



Design & Access Statement

2 Ferdinand Street, London NW1 8ER

9th February 2023

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1.0 Introduction

1.1. Purpose of this Document

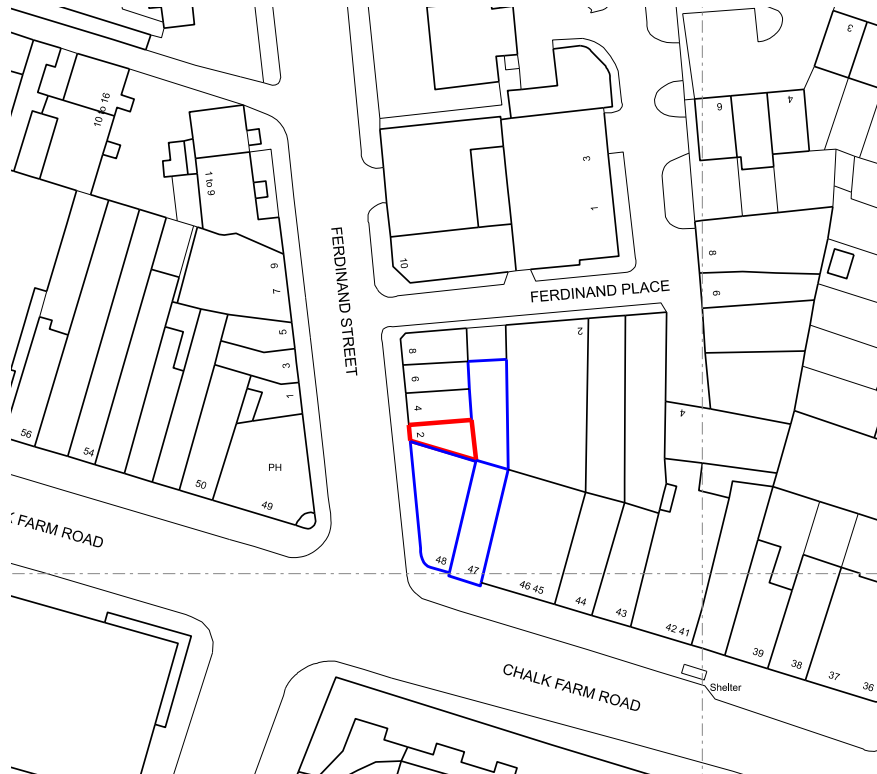
1.1.1 This Design and Access Statement has been prepared by Patalab Architects on behalf of the owner in support of the rearranged access to the roof terrace at 2 Ferdinand Street, London NW1 8ER.

1.1.2 This document describes the site, its context and outlines the design proposal.

1.2. Recent Planning Application

1.2.1 No recent relevant planning applications.

2.0 Site



Site Location Plan

2.1. Location

2.1.1 No. 2 is located mid-terrace on the East side of Ferdinand Street, at the junction with Chalk Farm Road.

2.2. Conservation Area

2.2.1 The application site is not in a Conservation Area.

2.2.2 The property is currently a non-designated heritage asset. The property is, however, featured on Camden's Local List. Camden identifies No. 2 Ferdinand Street as a building of interest on the basis of 'historical and townscape significance'.

2.3. Ferdinand Street

2.3.1 Ferdinand Street comprises of mixed-use buildings. In immediate proximity to No. 2; No. 1-11 comprise of retail spaces on the street level and residential in the storeys above.

2.3.2 No. 2 is the end cottage of a row of four cottages, No. 2-8 (evens). These modest housing with retail space on the ground floor differs from No. 2 as the latter is solely a single residential unit.

2.3.3 No. 4-8 do not have a roof terrace on the second floor like No. 2; instead, they have butterfly roofs. This is explained through the history of No. 2 originating as a bungalow with the later addition of a first floor.

2.3.4 The immediate neighbour at No. 4 has carried out a small rear extension at first floor, breaking the original rear building line and running up to the party wall with No. 2, alongside the first-floor terrace.

2.3.5 The cottages front facades retain their original tripartite timber sash windows and stucco cornice.



Aerial View of Roof Terrace

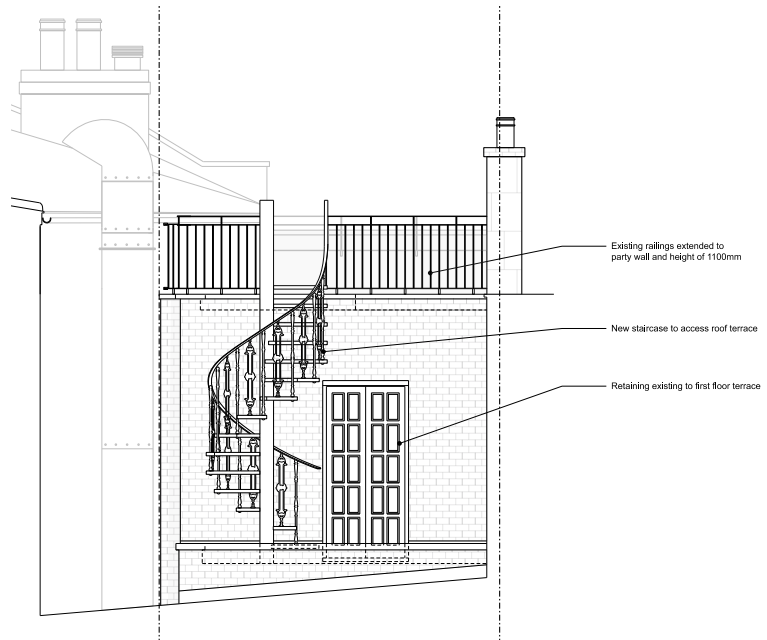
3.0 Proposal

3.1. Description of Proposal

3.1.1 This application is for the installation of a spiral metal staircase externally to access the roof terrace via the first-floor terrace. Currently the roof terrace is accessed via an internal staircase which occupies the rear corner of the house. The installation of the new external roof terrace access will free up much needed internal floor space in this very small one-bedroom house.



(a) Photo of existing rear façade
(b) Proposed rear façade



3.1.2 The existing unsightly non-original roof terrace access hatch, clad in bitumen and about 2.2m tall, will be removed. Instead, a skylight will bring natural light into this part of the house.

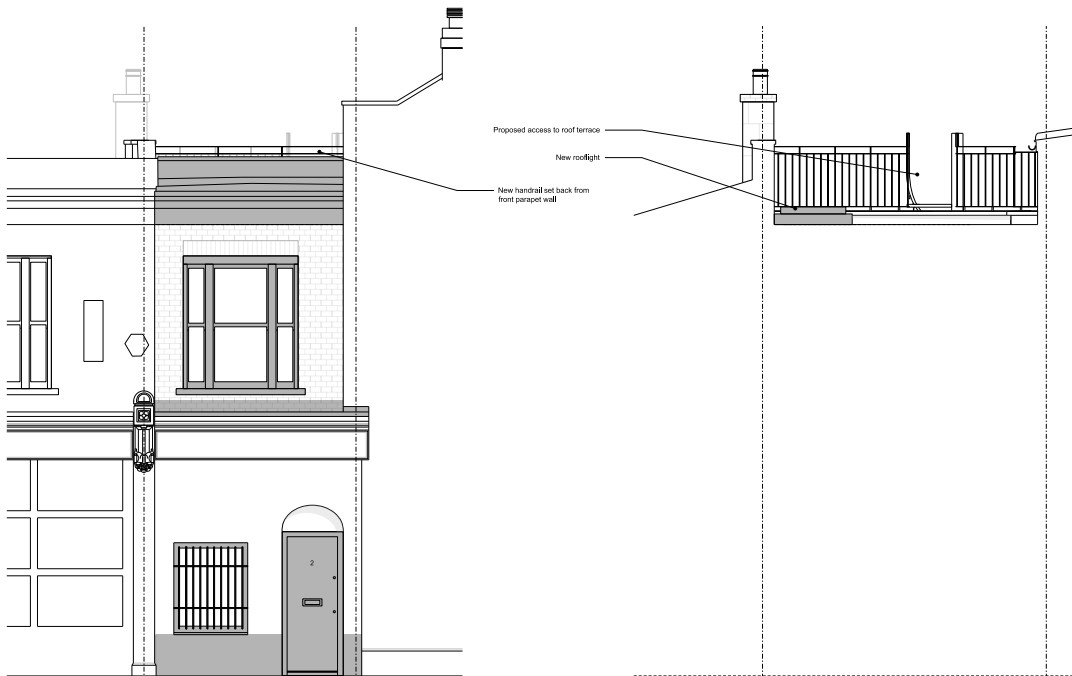
3.1.3 The removal of the roof terrace access hatch is seen as an improvement to the character the building and area as it is at odds within the roof scape, breaking the roof line and being clad in an unsympathetic material.



(c) Photo of existing access to the roof terrace



(d) Existing access to roof shown in front elevation

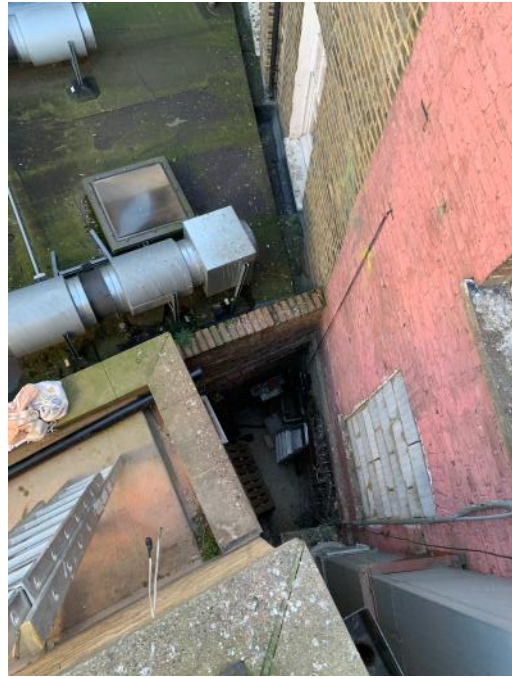


(e) Proposed front façade

(f) Section looking at the rear the roof terrace



(g) Photo of neighbour's (47 Chalk Farm Rd) commercial ductwork overlooking first floor rear terrace



(h) Photo of neighbour's (47 & 48 Chalk Farm Rd) lightwell and ductwork overlooking first floor rear terrace

3.1.4 The location of the proposed staircase positioned on the first-floor terrace will not obstruct onlooker's views nor will it be harmful to the area. It can only be seen from a small number of courtyard facing windows and its impact within the setting that is characterised by large commercial ductwork is insignificant.

4.0 Access Statement

4.1.1 Access from the street will remain unchanged, with the front door directly opening onto the street.

4.1.2 Internally the existing stair will be replaced with new, increasing the width and ensuring that the rise and going are in line with current building regulations.

4.1.3 Externally the new staircase will be suited to the rise from first floor rear terrace to second floor roof terrace. The design will ensure that the rise and going are in line with current building regulations.