

43 Great Russell Street

This report has been created by OMMX on behalf of ANA Properties Limited to discharge the planning conditions from Listed Building Consent 2020/2149/L and Planning Consent for the works at 43 Great Russell Street.

The conditions proposed to be discharged are the following highlighted.

Application ref: 2020/2149/L
Contact: Jaspreet Chana
Tel: 020 7974 1544
Email: Jaspreet.Chana@camden.gov.uk
Date: 13 May 2021

The Planning Lab
Room S6
South Wing
Somerset house
London
WC2R 1LA
United Kingdom

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
43 Great Russell Street
London
WC1B 3PD

Proposal:
Internal refurbishment and alterations throughout the building to include the removal of modern partitions, infilling of modern basement stair and new stair, replacement WCs, new secondary glazing, new services, replacement of modern floors and general repair and restoration
Drawing Nos: 0.00, 0.01, 0.10, 1.00, 1.01, 1.02, 1.03, 1.04, 1.05, 1.10, 1.11, 1.12, 1.13, 1.20, 1.21, 1.22, 1.23, 1.24, 1.25, 2.00, 2.01, 2.02, 2.03, 2.04 Rev A, 2.05 Rev A, 2.10, 2.11, 2.12 Rev A, 2.13, 2.20, 2.21 Rev A, 2.22, 2.23, 2.24, 2.25 Rev A, 3.00 Rev B, 3.01, 3.02, 3.03, 3.04 Rev A, 3.05 Rev B, 3.10 Rev B, 3.11 Rev B, 3.12 Rev B, 3.13 Rev B, 3.14 Rev B, 3.20 Rev B, 3.21 Rev B, 3.22 Rev B, 3.23 Rev B, 3.24, 3.25 Rev B, 5.00, 5.01, 5.02, 5.03, 5.04, 5.05, 5.06, 5.07, 5.08 Rev A, 6.00, 6.01, 6.02, 6.03, 6.04, 7.00, 7.01, 7.02, 7.03, 7.04, 7.05, 7.06, 7.07, 7.08, 7.09, 7.10, 7.11, 7.20, 7.21, 7.22, 7.23, 7.23. 7.24, 10.00, 10.01, 10.01, 10.02, 10.03, 10.04, Design & Access Statement part 1 and part 2, Daylight and Sunlight letter, Heritage Statement, Planning Statement, Structural Report, 27563/PNA1 Rev 4 Environmental Noise Survey and Plant Noise Assessment Report.

The Council has considered your application and decided to grant Listed Building Consent subject to the following condition(s):

Conditions And Reasons:



Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk/planning

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: 0.00, 0.01, 0.10, 1.00, 1.01, 1.02, 1.03, 1.04, 1.05, 1.10, 1.11, 1.12, 1.13, 1.20, 1.21, 1.22, 1.23, 1.24, 1.25, 2.00, 2.01, 2.02, 2.03, 2.04 Rev A, 2.05 Rev A, 2.10, 2.11, 2.12 Rev A, 2.13, 2.20, 2.21 Rev A, 2.22, 2.23, 2.24, 2.25 Rev A, 3.00 Rev B, 3.01, 3.02, 3.03, 3.04 Rev A, 3.05 Rev B, 3.10 Rev B, 3.11 Rev B, 3.12 Rev B, 3.13 Rev B, 3.14 Rev B, 3.20 Rev B, 3.21 Rev B, 3.22 Rev B, 3.23 Rev B, 3.24, 3.25 Rev B, 5.00, 5.01, 5.02, 5.03, 5.04, 5.05, 5.06, 5.07, 5.08 Rev A, 6.00, 6.01, 6.02, 6.03, 6.04, 7.00, 7.01, 7.02, 7.03, 7.04, 7.05, 7.06, 7.07, 7.08, 7.09, 7.10, 7.11, 7.20, 7.21, 7.22, 7.23, 7.23. 7.24, 10.00, 10.01, 10.01, 10.02, 10.03, 10.04, Design & Access Statement part 1 and part 2, Daylight and Sunlight letter, Heritage Statement, Planning Statement, Structural Report, 27563/PNA1 Rev 4 Environmental Noise Survey and Plant Noise Assessment Report.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 3 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.
- 4 Detailed drawings and information as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:

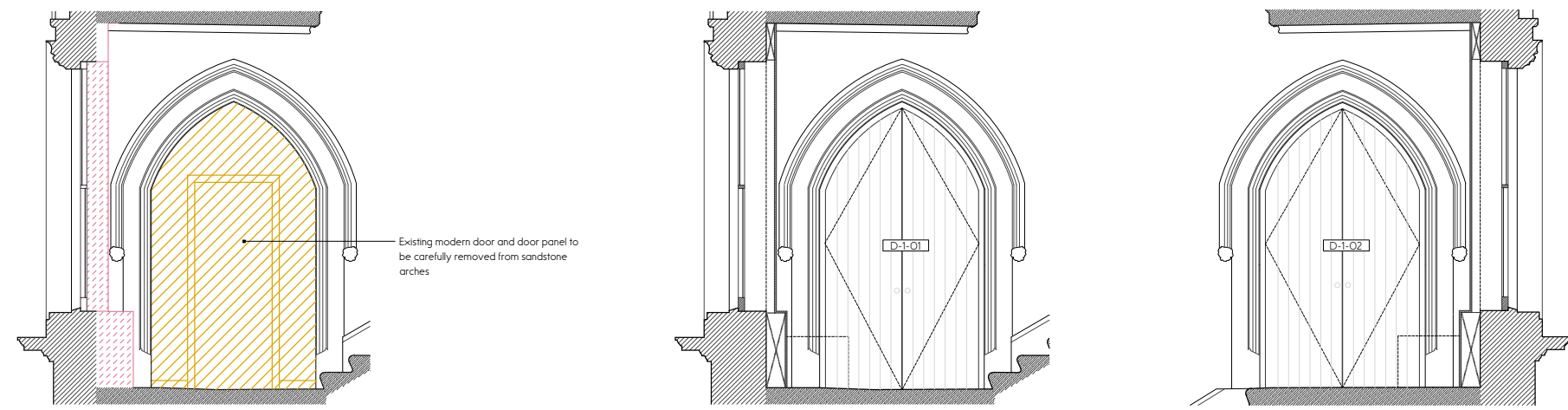
- a) Panelled doors
b) Fireplace at first floor level
c) Roof pavers
d) Plant maintenance access

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

Informative(s):

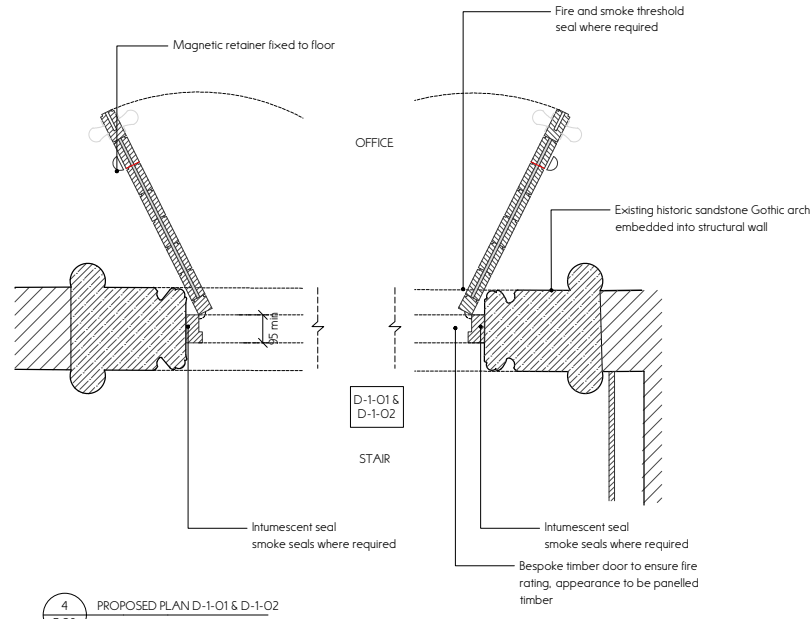
- 1 Reasons for granting permission:
The applicants propose to restore the existing building to its original appearance, while allowing for the needs of a contemporary workplace

The drawing enclosed shows details of the proposed panelled doors at the First Floor hallway which will be fixed to the archway.



D-1-01,
Location: First floor, serving front office space
Fire Rating: FD-30-S
Doors & Frames: New double door and frame to be carefully fixed within existing sandstone gothic arches. Dimension of door pending scribing detail of arches and removal of existing door and frame. Door held open on magnetic retainers connected to enhanced fire system, to release in the event of a fire.
Supplier: Longden Doors TBC
Model & Finish: New timber T&G door and frame, colour TBC
Hardware: Magnetic retainers, ironmongery tbc
Proposed Clear Width: 1400, check on-site
Structural Opening Width: As existing, check on-site
Structural Opening Height: As existing, check on-site
Quantity: 1

D-1-02
Location: First floor, either side of stair serving front and rear offices spaces.
Fire Rating: FD-30-S
Doors & Frames: New double door to be carefully fixed within existing sandstone gothic arches. Dimensions of doors pending scribing detail of arches and removal of existing door and frame. Door held open on magnetic retainers connected to enhanced fire system, to release in the event of a fire.
Supplier: Longden Doors TBC
Model & Finish: New timber T&G door and frame, colour TBC
Hardware: Magnetic retainers, ironmongery tbc
Proposed Clear Width: 1400mm, check on-site
Structural Opening Width: As existing, check on-site
Structural Opening Height: As existing, check on-site
Quantity: 1



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Project No. 43 Great Russell Street 0102

Client ANA Properties Ltd.

Drawing Title Proposed D-1-01, D-1-02

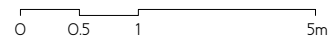
Drawing No. 5.03

Revision	Date	Description
-	13.03.2020	For Planning
A	19.12.2022	For Planning

Notes
In general the building has modern doors and some historic architraves. No historic doors or architraves will be removed. Only modern doors and architraves will be removed and replaced to match those existing and historic.

- Structural Opening
- Remove (section cut)
- Repair and/or reinstate (section cut)
- Remove (building fabric)
- Remove (fixed furnishing)
- Repair and/or reinstate

Drawn JH
Checked HN
Scale 1:50 @ A3



This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants drawings. All levels and dimensions should be checked on site and any discrepancies notified to OMMX prior to proceeding with works. No drawing should be reproduced in any form without prior written permission from OMMX.

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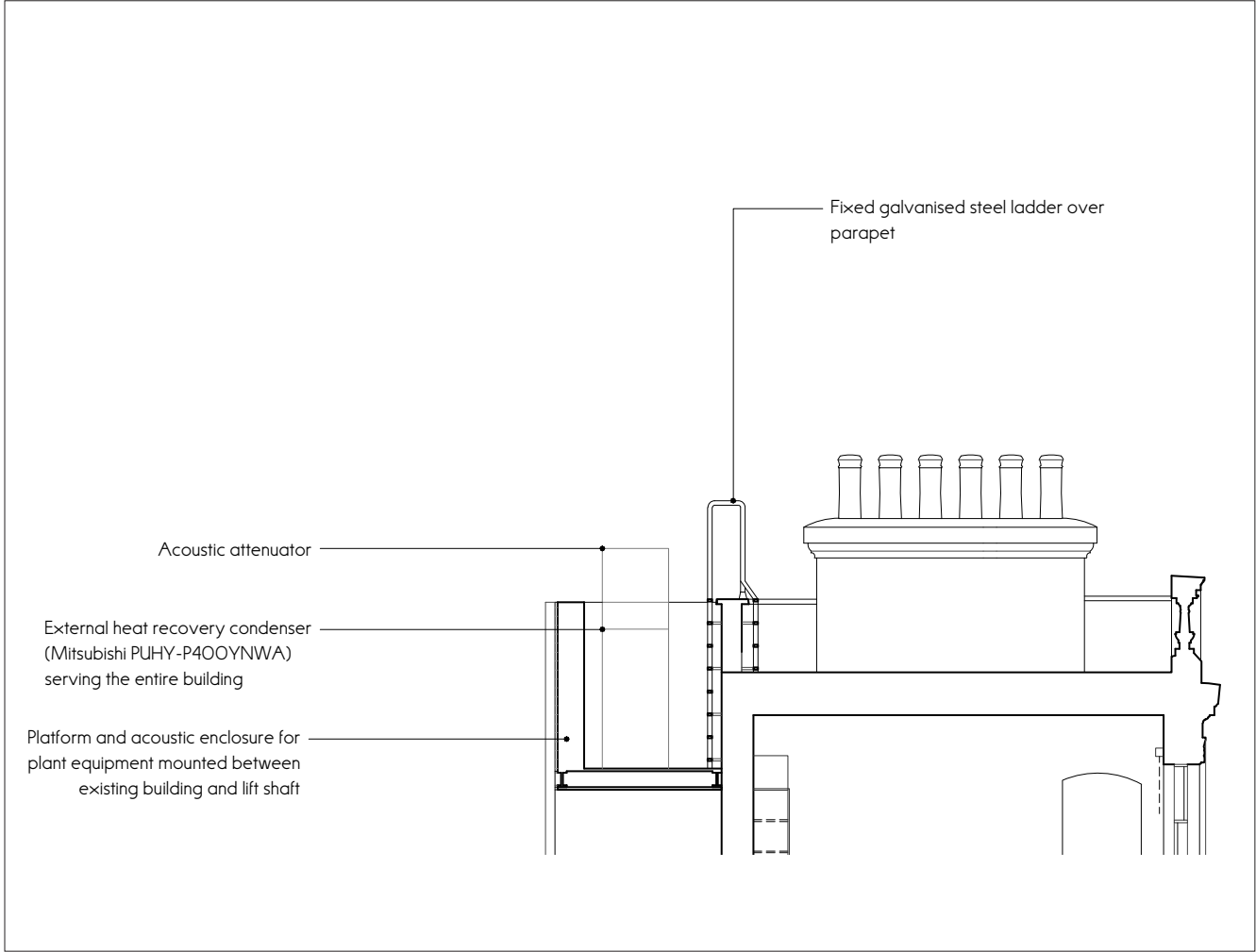


The proposed roof pavers will be a natural stone paver supported on a pedestal system.

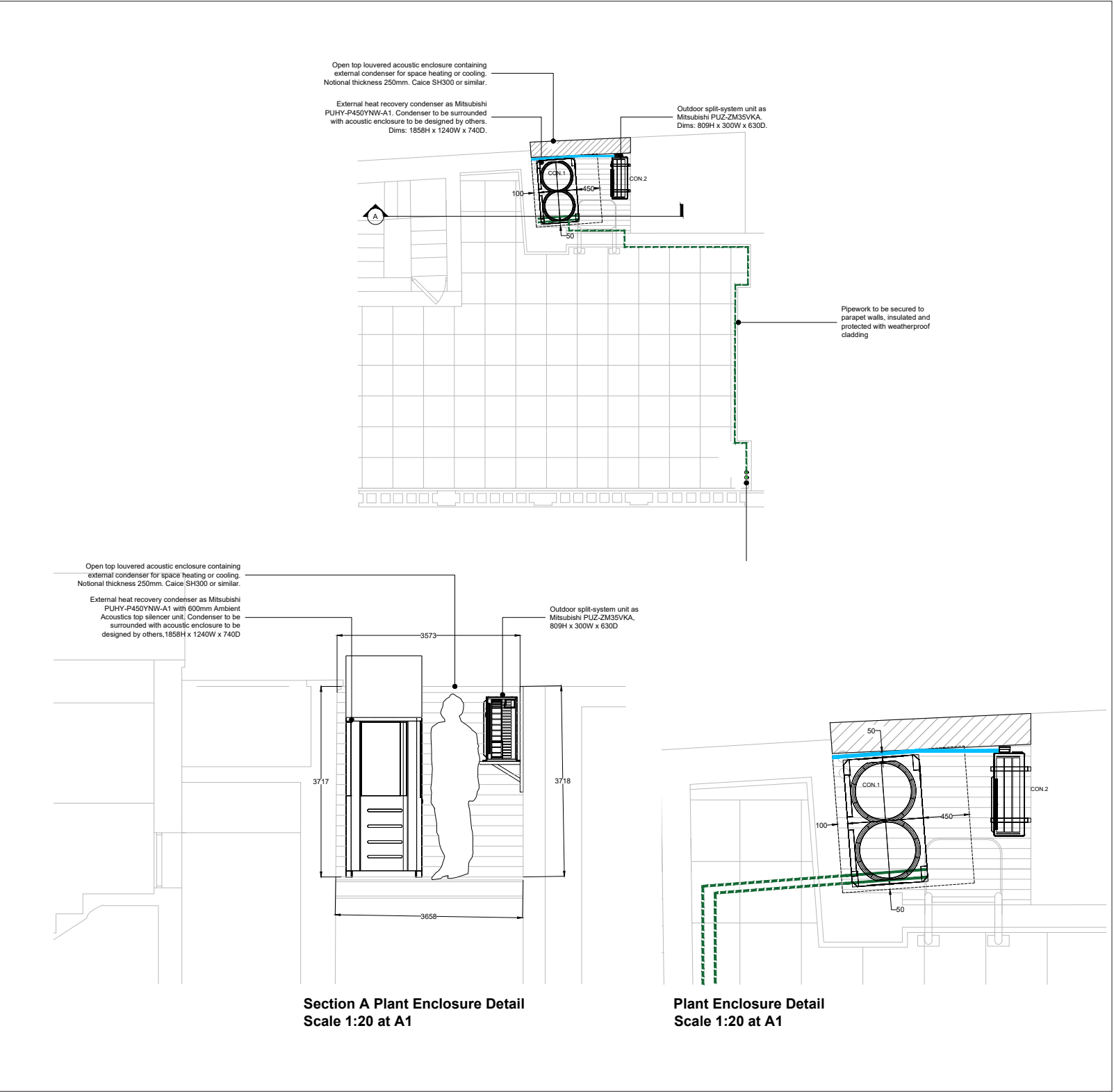
Material: Slate
Supplier: Mandarin Stone
Product: Gris Riven Outdoor Slate
Format : 600x600mm
Support: Supported on pedestals with high performance plastic laying module grate, free draining under pavers.

The plant is accessed via a fixed ladder over parapet as previously corresponded, as noted by the council this is in order to minimise damage to the existing historical fabric whilst maintaining the relevant safety standards as required for maintenance of the plant equipment. This is illustrated in the below drawing by OMMX.

The drawing produced by the MEPH consultants Richie + Daffin illustrates the proposed plant and maintenance access.



Roof section access drawing by OMMX



Roof plant drawings by Richie + Daffin MEPH consultants

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