the consistency of mews houses and garages. No 7 contributes to this character but is not a listed building and has been fully remodelled internally. The rear elevations of properties on the mews vary considerably.

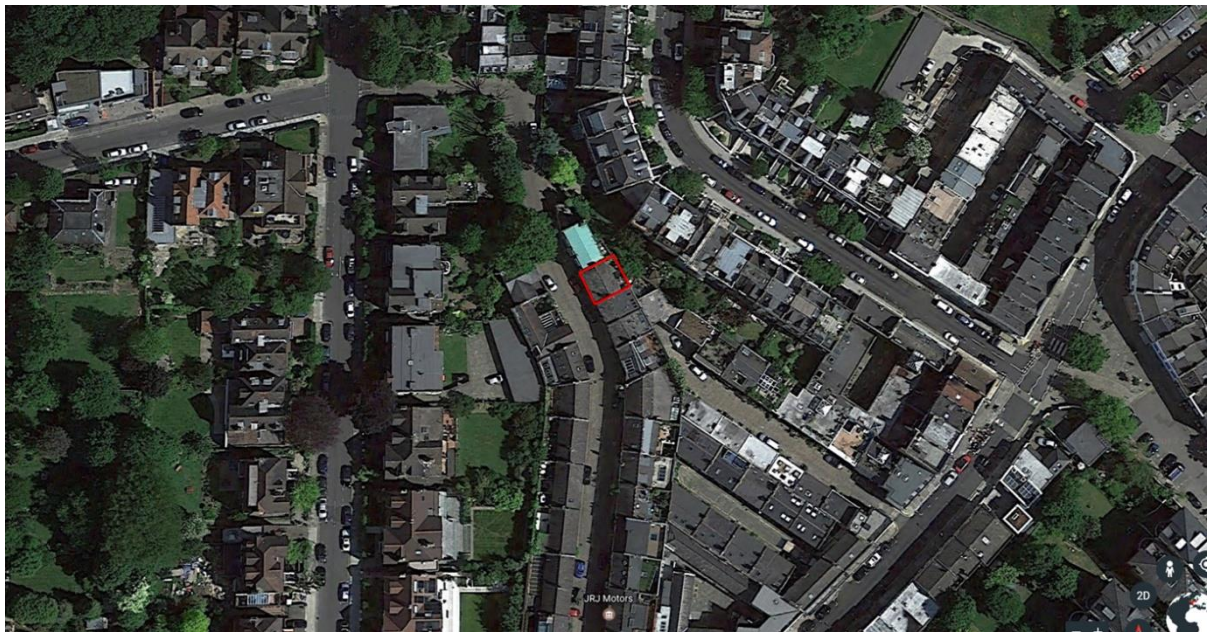


Figure 1. Aerial view of the property (No.7 Daleham Mews)

1.2 Planning History

2017/3743/P	Householder Planning Application to raise the existing ridge of the property and implement a mansard extension to the rear of the property. With Rooflights and in the front field and Dormers to the rear.	Approved
2019/1037/P	Non-Material Amendment to the above application to increase the ridge height by 75mm.	Approved

2.0 Site Photographs

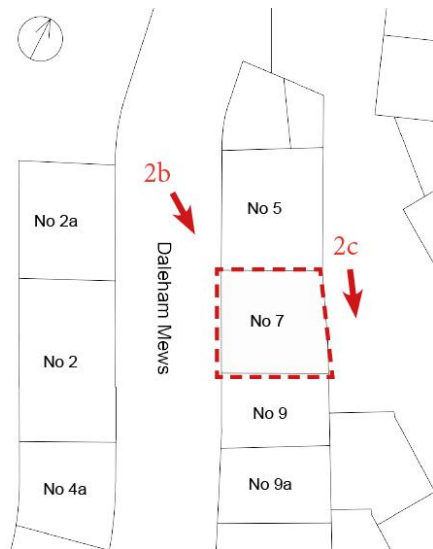


Figure 2a - Site Plan Indicating Photo Location

Figure 2b - View showing differences in ridge and eaves levels on the street



Figure 2c - View of Rear showing variety in roof types and heights surrounding the the building.

Figure 2a, 2b, 2c. Site plan and Site photographs

2.1 Site Context

The aerial image below demonstrates that there are great discrepancies in the rears of the various properties along the mews. (see Figure 3 below). No. 5 Daleham Mews is a visibly larger 3 storey terrace with white render finish and a copper clad mansard roof.

No. 9, on the right, (when facing the property) is a 2-storey terrace house of similar size and style to no.7 although the sloping road means that the eaves and ridges do not align.

No. 2 sits opposite and is set back from the street with a green screen wall and single storey building, maintaining the building line.

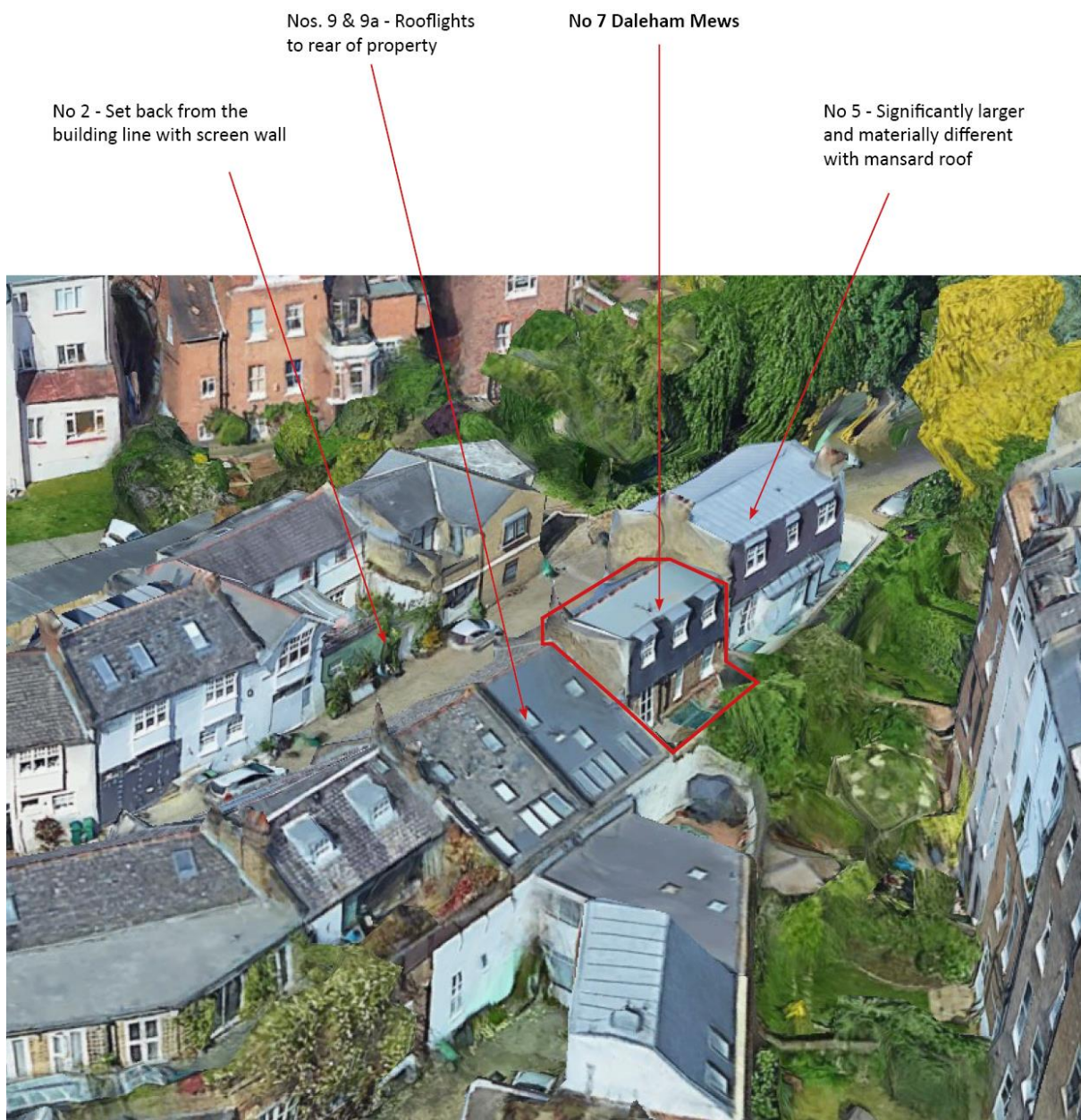
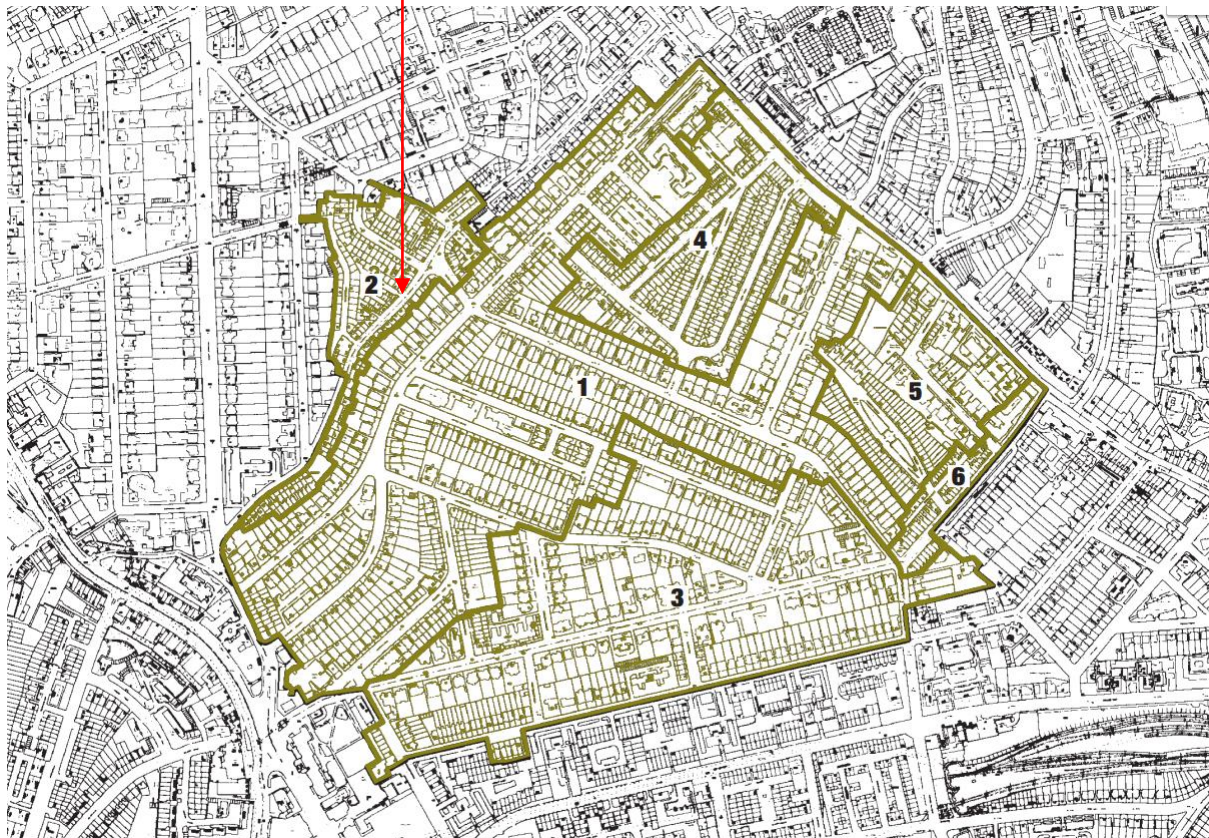


Figure 3. Aerial view of the rear of the properties looking North West

2.3 Belsize Conservation Area

No.7 Daleham Mews



2.4 Conservation Assessment

The rear elevation is not visible from the street and has very limited visibility from neighbouring properties. The new terrace wall extension will not cause harm to the streetscape or to the character of the Belsize conservation area. The following points should be noted:-

- No alterations to the front elevation.
- No changes to the existing layouts and plans.
- The rear elevation is currently covered with shrubs and trees to the neighbouring property.
- The changes to the existing rear elevation are minor and have been sensitively designed to respond to the conservational context and the surrounding buildings.
- All new materials will match the existing.

3.0 Design proposal

Roof terrace party wall extension

The proposal is to raise the height of the rear elevation roof terrace party wall for safety and security reasons, since the current height is too low and represents a major trip hazard which will result in serious injury.

The proposed parapet wall is raised by 5 brick courses, to match the existing side party walls and form a continuous building elevation line. Architecturally, the external wall will have the same brick façade treatment as existing (London stock bricks with concrete coping) for a sensitive approach to the rear elevation design, even though this property is not listed.

The front elevation remains as existing. There are no changes to the ground and second floor plans. The change to the first-floor plan is only affecting the external terrace, while the internal first floor layout remains unchanged.



Figure 4. Existing Roof Terrace at First Floor Level

3.1 Access

There are no alterations to the parking arrangements on site.

Access to the property remains unchanged.