

10 ST MARK'S CRESCENT

DESIGN & ACCESS STATEMENT
JANUARY 2023

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Introduction

This Design and Access statement supports the drawings submitted for the alterations proposed at 10 St Mark’s Crescent.

The proposal put forward looks to sympathetically improve the rear extension by increasing the living space, bringing both materials and style to be more in keeping with the period of the house, to add a cellar below the existing lower ground floor for additional storage, and the addition of skylights to make the attic more usable to create more space on other floors to better accommodate children and elderly relatives.

This report explains how the proposed development is a suitable response to the site and its setting and demonstrates that it can be adequately accessed by prospective users.



Front Elevation of 10 St Mark’s Crescent

1.0 Site History

The London Borough of Camden is fortunate to have 40 Conservation Areas covering approximately half the Borough. These have been designated in recognition of the importance of the historic and architectural heritage located in the Borough. The site of this planning application is situated to the southern side of the Primrose Hill conservation area. Although within a conservation area the building is not listed.

The character of the Primrose Hill Conservation Area is determined to a large extent by the fine examples of predominately residential buildings along a linear road and positioned along the Regent’s Canal. The conservation area can be split into five sub areas for the purpose of character assessment. One of these areas is known as the “St Mark’s Crescent Semi Detached Houses”. The site for this application forms part of these semi detached properties which are excellent examples of fine Victorian architecture. Throughout the design process the design team have been considerate to this locally important context.

The St Mark’s Crescent semi detached properties are typically four to five stories with some properties possessing an additional basement/cellar level. The eaves, chimney stacks and ridge tiles all form a continuous line, which are not interrupted by any front roof extensions. The front garden walls used to repeat between the terraces but due to different needs of the users this repetition has been lost, with an array of front garden conditions now found. All the windows to the front facade feature stucco mouldings which are painted in a desaturated colour. The rear elevations have a series of extensions at garden level that do not detract from the uniformity of the terraces from any public vantage points.



Primrose Hill Conservation Area
Site Highlighted in Red



Site Plan
10 St Mark's Crescent and Neighbours

2.0 Local Planning History

The following is a record of recent planning history for 10 St Mark’s Crescent available online with Camden Council:

Site Address:	10 St Mark’s Crescent:
Application Ref:	2022/2155/T
Decision Date:	22nd June 2022
Planning Decision:	GRANTED
Description:	Front Garden: 1 x Magnolia Grandiflora (T1) - Fell to ground level and treat stump.

Site Address:	10 St Mark’s Crescent:
Application Ref:	2021/0678/T
Decision Date:	15th February 2021
Planning Decision:	GRANTED
Description:	Rear Garden: 1 x Willow Tree (T1)- Crown reduction back to previous pruning points (approx. 2m).

Site Address:	10 St Mark’s Crescent:
Application Ref:	2013/6290/INVALID
Decision Date:	NA
Planning Decision:	WITHDRAWN
Description:	The proposal is to alter the rear doors, at lower ground floor level, which open onto the garden. They are also to be positioned approximately 300mm further out.

The following list is a series of relevant planning applications from buildings within the St Mark’s Crescent street. It can be seen that many of these buildings have been granted approval for similar proposals.

Site Address:	1 St Mark’s Crescent:
Application Ref:	2018/6105/P
Decision Date:	12th March 2020
Planning Decision:	Granted
Description:	Excavation of basement with front and rear lightwells and alterations to existing rear conservatory to dwelling house.

Site Address:	12 St Mark’s Crescent:
Application Ref:	2017/0164/P
Decision Date:	21st February 2017
Planning Decision:	Granted
Description:	Erection of a single storey rear extension at garden level with terrace above, and replacement glazing to front lightwell.

Site Address:	Lower Ground Flat 15 St Mark’s Crescent:
Application Ref:	2012/2515/P
Decision Date:	9th July 2012
Planning Decision:	Granted
Description:	Erection of a single storey rear extension with roof terrace over enclosed by metal railings and replacement of existing lower ground floor level front window with french doors and alterations to window at rear ground floor level all in connection with existing flat.

Site Address:	Basement Flat 26 St Mark’s Crescent:
Application Ref:	2018/5384/P
Decision Date:	25th April 2019
Planning Decision:	Granted
Description:	Erection of a single storey rear extension at lower ground floor level.

Site Address:	31 St Mark’s Crescent:
Application Ref:	2018/4547/P
Decision Date:	20th August 2019
Planning Decision:	Granted
Description:	Single storey rear extension and excavation of basement to dwelling including no.1 rear lightwell. Installation of rooflights and replacement to windows to main house, relandscaping to rear garden (amalgamation/minor variation to works approved under applications 2016/7071/P, 2017/1534/P, 2017/2684/P & 2018/5835/P).

The above planning decisions do not suggest the proposal that is being promoted in this application submission has previously been deemed inappropriate.

3.0 Existing Building Condition

Existing Front Elevation

The character of the St Mark’s Crescent semi detached houses are defined by painted block work homes across 4 to 5 storeys, each with a set of sash windows, with varying blocked up windows to the side wing of the property. The building has stucco window surrounds, lintels and door cases of varied classical detail. All windows are sliding sashes which is consistent with the other buildings in the conservation area.

The blockwork is in good condition but could benefit from another coating of paint. The drainage to the house is currently quite detrimental to the overall composition particularly to the side elevation. At the front of each property there is a front courtyard at lower ground level. Each property is entered through the side wing, with an external staircase at the side of each property which gives access to the rear garden.

Existing Rear Elevation:

The St Mark’s Crescent semi detached houses hold a distinct rear street-scape forming a pair with each semi detached property. Between the semi detached property is another set, with openings to allow views into the canal. The block work continues to the rear also in good condition. Each property with a rear extension possesses a terrace which is accessible from ground floor level, acting as a distinct characteristic of the rear streetscape. There is also a juliet balcony on first floor level also acting as a distinctive element of the rear facade.

The current rear extension does not follow any consistent style with the neighbours but possesses a terrace which is possessed by each property that has a rear extension. All neighbouring extensions hold no consistent style or material which are not in keeping with the period of the houses.

The roof is pitched, no extensions have been added, retaining form of each semi-detached property.



Existing Front and Rear Elevations, 10 St Mark’s Crescent

4.0 Design Strategy & Preservation of 10 St Mark’s Crescent

The facades facing the public road have not changed significantly since their date of construction providing a coherent built edge for St Mark’s Crescent.

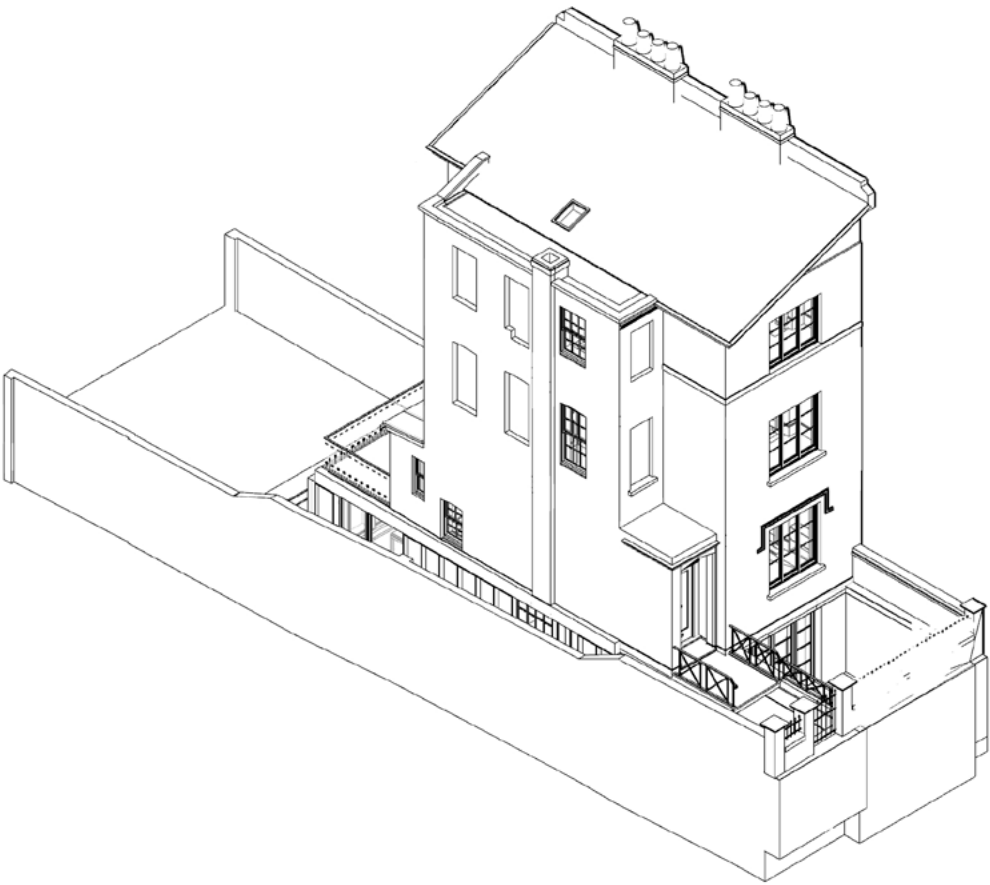
It can also be identified that one of the main characters of this part of the Conservation Area is derived from the repetitive landscape of the rear volumes along the St Mark’s Crescent semi detached properties. The diagram below aims to show the repeating composition of a rear extension with a terrace. This is a significant architectural trait of the street and is maintained as part of the proposal.

The proposed development does not aim to alter this repetitive language to the rear of the terraces, and it is considered there will be no harm to the significance of the Conservation Area. It is also clear the proposed development will not have any impact on the character or appearance of the host dwelling or street scene.

The nature of the proposals is discussed in more detail later in this document.



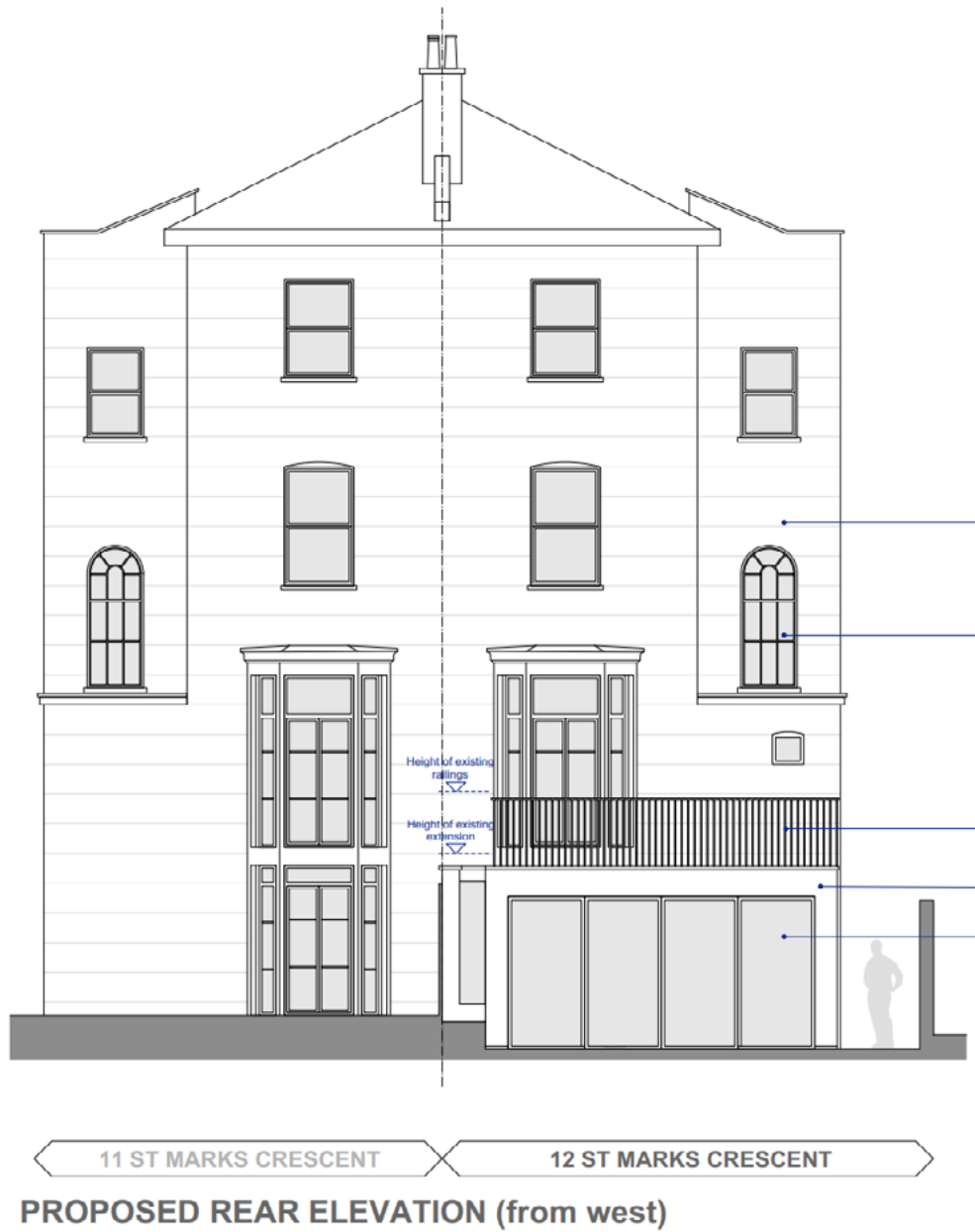
Rear view of the semi detached character of St Mark’s Crescent



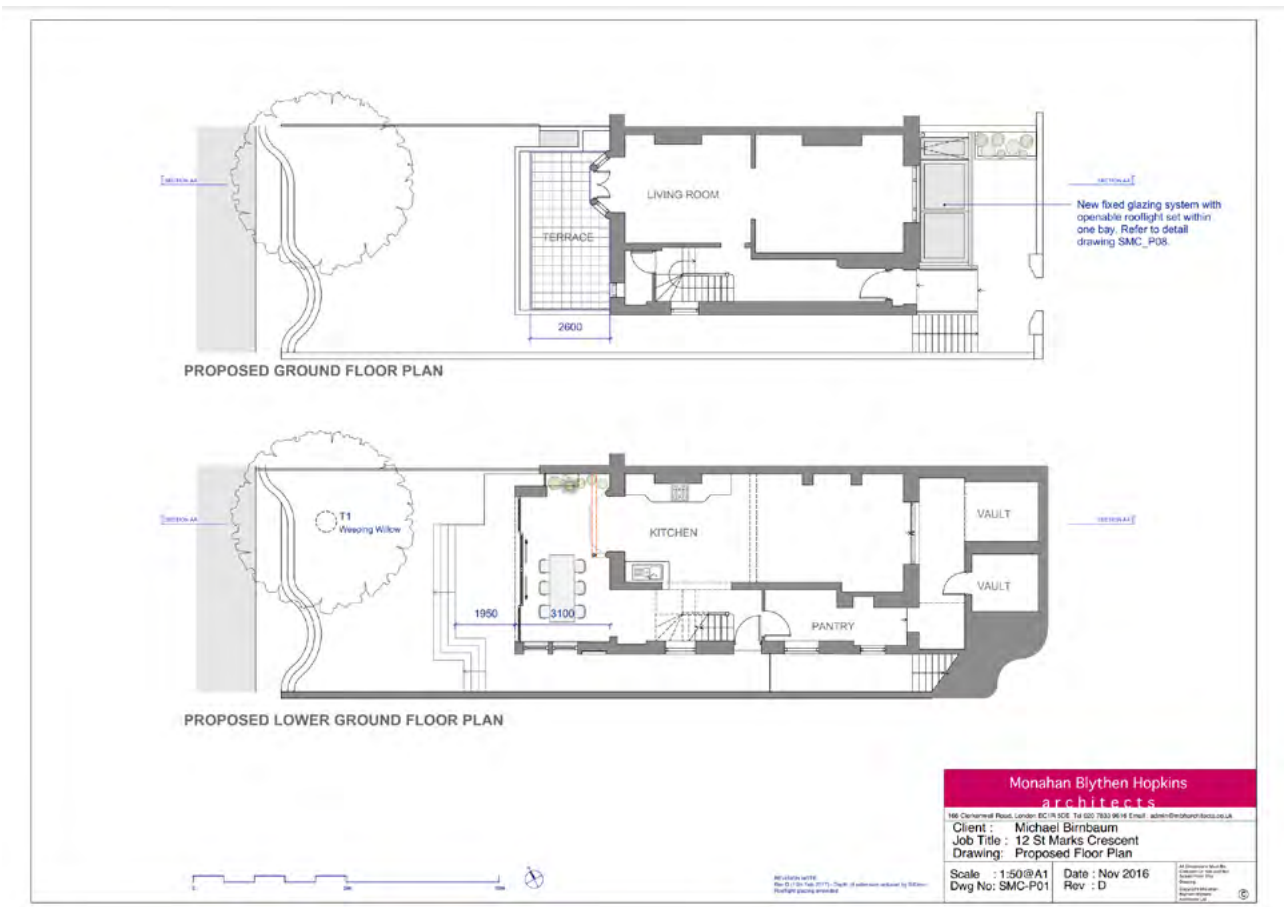
Front Isometric of 10 St Mark’s Crescent

5.0 Relevant Local Development

Analysing the rear elevation of the entire street allows us to identify how St Mark’s Crescent semi detached houses have developed historically, and how it has evolved over recent years to meet the needs of its occupiers. The drawing on the following page highlights the more recent developments to the rear of the terrace, for instance 12, 15, 26 and 31 all feature single storey rear extensions that are 3m deep. The approved plan of No.12 is shown below. This development history formed the basis for the scale of extension at garden level.



Rear Extension at 12 St Mark’s Crescent
Application Ref: 2017/0164/P



Plan of Approved 3m extension at 12 St Mark’s Crescent
Application Ref: 2017/0164/P

Streetscape_Existing Development

This annotated aerial photograph depicts the extent of relevant development near 10 St Mark's Crescent. These approved developments suggest the proposal in this application has not previously been deemed inappropriate.



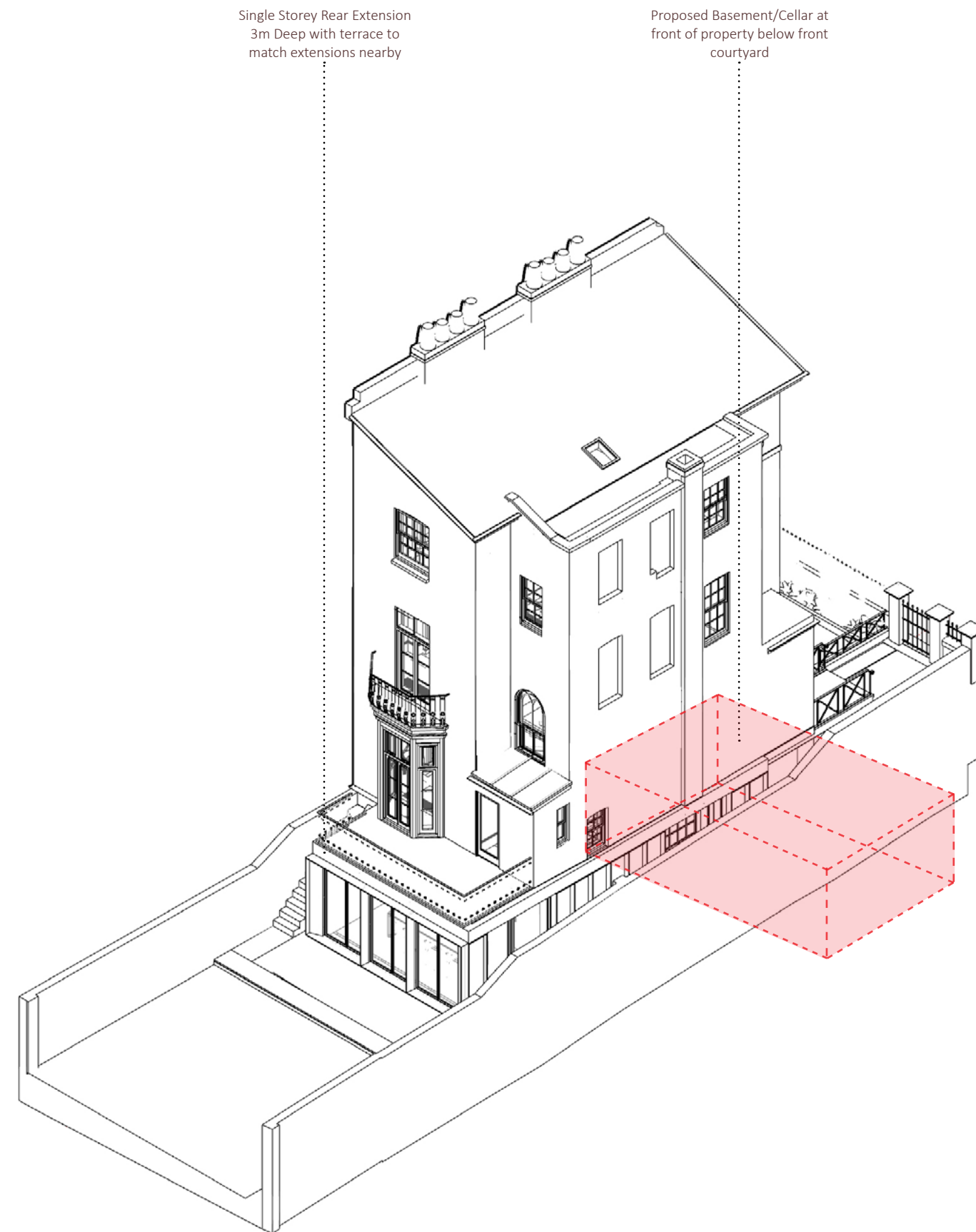
Front Elevation Streetscape

Streetscape_Existing Development

This annotated aerial photograph depicts the extent of relevant development near 10 St Mark's Crescent. These approved developments suggest the proposal in this application has not previously been deemed inappropriate.



Rear Elevation Streetscape



Isometric of Proposal
Rear view of 10 St Mark's Crescent

6.0 10 St Mark's Crescent Proposed Development

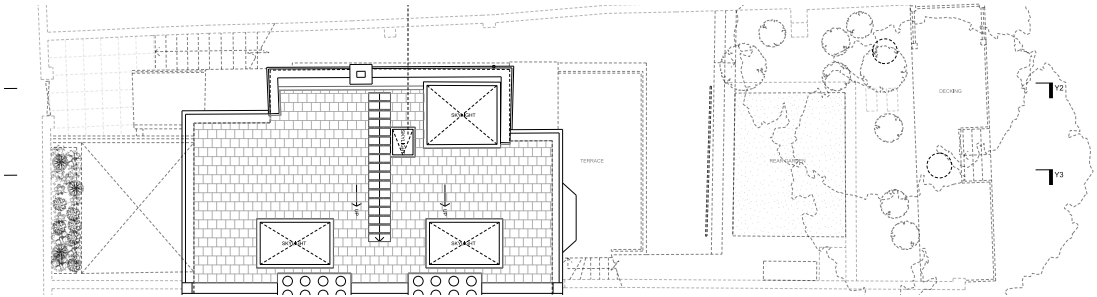
The scale and massing of the proposals have been directly informed by the existing pattern of development along the rear elevations of the St Mark's Crescent streetscape.

The drawing on this page provides a holistic view of proposal which consists of the following:

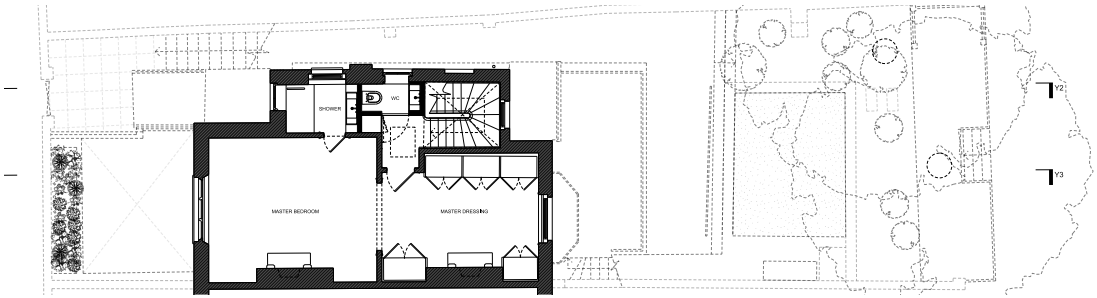
- the single storey lower ground extension has a depth that is less than or equal to No.12, 15, 26 and 31
- the proposed basement/cellar does not interrupt the external appearance of the property. No. 31 was previously granted permission to construct a basement
- Existing blockwork will be repaired and painted.
- Existing sash windows replaced by double glazed painted timber sash windows.
- All stucco mouldings and cills to be repainted.

The proposed works to 10 St Mark's Crescent will seek to improve the accommodation, amenity, and general standard of living within the building. The existing property is in a moderate condition and needs maintenance and repair. The proposed scheme looks to provide development which will be in proportion to the original dwelling. Furthermore, the proposals will seek to preserve a building which forms part of the wider Conservation Area.

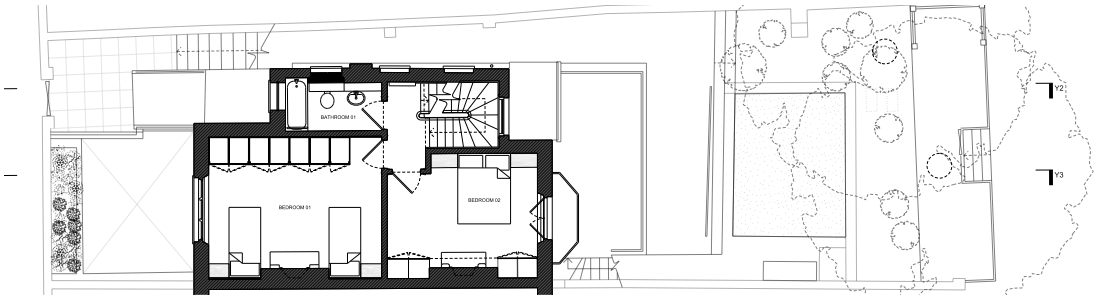
Proposed Plans



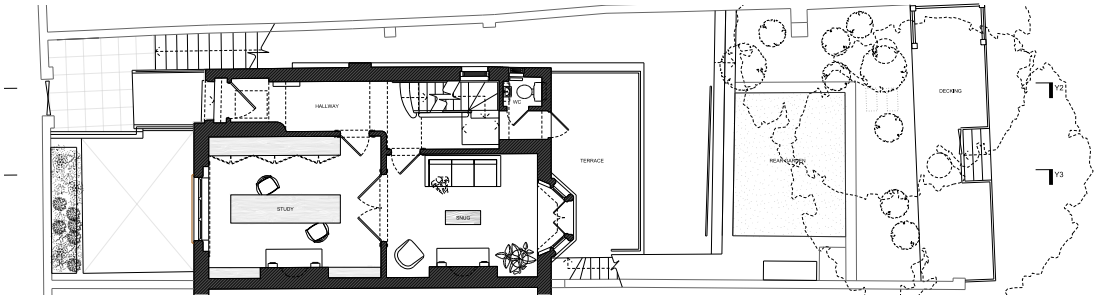
Roof



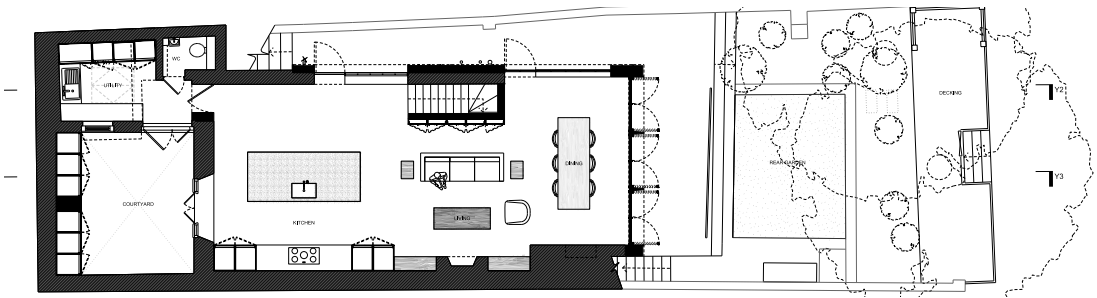
Second



First



Ground

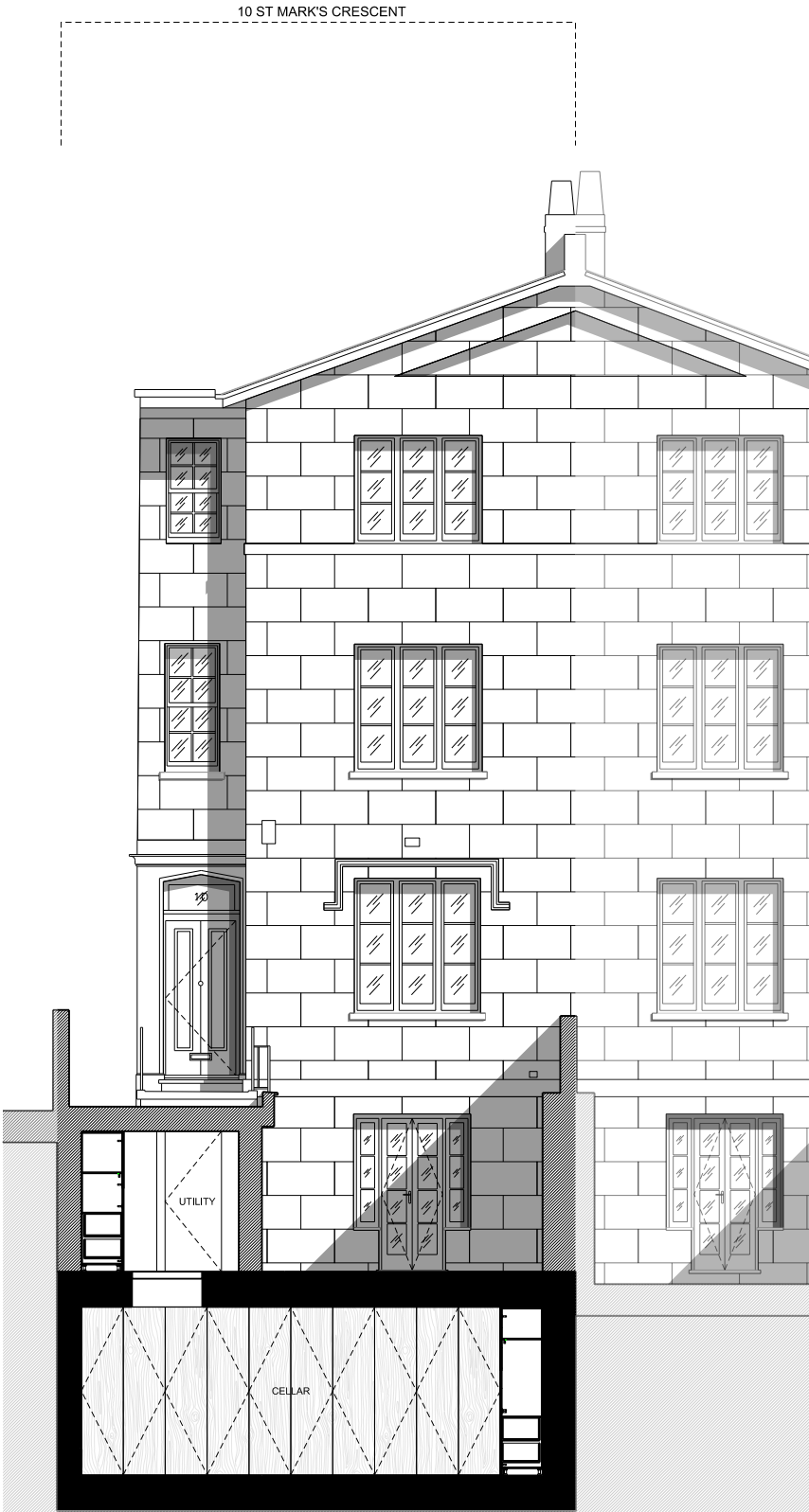


Lower Ground



Basement

Proposed Elevations



Proposed Front Elevation



Proposed Rear Elevation

7.0 Extension Materiality

The existing materiality of the rear extension is composed of a white UPVC glazed doors and windows to the front and side of the rear extension which poorly adheres to the existing style and materiality of the property.

The proposed material palette of the LG rear extension will be composed of lead sheets that sit in the existing position of the current rear extension which references the existing style and materiality of the rest of the house, specifically the lead roof over the GF toilet. The extension is capped with an accessible terrace above, with the handrails taking reference from the existing style. The glazing will be minimal framed black metal glazing.



Lead Panelling



Black metal glazing for window and door frames



Precedent for metal extension

8.0 Design and Access

For the avoidance of doubt, the following paragraphs address the requirements for design and access statements, using headings set out in national guidance on preparation of such statements.

Use:

10 St Mark’s Crescent is entirely for residential use. This proposal intends to retain the residential use and is a single property for a family.

Layout:

The proposed layouts intend to retain the existing layout, with minor changes focussed on the lower ground floor and the addition of a basement. The kitchen, living and dining spaces are at the lower ground floor. The plans on the top 2 floors accommodate the bedrooms and bathrooms.

Scale:

The rear extension adjacent to the garden is of the same depth (3m) and scale as other extensions along St Mark’s Crescent.

Daylight Impact:

The rear extension is west facing, however the height of the extension and their location means that no habitable rooms in the neighbouring properties lose access to natural daylight.

Landscaping:

The existing rear landscaping will be maintained apart from the removal of the existing steps and retaining wall to make space for the extension.

Vehicular Links:

The scheme has no impact on transport or traffic levels to the site.

Inclusive Access:

By its nature, the existing property does not allow for wheelchair access and could not be readily amended to provide such access.

9.0 Fire Strategy

This Fire Safety Statement is produced to fulfil the requirements of Policy D12 of the London Plan, as adopted March 2021. Section A of the policy states, “in the interests of fire safety and to ensure the safety of all building users, all development proposals must achieve the highest standards of fire safety.”

Taking each requirement in turn;

- 1) Identify suitably positioned unobstructed outside space:
a) for fire appliances to be positioned on, and;
b) appropriate for use as an evacuation assembly point**

The existing property is a four storey semi detached house with a front courtyard and rear garden. The front courtyard space is hard- landscaped. The front door is immediately adjacent the street for open and convenient access. This area is a suitable evacuation assembly point.

- 2) The development is designed to incorporate appropriate features which reduce the risk to life and the risk of serious injury in the event of a fire; including appropriate fire alarm systems and passive and active fire safety measures.**

The development will be constructed in line with current building regulations on fire safety

- 3) The development is constructed in an appropriate way to minimise the risk of fire spread.**

All other materials for the proposed development would be selected to the relevant fire safety standards as set by building regulations.

- 4) Provide suitable and convenient means of escape, and associated evacuation strategy for all building users.**

At the upper and lower ground levels the main means of escape are the front facade entrance door and side door at LG level- the main door and the lower ground door at the side of the building can be used to evacuate to the assembly point at the front of the property.

All upper levels have access to a protected stairway as set out in the building regulations.

- 5) Develop a robust strategy for evacuation which can be periodically updated and published, and which all building users can have confidence.**

Not applicable to single family dwelling house.

- 6) Provide suitable access and equipment for firefighting which is appropriate for the size and use of the development.**

Fire blankets and extinguishers will be used in line with requirements for single family dwellings.

10.0 Conclusion

In summary, the proposal aims to improve the quality of the amenity of the property whilst not having an adverse impact on the surrounding context or neighbouring houses. The proposal looks to sit harmoniously within its context choosing materials that are in keeping with the existing fabric of the host building. Furthermore, the proposed development does not aim to significantly alter parts of the building which face onto the street having no changes made to the front elevation and therefore it is considered that there will be no harm to the significance of the Conservation Area.

This report has outlined how the proposal has been designed to adhere to the size, scale, materiality, context and history of the site. The drawings, diagrams and photos in this report clearly demonstrate that the proposals seek to respectfully restore and maintain the property so that it can be enjoyed by a modern family for many years to come.

In conclusion, this assessment confirms that the development proposal accords with the provisions of the Development Plan and as a consequence a presumption in favour of a grant of planning permission.