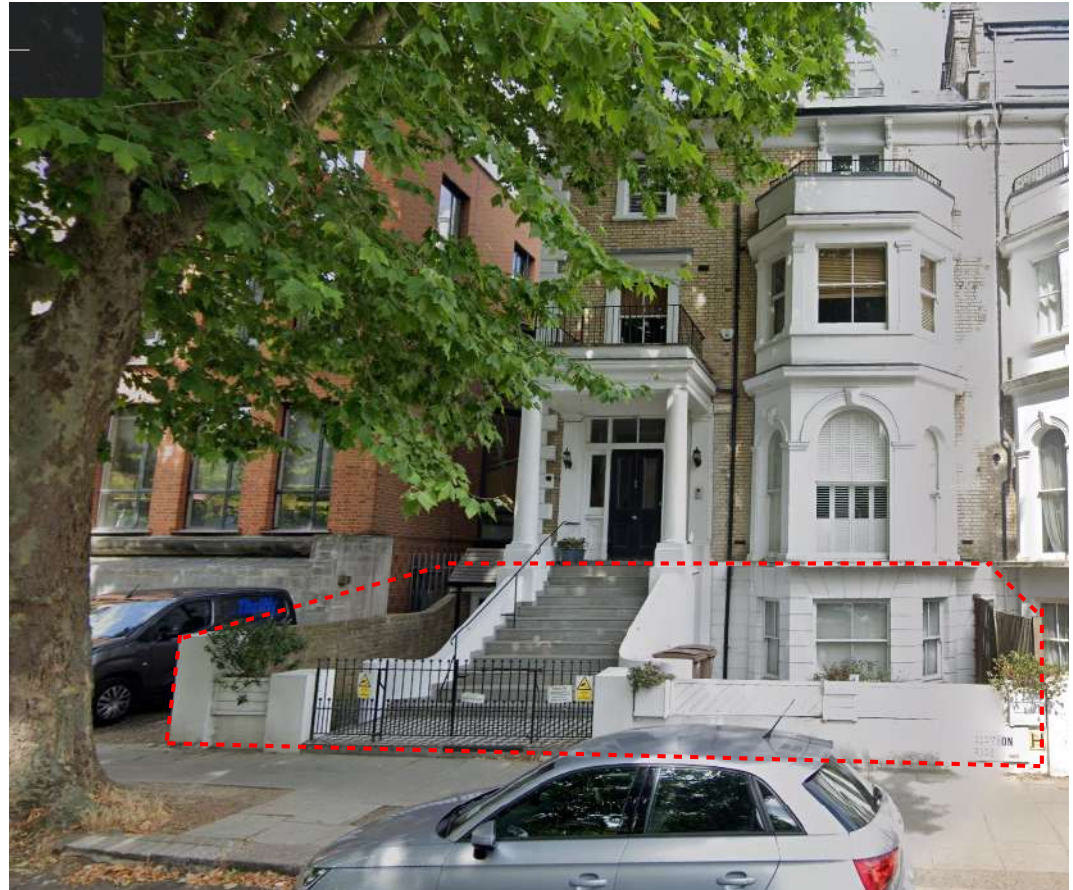


Design and Access Statement

Planning Consent for:

1A Adamson Road, Belsize Park, London NW3 3HX

Prepared February 2023



edo

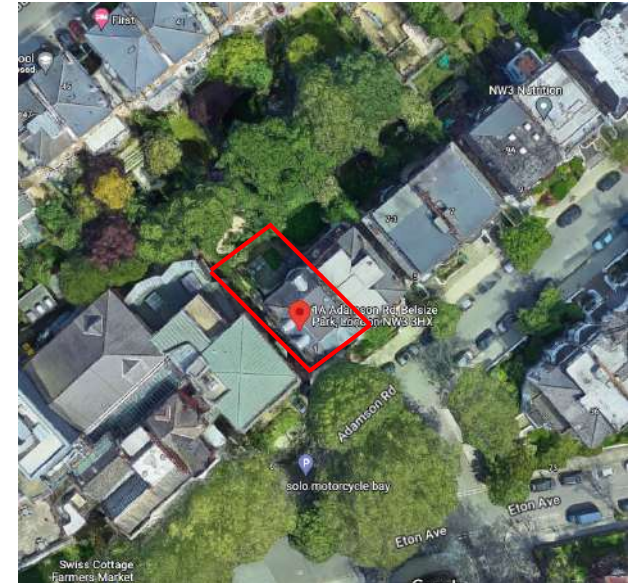
Prepared by Easton Design Office
2nd Floor, 23-24 Easton Street
London WC1X 0DS

Contents:

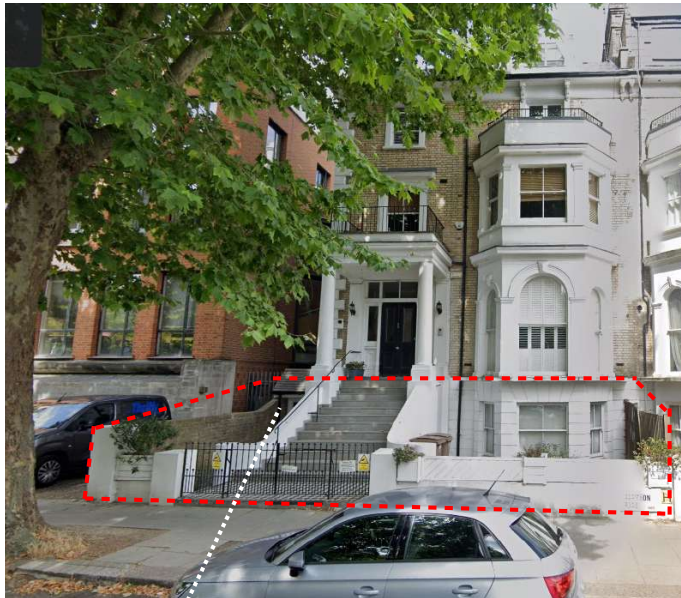
1.0	Introduction
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1.0 Introduction:

- 1.1. This statement has been prepared to accompany the full planning application for 1A Adamson Road, Belsize Park, London NW3 3HX.
- 1.2. The property is not listed. It does lie within the Belsize Park Conservation Area.
- 1.3. The design proposals seek permission for a single storey basement and ground floor rear extension, along with minor internal alterations to improve the living arrangements for its family occupants.
- 1.5. Pre-application was sought prior to submission of full planning.
- 1.4. Careful consideration has been given to the location, scale and appearance of the extension:
 - Proposals respect and retain the original plan layout of the existing building
 - The basement and kitchen extension conform to the 50% garden rule and are subservient in depth to the existing property to respect the setting and location
 - Proposals take into account pre-application feedback by reducing the footprint of the basement level, so as not to dominate, detract or harm the dwelling
 - The design is sympathetic and in keeping with materials specified and high quality construction
 - Externally the alterations would not be visible from the main frontage so as not to harm the dwelling, its neighbours or the wider street scene
 - From the rear the proposals utilise the sites sunken, lower ground level which is surrounded by a retaining boundary wall to all sides and enclosed by a brick boundary wall and timber fencing at upper ground level. Established trees and planting also screen the property between rear gardens. This limits any visual impact to neighbouring properties.



Satellite view of Adamson Road

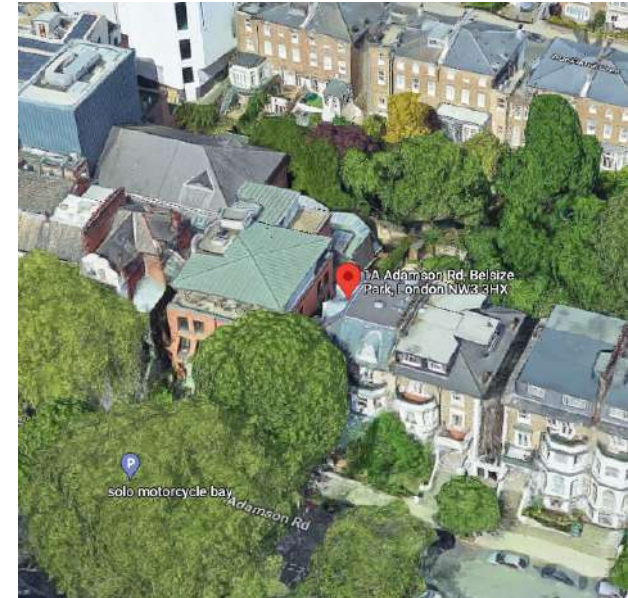


1A Entrance

Planning Consent 1A Adamson Rd, London NW3 3HX
Easton Design Office



Aerial View of Adamson Road to the North/ East



Aerial View of Adamson Road looking North/ West

2.0 Site Location and Surrounding Context

- 2.1 No. 1 Flat A is not listed nationally or locally.
- 2.2 The property lies within the Belsize Park Conservation Area, within the London Borough of Camden.
- 2.2 Located on the northern side of the street, Adamson Road is a two-way, residential street with on street parking to both sides.
- 2.4 1A Adamson Road is a lower ground floor flat, which forms part of a mid 19th Century semi detached Italianate villa that has been previously subdivided into flats.
- 2.5 No. 1 shares a party wall to the east side only.
- 2.6 No. 1 & 3 form part of a pair of stucco fronted villas, mirrored along the street, spanning from no. 1 to 15 (odd numbered) before the streetscape changes to brick fronted properties.
- 2.13 The adjoining properties were built in the same period of development and share architectural characteristics and form, although similarities become more mixed with less ornamentation and the introduction of stock brickwork further up the street.
- 2.7 To the front 1 Adamson Road is a one-window plus bay width property comprised of lower ground, upper ground, first, second & loft storeys. Windows are 2 over 2 sliding sash.
- 2.8 The front elevation consists of a white stucco finish to the lower ground level (Flat 1A) and London stocks to all principle floors. Architectural details such as quoining and plain architraves are present.
- 2.8 A portico entrance raised 12 steps above street level forms the main entrance to the adjoining flats. The west side passage forms the main entrance to no. 1A.
- 2.14 It should be noted the rear facades, although predominately similar, vary through virtue of being subject to alterations over the years. This has created numerous full and half width single storey rear extensions, first floor level roof terraces and enlarged dormer windows.
- 2.8 The rear elevation is much plainer in appearance. A rendered finish forms the lower ground level with London stocks exposed to all principle floors. A single bow front present to lower and upper ground floors remains, although some windows, doors to the rear façade appear to have been replaced over time.
- 2.9 A rendered retaining wall encloses the private rear garden at lower ground level. At upper ground level the garden is further enclosed by a brick boundary wall and featherboard timber fencing.



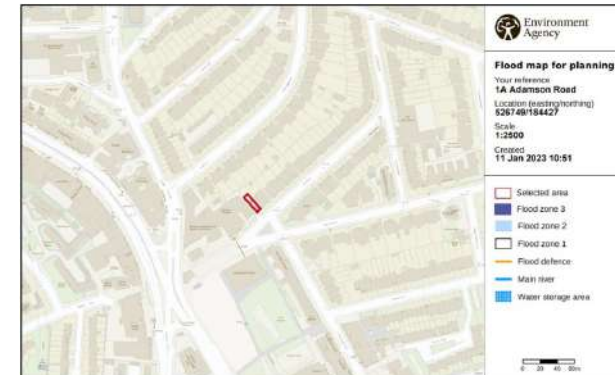
Extract from Historic England's 'Search the List' Map



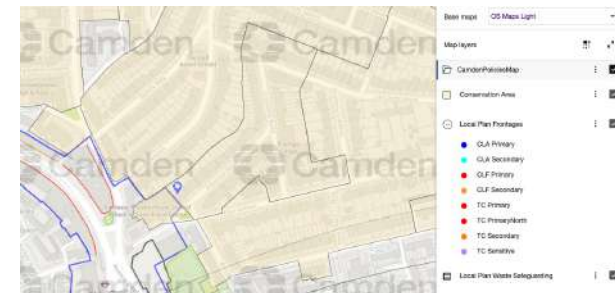
Extract from Camden's Conservation Area Map

2.0 Site Location and Surrounding Context

- 2.16 The property is located in Flood risk zone 1, defined as “little or no” risk of flooding from river, tidal or coastal sources
- 2.16 The site is not Archaeological Priority.



Extract from EA Flood Zones map



Extract from Camdens Interactive Policy Map

3.0 Existing Property

3.0.1 Externally the existing property remains largely unchanged and a consistent example within the row.

3.0.2 The building was originally constructed as a single family dwelling house. Over the 20th century, like much of the surrounding properties, it has been split into multiple leaseholds and multiple tenancies.

3.0.3 To follow is a report on the condition of the existing building.

3.1 Street Elevation- Adamson Road

3.1.1 The front elevation is in generally good condition with original form, characteristics and features intact.

3.1.2 No alterations are proposed to the front elevation.

3.2 Rear/ Garden elevation

3.2.1 The rear garden elevation is in generally good condition with original form, characteristics and features intact, such as single bow form, sash windows to upper floor flats and iron balustrading at upper ground level.

3.2.2 The original footprint of the garden extends from the back wall of the existing house and comprises the upper and lower terraces, which forms an 18.5m deep garden in total.

3.2.3 The rear garden is enclosed on all sides by a retaining wall at lower ground height and a brick boundary wall with timber fencing at upper ground level.

3.2.4 The rear garden is only accessible via the side entrance passage and French doors to the kitchen only.

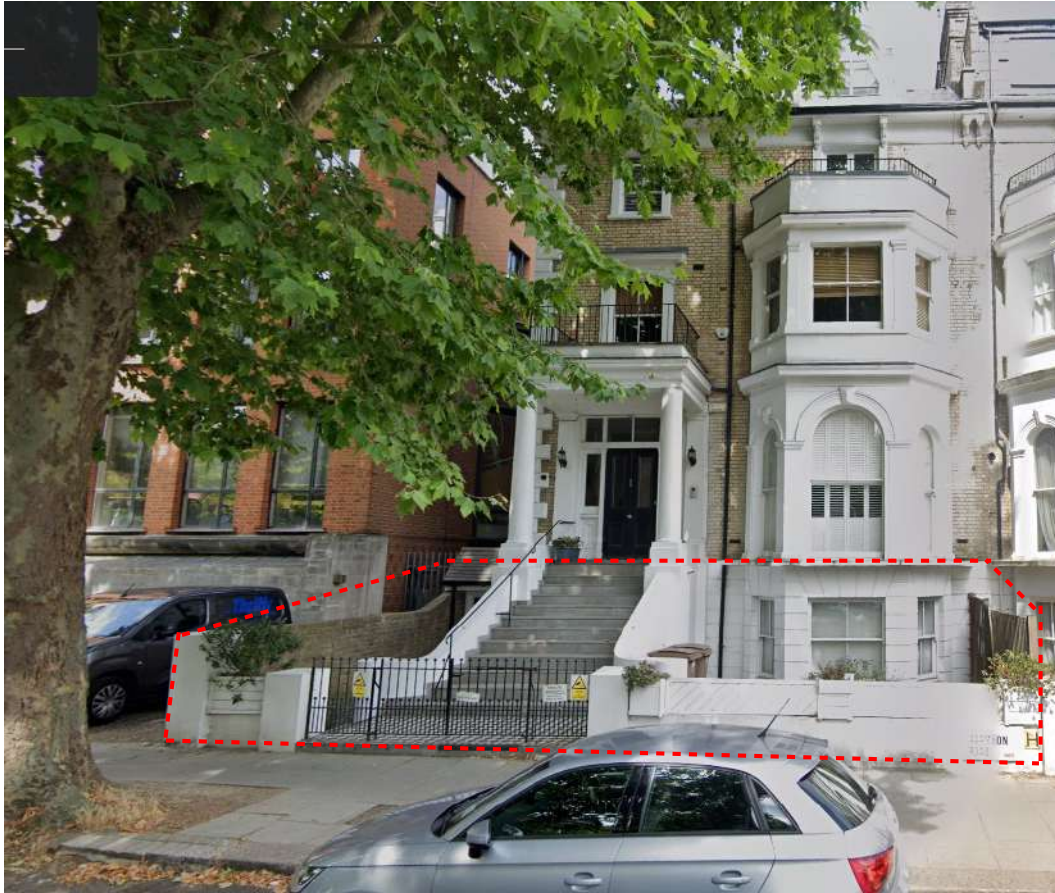
3.2.5 There is an array of rear extensions along the row of varying forms and sizes.

3.3 Interior

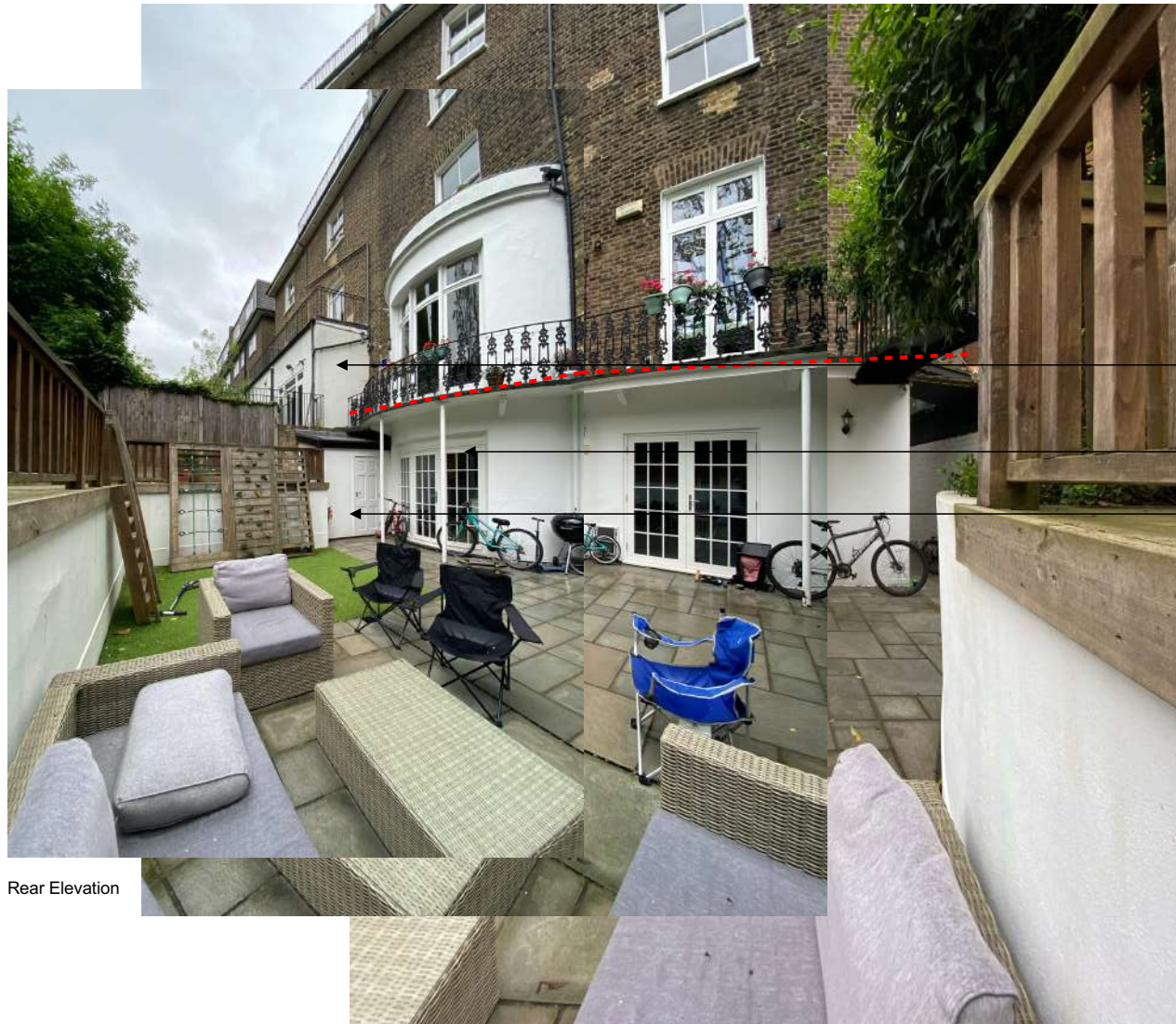
3.3.1 The property comprises 3 bedrooms, 1 bathroom, 1 ensuite, 1 kitchen and open living/ dining area.

3.3.2 The design largely retains all of the existing original footprint of the house, with no additional accommodation space proposed.

3.3.1 The minor internal alterations comprise moving the kitchen into the new extension to form an open plan kitchen/ dining/ living space and altering the existing kitchen into a study with WC. The modest basement addition forms a new playspace with WC.



Street Elevation



Neighbouring extension

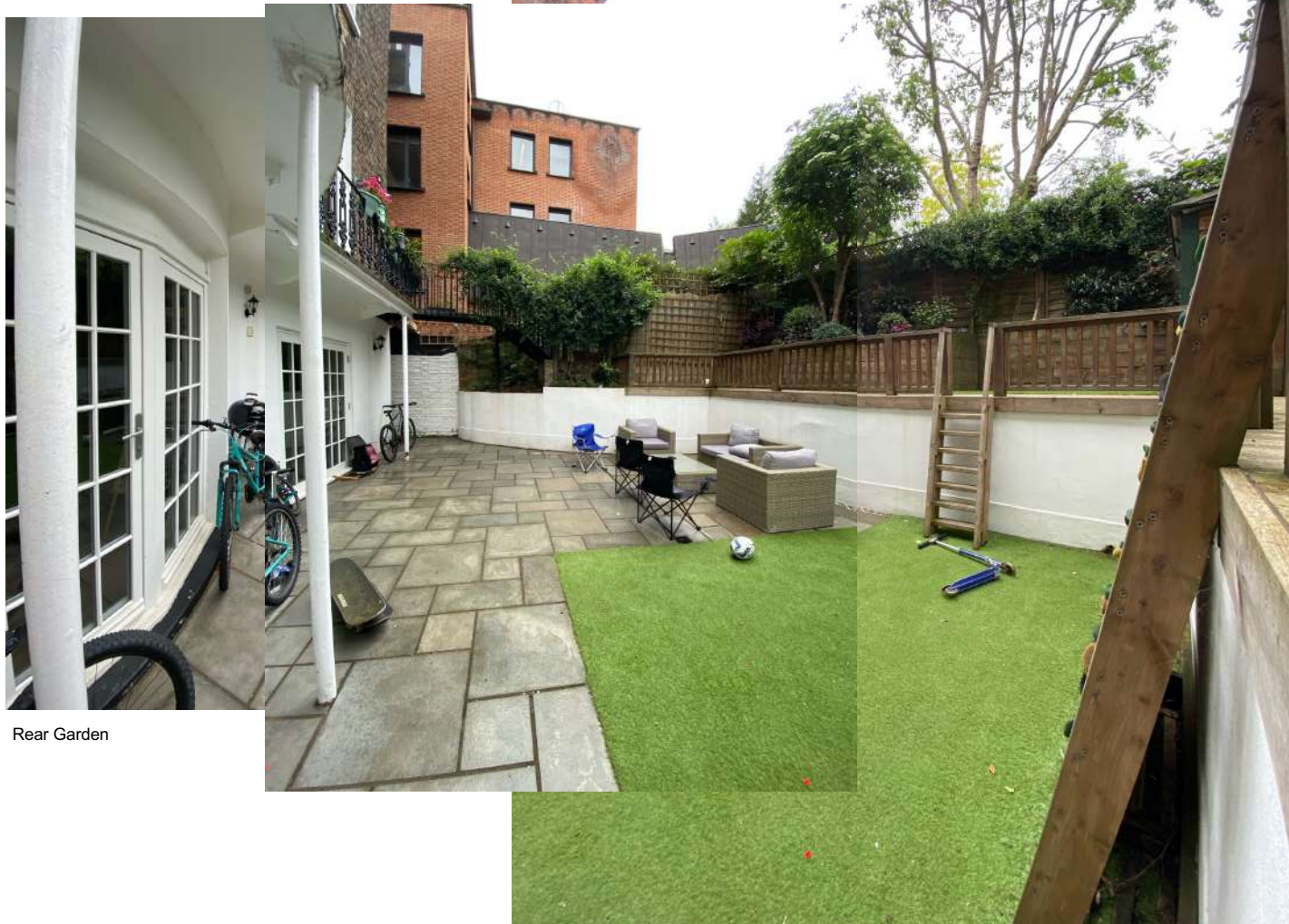
Bow to be retained. Modern, non original doors to be removed to create access into new extension

Existing store to be replaced with kitchen extension

Rear Elevation



Rear Elevation



Rear Garden



Tall boundary wall & fencing
enclose rear garden.
Proposal therefore has little
impact to neighbouring
property

Existing store to be replaced
with kitchen extension

Existing retaining wall to be
removed for new kitchen
extension

4.0 Design Proposals & Heritage Statement

4.1 Internal

- 4.1.1 The proposals seek to create a modest sized basement with playroom and WC and single storey rear kitchen extension at lower ground level.
- 4.1.2 This will provide a more generous sized open plan living/ kitchen/ dining space in line with modern day living standards, whilst respecting the heritage of the original property.
- 4.1.3 The size of the proposals occupy less than 50% of the garden space and is smaller in area and depth than the original footprint of the host dwelling.

The internal ceiling height is less than 3m.

Therefore proposals are in compliance with SPDs.

- 4.1.4 Careful consideration has been given to the location, scale and appearance of the proposed additions:

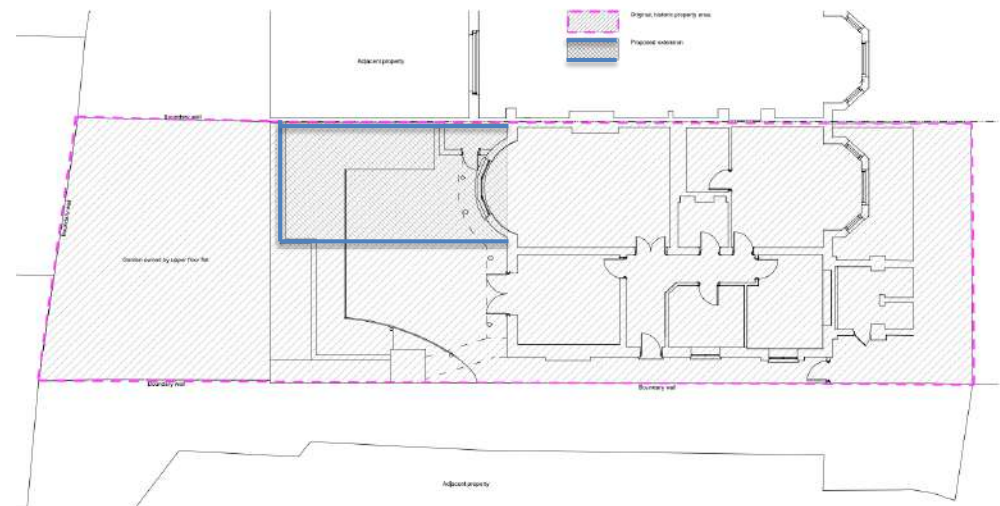
- Proposals respect and retain the original plan layout of the existing building- only the modern rear doors are removed to allow for access into the new extension
- The basement and kitchen extension are subservient in depth and width of the existing property to respect the architectural hierarchy
- The material palette is limited to high quality materials, sympathetic to the existing property
- Externally the alterations would not be visible from the main frontage so as not to harm the dwelling, its neighbours or the wider street scene
- The rear garden is surrounded by a single storey high retaining boundary wall to all sides and further enclosed by an additional single storey high brick boundary wall and timber fencing at upper ground level. Established trees and planting also screen the property between rear gardens. This limits any impact on amenity to neighbouring properties.
- When viewed in context, the proposed form hugs the existing high boundary wall and utilises the semi subterranean levels of the lower ground floor setting and private rear location, to ensure its visual impact is minimal
- There is no additional habitable accommodation
- Alterations will ensure this family home is kept in line with modern day living standards and remains a valuable asset to the housing provision within the local area

- 4.1.5 Pre-application advice was sought and was largely supportive, noting:

- "the principle of a basement is acceptable in this instance as it meets many of the criteria within Policy A5"
- "The proposed width and height of the extension are considered to be acceptable"
- "The loss of the historic bay window at the lower-ground floor level is accepted given its non-prominent position." (although it should be noted this is being retained and incorporated internally)
- "The proposed modern glazing on the rear extension would be acceptable in this non-prominent location on the building and is thus considered acceptable"
- "Given the distances between the proposed rear extension and other adjacent properties, the proposal is unlikely to cause any additional amenity harm"

- 4.1.6 Proposals amended in accordance with feedback received, outlined below:

- The basement footprint reduced in size so as not to dominate, detract or harm the dwelling
- Modern walk on skylights at garden level have been omitted, to stop any potential light pollution from the basement into the rear garden
- A biodiverse green roof to the extension has replaced the sedum roof
- In response to the depth of the extension encompassing the "entire depth of the rear garden" and therefore doesn't "respect the historic plan form of the existing dwelling" it is argued the original plan form of the garden extends beyond its current division, as shown below, and therefore the depth of the proposed extension would be considered subordinate to the property and gardens by virtue of it being less than 50% of the depth and width.



Site Plan demarcating original garden plan (pink dash) and proposed extension (blue)

4.2 Summary

- 4.2.1 In summary:

The proposals are modest in scale, respecting the width and depth of the existing property and size of the original demarcated garden plan and will remain unseen from public view.

The proposals have limited to no impact on the heritage asset and adjoining properties, preserving its historic value and its significance, whilst bringing the property up to modern living arrangements for present and future family occupants, expected for this type of desirable property within the local Belsize Park area.

5.0 Planning Statement

5.1 This section sets out planning policy relevant to the proposals and provides an assessment of material planning considerations relevant to the scheme.

5.2 Relevant Planning Policy:

- National Planning Policy Framework 2021
- The London Plan 2021
- Camden Local Plan 2017
- A1 – Managing the impact of development
- A5 – Basements
- D1 – Design
- D2 – Heritage
- Camden Planning Guidance (2021)
- CPG (Design) CPG (Amenity) CPG (Basements)
- Belsize Park Conservation Area Statement (2013)

The planning policies of particular relevance to the extent and scope of the development proposals are contained within the following planning policies:

- Policy DM2.1: Design- high quality, incorporate inclusive design principles and make a positive contribution to the local character and distinctiveness

• Policy DM2.1: Heritage

A. Conserving and enhancing the historic environment- Development that makes a positive contribution to Camden's local character and distinctiveness will be encouraged.

B. Conservation areas- alterations to existing buildings in conservation areas conserve or enhance their significance

- Policy DM2.1: Housing standards

5.3 Relevant Planning History

9A Adamson Road London NW3 3HX

2014/3496/P

Alterations to rear kitchen extension

29 Adamson Road London NW3 3HT

2011/4640/P

Erection of extension at rear ground floor level with roof terrace over and staircase

31 Adamson Road London NW3 3HT

2012/0753/P

Erection of part single, part two storey extension at ground and first floor levels and creation of terrace at first floor level to rear elevation of dwelling flat

Flat A 14 Adamson Road London NW3 3HR

2011/6017/P

Erection of a single storey rear infill extension to existing lower ground floor flat

25 Adamson Road London NW3 3HT

2011/5375/P

Erection of rear ground floor level extension, alterations to doors and windows at rear first floor level and enlargement of rear first floor level terrace (Class C3)



Flat A 14 Adamson Road London NW3 3HR- Full width rear extension



31 Adamson Road 2012/0753/P planning submission- Showing 3x full width rear extensions

Rear extensions along Adamson Road



- Rear extension full width
- Basement extension with modern roof light/ access into rear garden
- Rear extension full width
- Rear extension full width
- Double storey rear extension



- 1 Adamson Road
- Double storey rear extension
- Double storey full width rear extension

6.0 Access Statement

- 6.1 The property is accessible via the west side passage access from the front garden, off Adamson Road.
- 6.2 There are no proposed alterations to the entrance access to Flat A.
- 6.3 The private rear garden is accessible via the west side passage and kitchen French doors.
- 6.4 The proposed design maintains the side passage and French door access, whilst adding additional access via the new bifold kitchen doors.
- 6.5 Internally and externally the existing floor levels will be retained.

This Design and Access Statement is to be read in conjunction with the submitted planning drawings, Basement Impact Assessment and Arboricultural Report.