

CAMDEN GOODS YARD

BUILDING A TECHNICAL FACADE REPORT

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0.0.1 INTRODUCTION
This report contains technical analysis and comment on the post planning developed facade design of Building A at Camden Goods Yard. It includes the consented detailed facade drawings for reference together with analysis of the facade mockup panel and design changes introduced by delivery architects PTAL during RIBA Stage 4.



1.0 CONSENTED DETAILED PLANNING DRAWINGS

1.0.1 PLANNING FACADE

The detailed facade drawings contained in the consented planning application are listed below and included on the following pages for reference:

- CGYA0-PCY-ZZZ-ZZ-DR-AR-00160
Bay Drawings -Residential Bays
- CGYA0-PCY-ZZZ-ZZ-DR-AR-00161
Bay Drawings -South West Elevation
- CGYA0-PCY-ZZZ-ZZ-DR-AR-00162
Bay Drawings -Maker's Yard
- CGYA0-PCY-ZZZ-ZZ-DR-AR-00163
Bay Drawings -Ground Floor Retail
- CGYA0-PCY-ZZZ-ZZ-DR-AR-00164
Bay Drawings -Ground Floor Reception

The key materials noted on each of these drawings (and labelled left on the CGI included in the DAS) are as follows:

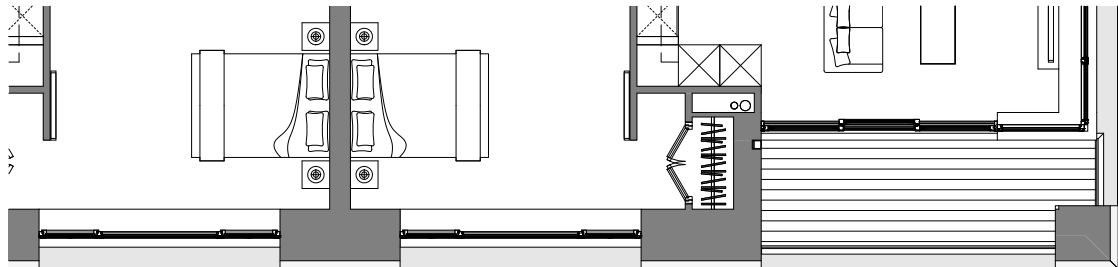
KEY

1. Exposed aggregate concrete columns, light-grey with white aggregate stone
2. Exposed aggregate window sill panels, dark-grey with white aggregate stone
3. Dark grey concrete coping
4. Dark grey textured rustic brick soldier coursing horizontal bands with 430mm soffit overhang to windows
5. Warm dark grey coloured metal window & door frames
6. Warm dark grey coloured metal horizontal louvres
7. Warm dark grey coloured metal flat bar balustrades
8. Aluminium soffits, colour to match window frames

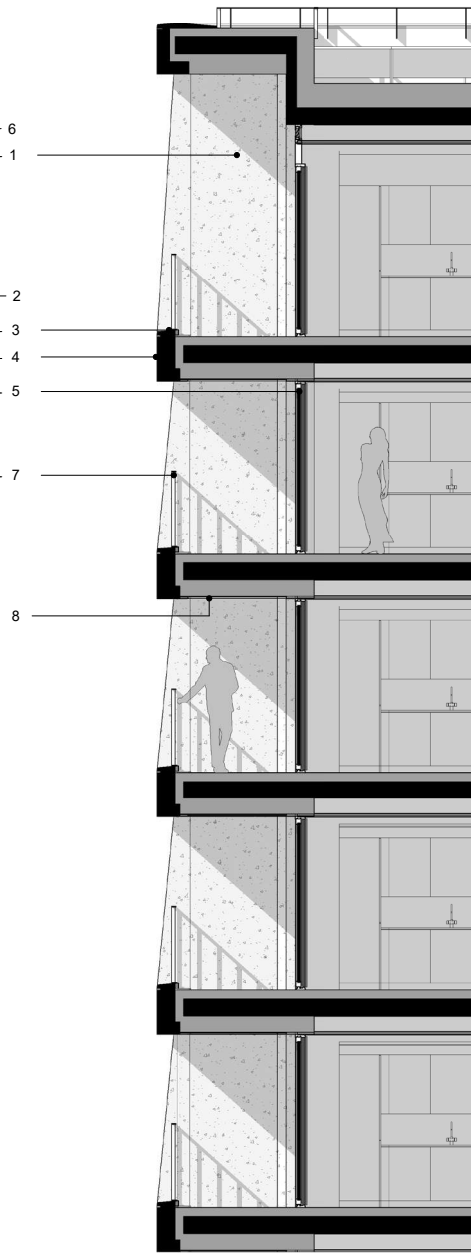
2.0
DETAILED FACADE PLANNING DRAWING:
TYPICAL RESIDENTIAL BAYS



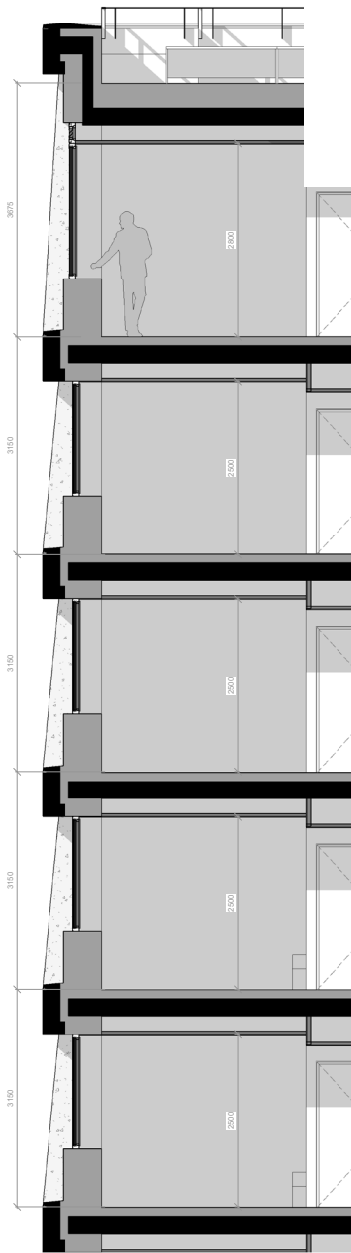
1 Bay drawings residential elevation
1 : 50



4 Bay drawings residential plan
1 : 50



2 Balcony Section
1 : 50



3 Bay Windows Section
1 : 50

- KEY
- 1. Exposed aggregate concrete columns, light-grey with white aggregate stone
 - 2. Exposed aggregate window sill panels, dark-grey with white aggregate stone
 - 3. Dark grey textured rustic brick soldier coursing horizontal bands with 430mm soffit overhang to windows
 - 4. Dark grey textured rustic brick soldier coursing horizontal bands with 430mm soffit overhang to windows
 - 5. Warm dark grey coloured metal window & door frames
 - 6. Warm dark grey coloured metal horizontal louvres
 - 7. Warm dark grey coloured metal flat bar ballustrades
 - 8. Aluminium soffits, colour to match window frames

P01	10.07.20	Planning
Rev	Date	Description

CGYA0 Camden Goods Yard



Date of First Issue 03/07/20 Scale 1 : 50 at A1 /

Drawing Title Bay Drawings - Residential Bays

Drawn MS	Checked AH	Approved DC
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Drawing Status PLANNING

Project	Originator	Zone	Level	Type	Role	Drg No.	Rev
CGYA0 - PCY - ZZZ - ZZ - DR - AR -	00160	-P01					

The Centro Building
39 Plender Street
LONDON NW1 0DT
Telephone
+44 (0)207 4249611

info@piercyandco.com
www.piercyandco.com

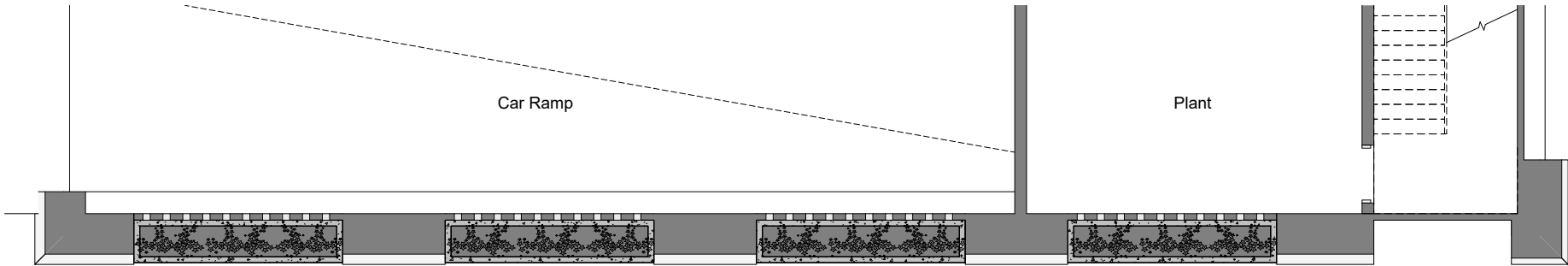
Piercy & Company

2.1
DETAILED FACADE PLANNING DRAWING:
SOUTH WEST ELEVATION



P01	10.07.20	Planning
Rev	Date	Description

1 Car ramp south west elevation
1 : 50



2 Car ramp south west plan
1 : 50

- KEY
- 1. Exposed aggregate concrete columns, light-grey with white aggregate stone
 - 2. Exposed aggregate window sill panels, dark-grey with white aggregate stone
 - 3. Dark grey concrete coping
 - 4. Dark grey textured rustic brick soldier coursing horizontal bands with 430mm soffit overhang to windows
 - 5. Dark grey textured rustic brick hit & miss brickwork
 - 6. Warm dark grey coloured metal horizontal louvres
 - 7. Warm dark grey coloured metal window & door frames
 - 8. Dark grey textured rustic brick Flemish bond
 - 9. Exposed aggregate concrete planters, mid-grey with white aggregate and varying degrees of texture

CGYA0 Camden Goods Yard

Client

Date of First Issue

03/07/20

Scale

1 : 50 at A1 /

Drawing Title

Bay Drawings -South West Elevation

Drawn

MSr

Checked

AH

Approved

DC

Drawing Status

PLANNING

Project

CGYA0 - PCY - ZZZ - ZZ - DR - AR - 00161 - P01

Originator

Zone

Level

Type

Role

Drg No.

Rev

The Centro Building

39 Flender Street

LONDON NW1 0DT

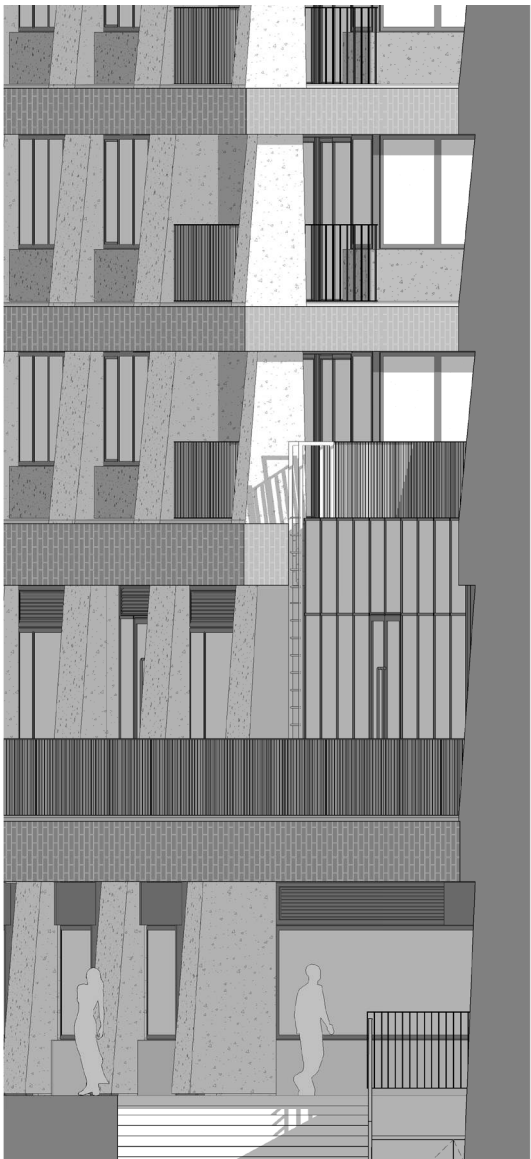
Telephone

+44 (0)207 4249611

info@piercyandco.com

www.piercyandco.com

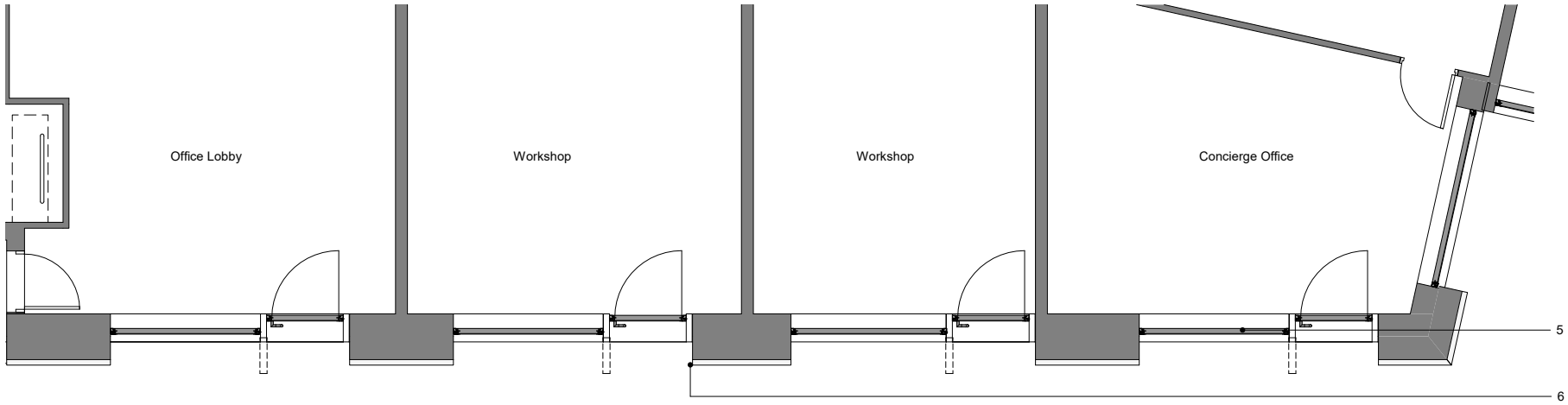
2.2
DETAILED FACADE PLANNING DRAWING:
MAKERS YARD ELEVATION



P01	10.07.20	Planning
Rev	Date	Description

1 Workshop unit shops elevation
1 : 50

2 View up steps from north east
1 : 50



3 Workshop unit shops plan
1 : 50

Note: Timber post (5) no longer required

- KEY
- 1. Dark grey textured rustic brick soldier coursing horizontal bands with 430mm soffit overhang to windows
 - 2. Warm dark grey coloured metal horizontal louvres
 - 3. Warm dark grey coloured metal signage panel
 - 4. Warm dark grey coloured metal window & door frames
 - 5. Timber post clad in warm dark grey metal
 - 6. Exposed aggregate concrete columns, light-grey with white aggregate stone
 - 7. Exposed aggregate window sill panels, dark-grey with white aggregate stone

CGYA0 Camden Goods Yard

Client

Date of First Issue
03/07/20

Scale
1 : 50 at A1 /

Drawing Title
Bay Drawings - Makers Yard

Drawn
MS

Checked
AH

Approved
DC

Drawing Status
PLANNING

Project	Originator	Zone	Level	Type	Role	Dwg No.	Rev
CGYA0 - PCY - ZZZ - ZZ - DR - AR						00162	P01

The Centro Building
39 Flender Street
LONDON NW1 0DT
Telephone
+44 (0)207 4249611

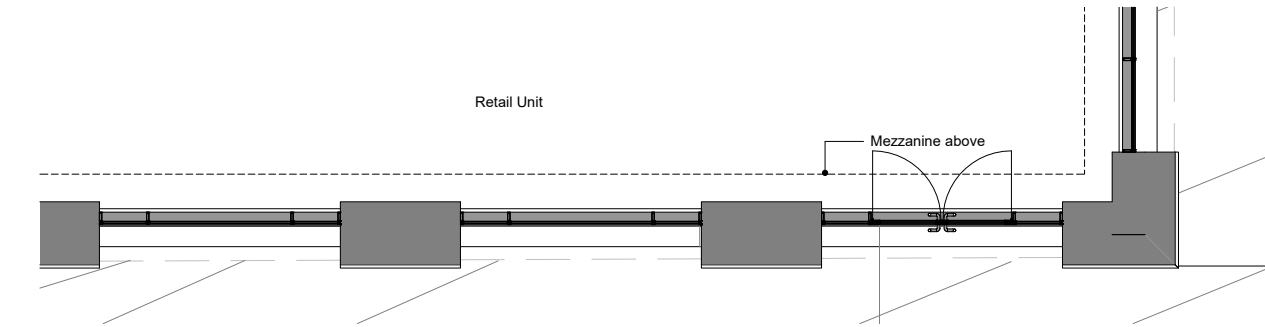
info@piercyandco.com
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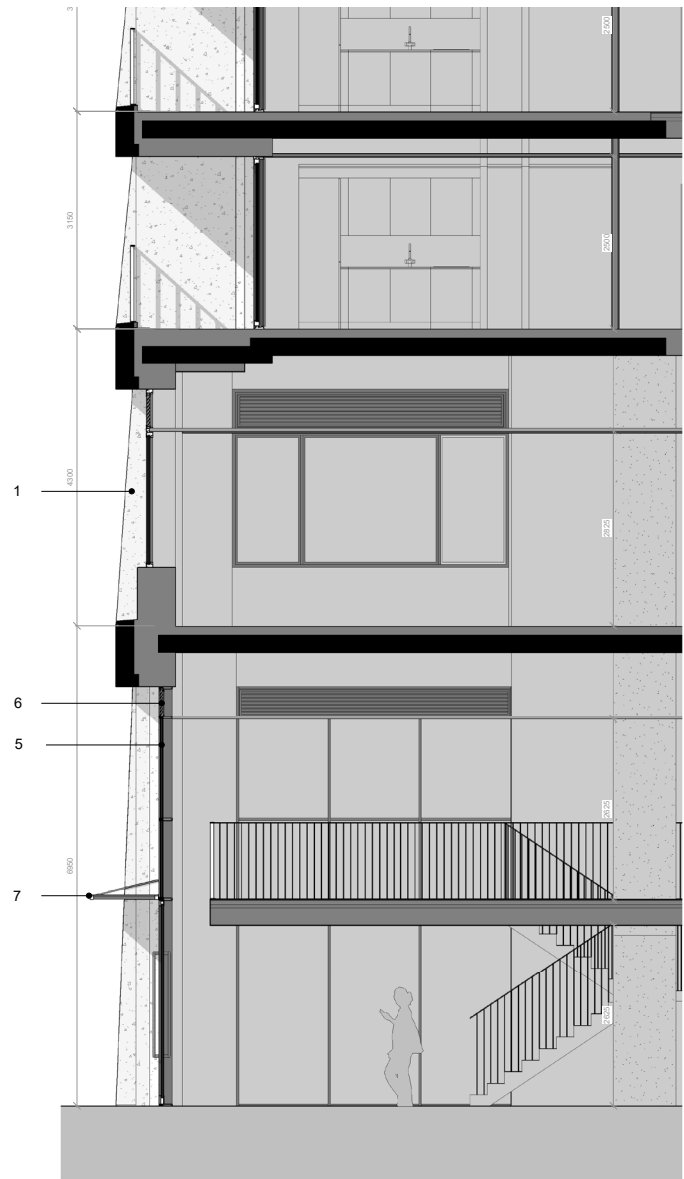
2.3
DETAILED FACADE PLANNING DRAWING:
GROUND FLOOR RETAIL



1 Ground Floor Retail Elevation
1 : 50



3 Ground floor retail plan
1 : 50



2 Retail Section
1 : 50

Note: Drainage design for glass canopies (7) to be confirmed at next stage

- KEY
- 1. Exposed aggregate concrete columns, light-grey with white aggregate stone
 - 2. Exposed aggregate window sill panels, dark-grey with white aggregate stone
 - 3. Dark grey concrete coping
 - 4. Dark grey textured rustic brick soldier coursing horizontal bands with 430mm soffit overhang to windows
 - 5. Warm dark grey coloured metal window & door frames
 - 6. Warm dark grey coloured metal horizontal louvres
 - 7. Glass canopy above retail entry doors with warm dark grey coloured metal frame

P01	10.07.20	Planning
Rev	Date	Description

CGYA0 Camden Goods Yard



Date of First Issue	Scale
03/07/20	1 : 50 at A1 /

Drawing Title
Bay Drawings - Ground Floor Retail

Drawn	Checked	Approved
Author	Checker	Approver

Drawing Status

Project	Originator	Zone	Level	Type	Role	Dwg No.	Rev
CGYA0	PCY	ZZZ	ZZ	DR	AR	00163	P01

The Centro Building
39 Flender Street
LONDON NW1 0DT
Telephone
+44 (0)207 4249611

info@piercyandco.com
www.piercyandco.com

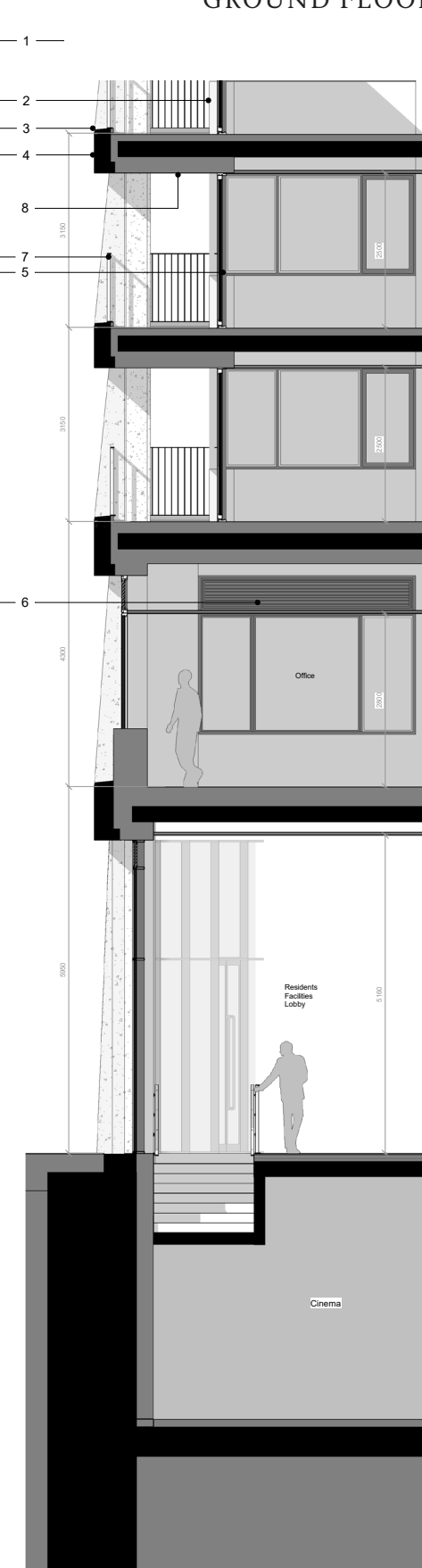
Piercy&Company



1 North West Elevation
1 : 50



2 Section D-D
1 : 50



3 Section G-G
1 : 50

2.4 DETAILED FACADE PLANNING DRAWING: GROUND FLOOR RECEPTION

KEY

1. Exposed aggregate concrete columns, light-grey with white aggregate stone
2. Exposed aggregate window sill panels, dark-grey with white aggregate stone
3. Dark grey concrete coping
4. Dark grey textured rustic brick soldier coursing horizontal bands with 430mm soffit overhang to windows
5. Warm dark grey coloured metal window & door frames
6. Warm dark grey coloured metal horizontal louvres
7. Warm dark grey coloured metal flat bar ballustrades
8. Aluminium soffits, colour to match window frames

P01	10.07.20	Planning
Rev	Date	Description

CGYA0 Camden Goods Yard

Client



Date of First Issue
03/07/20

Scale
1 : 50 at A1 /

Drawing Title

Bay Drawings - Ground Floor Reception

Drawn	Checked	Approved
LM	AH	DC

Drawing Status

PLANNING

Project	Originator	Zone	Level	Type	Role	Dwg No.	Rev
CGYA0 - PCY - ZZZ - ZZ	DR	AR	00164	P01			

The Centro Building
39 Plender Street
LONDON NW1 0DT
Telephone
+44 (0)207 4249611

info@piercyandco.com
www.piercyandco.com

Piercy & Company



CONCRETE COLUMN

12mm Cornish Granite aggregate.
Polished circa. 3-4mm.
Light Grey Cement (blend of white and grey cements)



WINDOW CILL (UPSTAND) PANELS & COPING

12mm Cornish Granite aggregate.
Acid Etched Finish
Dark Grey Cement (4% black pigment)

3.0

SAMPLE PANEL: CONCRETE SPECIFICATION

3.0.1 SAMPLE PANEL

In late 2020 a sample panel (shown left) was developed and constructed to test the concrete and brick specification in relation to achieving the facade detailed in the planning drawings presented above. The dimensions of the panel are all as per the planning drawings.

Piercy & Company's comments on the concrete finishes are as follows:

CONCRETE COLUMN

The proposed specification of 12mm Cornish Granite aggregate and grey cement that is then polished to a depth of 3mm represents a good match to both the planning images and the description of these elements in the detailed planning drawings as *'Exposed aggregate concrete columns, light grey with white aggregate stone'*.

The Cornish Granite has a mixture of white and darker aggregate which we consider gives a good feel. The polished finish on the sloped face of the column is important to aid water runoff down this element and prevent staining.

CONCRETE UPSTAND & CILL

The upstand panels and coping pieces have the same 12mm Cornish Granite aggregate as the columns.

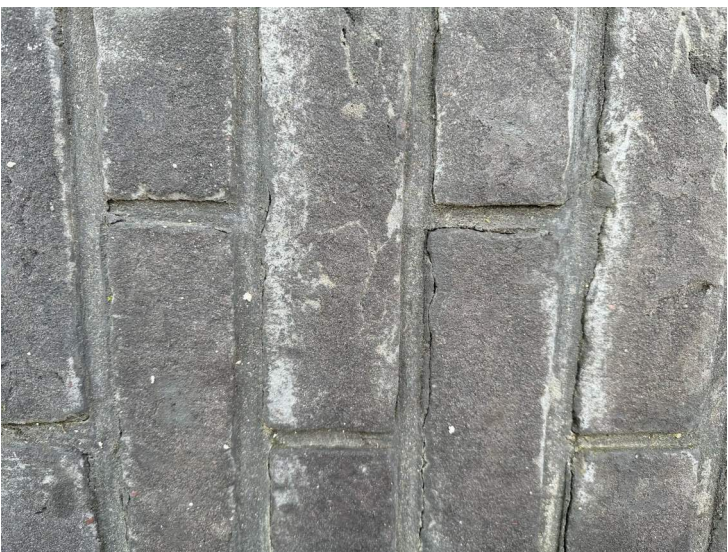
An acid etched finish was chosen to contrast with the lighter polished concrete columns and due to concerns over the practicality of polishing into the many internal corners of these elements.

In the mock up panel concrete with a 4% black pigment was used. We consider this slightly too light in comparison to the planning information and recommend that a 5% black pigment is used for the final precast panels.

The overall aesthetic matches well to the *"Exposed aggregate window sill panels, dark grey with white aggregate stone"* referred to on the planning drawings.



RAL7022. - for windows, balustrades and soffits



Wienerberger Graphite black



**BRICK OPTION 03:
MICHELMERSH BLACK SMOOTH**

Nominal Size: 215 x 102.5 x 65mm
Manufactured: UK
Type: Wirecut & vertically perforated
Dimensional tolerance: Tolerance = T2 (+/-4mm for length, +/- 3mm for width, +/-2mm for height)
Range: R2 (i.e. 4mm, 3mm, 2mm)
Durability/Salt Classifications: F2/S2

**BRICK OPTION 02:
WIENERBERGER GRAPHITE BLACK**

Nominal Size: 215x102.5x65mm
Manufactured: Belgium
Type: Soft mud moulded with frogging
Dimensional tolerance: Tolerance = T1 (i.e. +/-6mm for length, +/- 4mm for width, +/-3mm for height)
Range: R1 (i.e. 9mm, 6mm, 5mm)
Durability/Salt Classifications: F2/S2

**BRICK OPTION 01:
HECHISCH ZWARTE (AGITA BLACK)**

Nominal size: 215x102.5x65mm
Manufactured: Belgium
Type: Wirecut & vertically perforated
Dimensional tolerance: Tolerance = T2 (+/-4mm for length, +/- 3mm for width, +/-2mm for height)
Range: R2 (i.e. 4mm, 3mm, 2mm)
Durability/Salt Classifications: F2/S2

3.1
SAMPLE PANEL: BRICK OPTIONS

3.1.1 BRICKWORK OPTIONS

With regard to the brickwork the description on the detailed planning drawings reads “Dark grey textured rustic brick soldier coursing horizontal bands with 430mm soffit overhang to windows”. The developed detail design has increased this to 470mm which in the context of previous discussions with the planners is a positive move.

Four samples were originally included on the mockup panel and one of these has since been discarded for cost and buildability reasons.

Of the remaining three bricks we consider that Brick Option 01: Hechisch Zwarte (Agita Black) and Brick Option 02: Wienerberger Graphite Black represent a good match to the planning visuals and the ‘Dark grey textured rustic’ qualities described on the planning drawings.

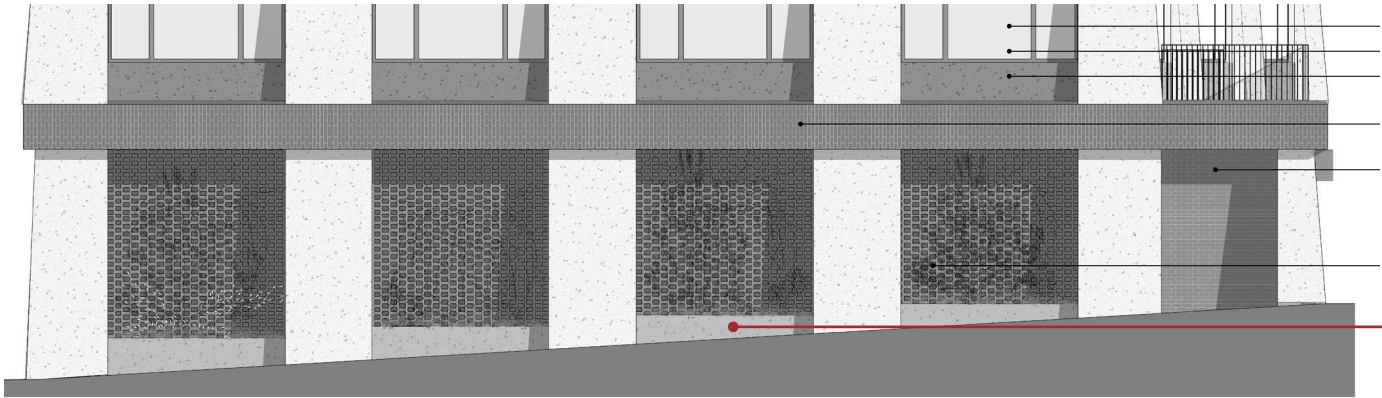
However, it is our understanding that Brick Option 01 is significantly over budget and that the client wishes to discard this as an option.

Brick Option 03: Michelmersh Black Smooth has a finish which is too smooth, shiny and consistent to be considered as ‘rustic’ or ‘textured’.

The costs are noted left with the caveat that the brickwork bands form a relatively small part of the overall facade area.

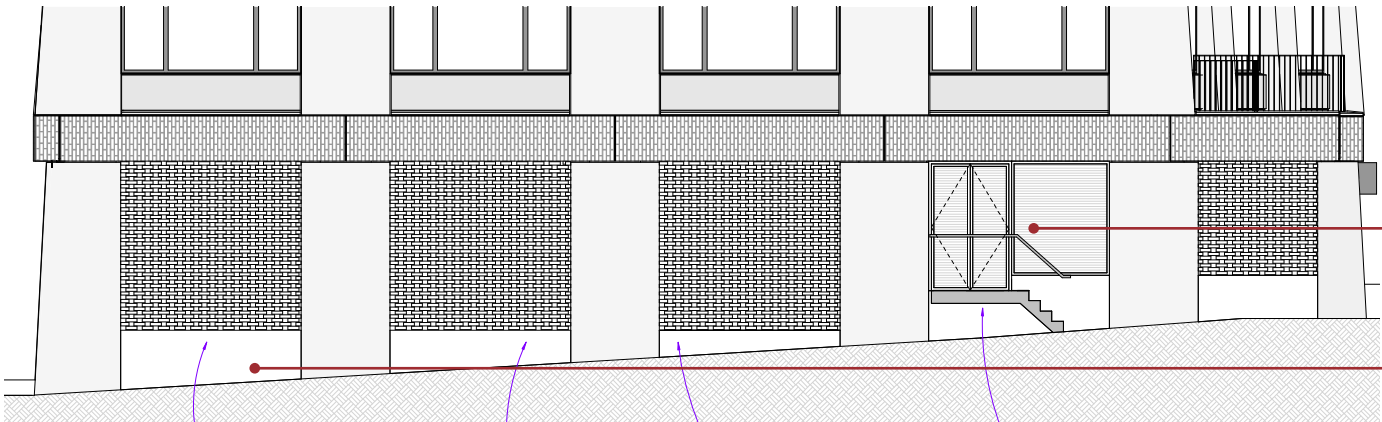
The mortar should be raked joints and matched in colour to the chosen brick.

Window frames and balustrades are to be a dark grey finish. We would suggest RAL7022.



SOUTH WEST FACADE GROUND FLOOR: CONSENTED PLANNING DESIGN

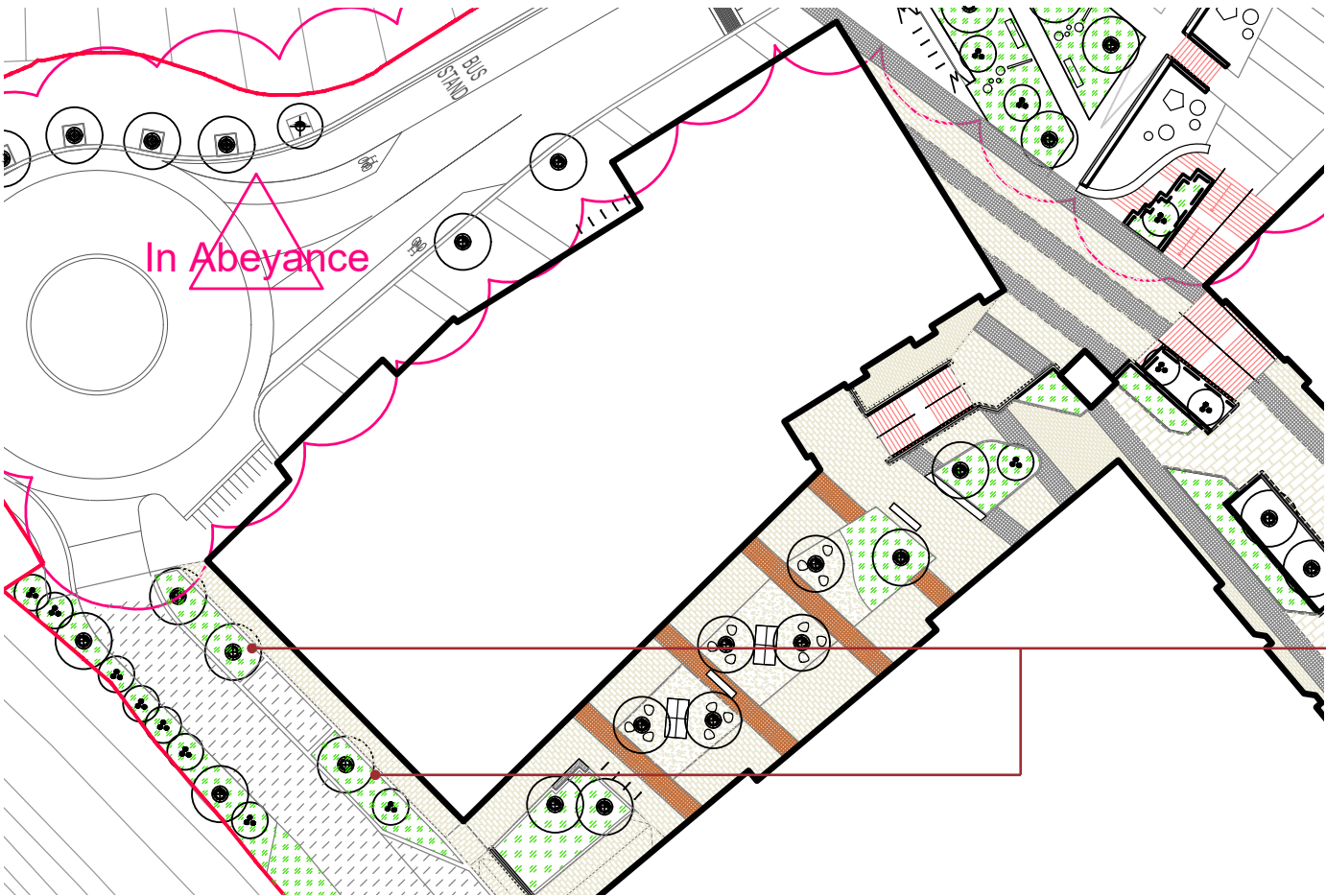
Planters adjacent to hit & miss brickwork with climbing plants. NB: Ground floor panel round the corner on South East facade is retained as a hit & miss brickwork panel.



SOUTH WEST FACADE GROUND FLOOR: PROPOSED STAGE 4 DESIGN

Introduction of plantroom door with access stair

Planters on other side of pavement.
Climbing plants replaced with planting



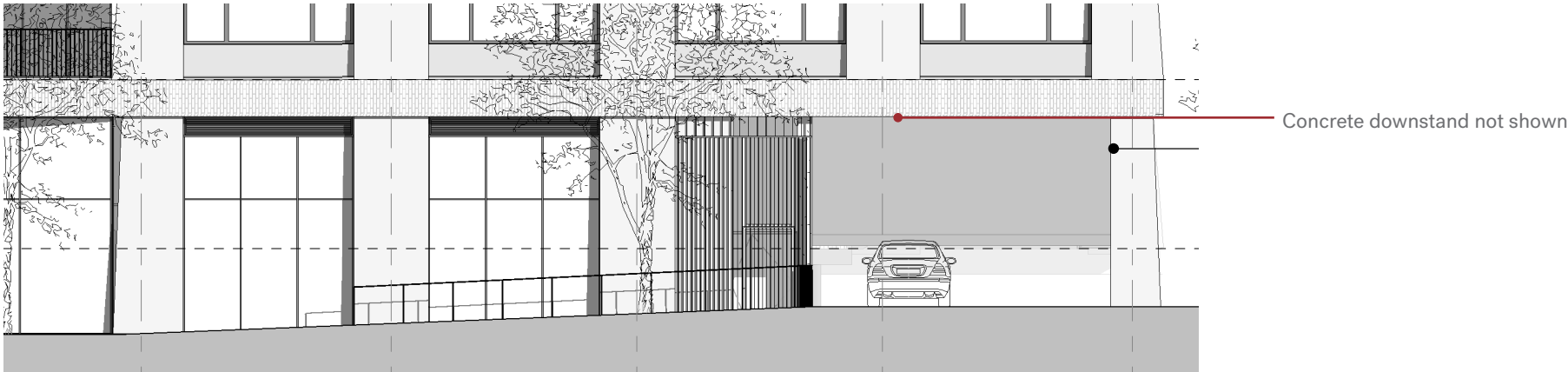
SOUTH WEST FACADE GROUND FLOOR: PROPOSED STAGE 4 DESIGN

Planters on other side of pavement.
Climbing plants replaced with planting

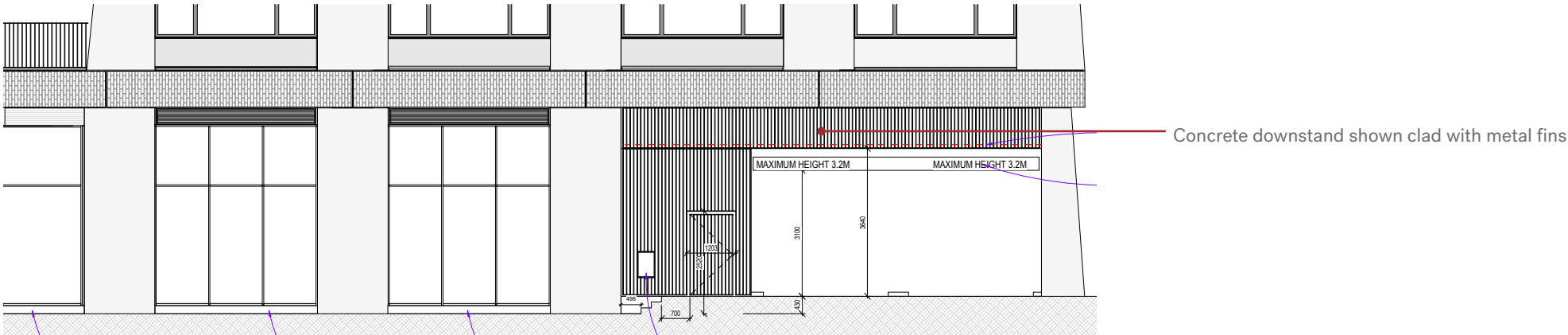
SUMMARY
Section 3.2 summarises the minor facade design amendments made during the post planning Stage 4 design by delivery architects PTAL.

SOUTH WEST FACADE GROUND FLOOR
The concrete planters at the base of the facade have been moved away from the hit and miss brickwork and relocated on the edge of the pavement. This is considered a minor and acceptable change but does mean that the potential for plants to climb up the hit & miss brickwork is removed. The concrete planters are marked as being a 'mid-grey' tone in the planning drawings. We are suggesting that for consistency they should be specified to match the darker grey coping and under-window concrete panels on Building A. A more major change is the introduction of metal steps and a plantroom door in one of the bays. It is understood that the current external stair up to the first floor terrace may be removed. If this is the case we suggest that the steps and the door are relocated inside. If this is not possible the steps and door should be powder coated in a dark finish to match the Building A window frames.

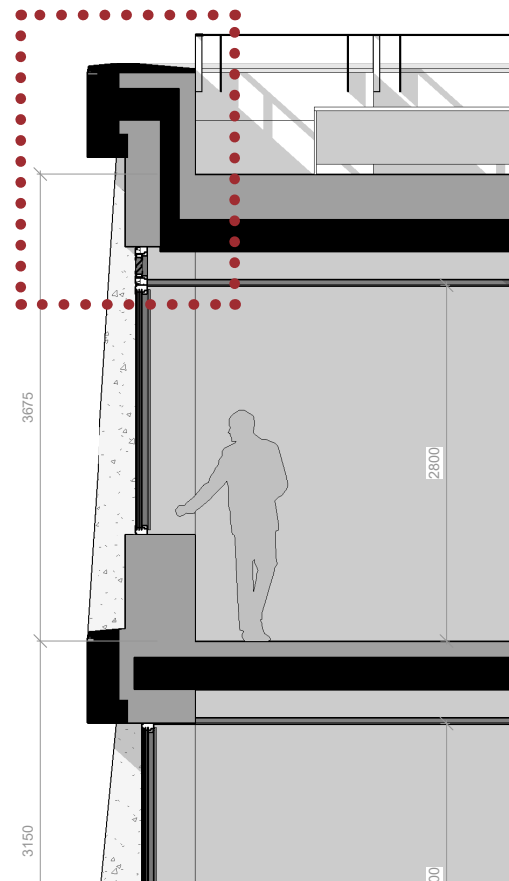
3.2
POST PLANNING DETAILED DEVELOPMENT
CHANGES



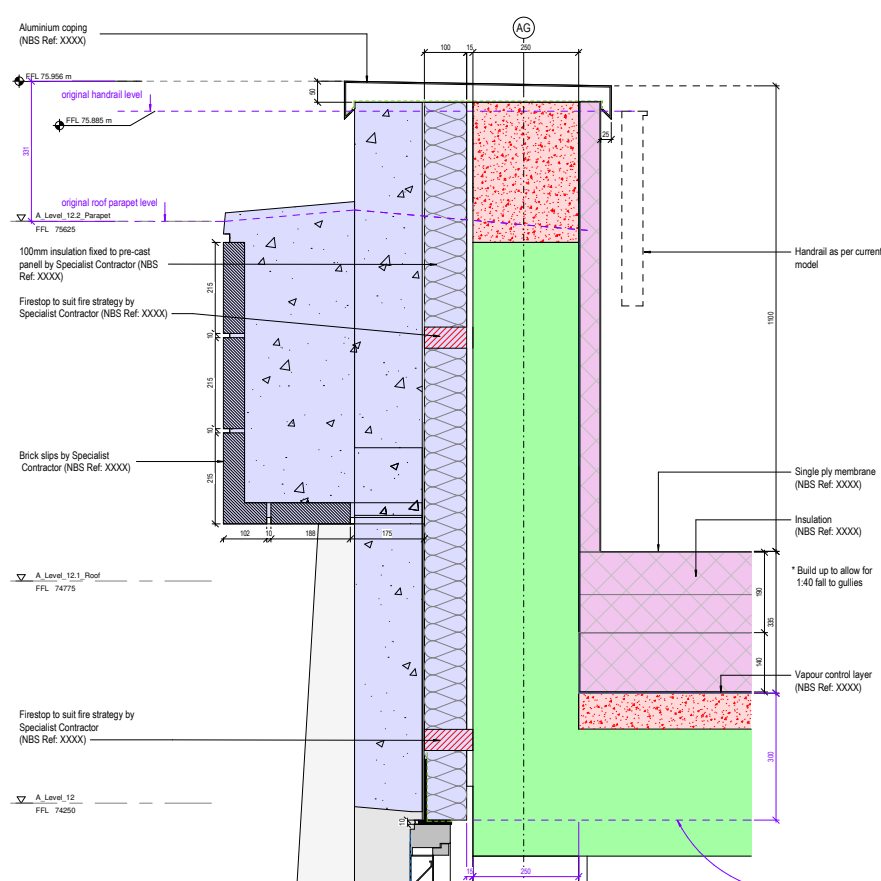
NORTH WEST FACADE GROUND FLOOR: CONSENTED PLANNING DESIGN



NORTH WEST FACADE GROUND FLOOR: PROPOSED STAGE 4 DESIGN



PARAPET DETAIL:
CONSENTED PLANNING DESIGN



PARAPET DETAIL:
PROPOSED STAGE 4 DESIGN

SUMMARY
Section 3.2 summarises the minor facade design amendments made during the post planning Stage 4 design by delivery architects PTAL.

NORTH WEST FACADE GROUND FLOOR
The planning elevations did not show a downstand beam above the entrance to the car park ramp. This is required and PTAL are proposing that the metal gate steel uprights are continued up and over to form a screen to this exposed structural element. We consider this a minor change and a positive one that improves the elevation. 150mm upstands have been introduced under the large ground floor windows. This reduces the likelihood of leaks and the lower windows getting dirty and again is considered a minor and necessary update.

ROOF DETAIL
A small, set back concrete upstand has been introduced at roof level to create a better capping detail and simplify the balustrade design around the roof. The height of this new element is the same as the balustrade shown on the planning drawings. The set back means that this element will not be visible in the short views to the building and will not be prominent in the long views due to its relatively small size. An alternative detail to minimize the apparent height of the upstand would be to add a further brick (215mm) to the top brickwork band.

OTHER MODIFICATIONS
(See drawing on p.6)
The external access ladder linking the first floor office terrace to the roof of the office has been removed and replaced with an internal access hatch. If the ladder was to be retained it would require a hooped top. We consider this an omission that improves and simplifies the facade as this is essentially a back of house element.
The workshop units' glazed facades are marked as 'Leiab windows' on the planning drawings. This is an error and has now been corrected to be curtain walling

