

7 THE GROVE, HIGHGATE, N6 6JU

Hard and soft landscaping works to include terrace, pool, pool house, other outbuildings and new metal railings

DESIGN AND ACCESS STATEMENT

Householder Planning Permission and Listed Building Consent Application

18th January 2023



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1 INTRODUCTION

7, The Grove is a grade II listed semi-detached house dating from c. 1830, later extended, and subsequently subdivided into separate dwellings. It is located within the Highgate Conservation Area and set within a 91m curtilage long, extending across over 0.4 of an acre. At time of writing building works are underway to implement the proposals approved under planning application 2021/3374/P and listed building consent 2021/3891/L, the description for which is as follows:

Conversion of 2x self-contained dwellings (No. 7 and 7B) to form a single dwelling (Class C3); erection of single storey side extension following demolition of single storey outbuilding; erection of replacement single storey outbuilding; alterations to fenestration including insertion of 2x rooflights in main roof and creation of door access to newly created bow terrace at 3rd floor level; raised masonry balustrade to bow terrace; removal of glazed cover above front area and installation of new metal balustrade; alterations to rear terraces; removal of balustrade on crown roof; replacement windows.

It is proposed to subsequently undertake a landscape project designed by Tom Stuart-Smith and Lisa Shell Architects, which is the subject of this application, and detailed within the submitted documents. Aspects of the proposals which are connected to the house, and supersede those previously approved are identified below.

An assessment of the heritage significance of the garden landscape and its features, and the impact of the proposals, are fully considered within the Statement of Significance prepared by The Architectural History Practice and so are not repeated here. This document should also be read in conjunction with the Heritage Statement that was originally prepared in support of the submission for approval noted above, and again included within this submission.

For the purpose of this application, and where applicable, there are three sets of drawings submitted:

<i>As proposed</i>	
<i>As approved</i>	(planning 2021/3374/P and listed building consent 2021/3891/L)
<i>As existing</i>	(prior to commencement of current building works)

2 THE PROPERTY

2.1 Context & Setting

The Grove falls within Sub-Area 1: Highgate Village, of the Highgate Conservation Area, described as its historic 'core'.

As noted in the Heritage Statement, though the original house was one of a symmetrical pair, the addition of the southern wing means that the pair now appear as part of a terrace of three.

The house is oriented east-west with an east facing front garden enclosed by railings and a wide gravel area outside the boundary which forms a tree-lined margin to the street. The house overlooks the Highgate Reservoir which was created in 1846 not long after its construction. The private rear garden which slopes and narrows slightly towards the west, is sub-divided by an ornamental brick arcade.

2.2 History and chronology

According to John Tomson's map of the parish of St Pancras published in 1804, no.s 7 and 8 the Grove appear to have been built on what had been formally laid-out pleasure gardens attached to the late C17 Grove House. Demolished by 1808, the land associated with the house was sold off for redevelopment from the 1830s. Although the gardens to no.s 7 and 8 are now of equal length, the western end of the garden to no. 8 had originally belonged to no. 7, the line that divided them being on the line of the existing brick arcade. The OS of 1870 shows a path cross this line indicating the connection of these two parts of the garden. The interconnections made within the houses between no.s 7 and no. 8 in the late C19 during the occupancy of the Lodge family, might suggest that the gardens had also interconnected in some way at this time. The current division of the gardens first appeared in a 1947 aerial photograph and subsequently in the 1952 OS: the boundary wall is clearly of mid C20 origins. The raised paved terrace with brick balustrade at attached to the house is also of modern origins being built some time between 1895 and 1938. The stone steps that descend from the terrace appear to have been relocated from an original position close to the back of the house, with the large flag previously forming a landing immediately outside the back door, and a wrought iron balustrade forming a protection from an adjacent basement well. The same brick balustrading and concrete copings that surround the modern terrace also flank the otherwise historic steps.

The almost identical stone steps that feature within the garden of no. 8, appear also to have been relocated from an original location but here short sections of iron balustrading remain in place in addition.

Whilst the provenance of the various brick boundary walls to the rear garden is clear that of the picturesque brick arcade is not, although Neil Burton suggests that the quality of the brickwork and mortar point to early C20 origins. He concludes that the eastern section of the southern boundary wall is of considerable evidential value and historical significance, being the boundary

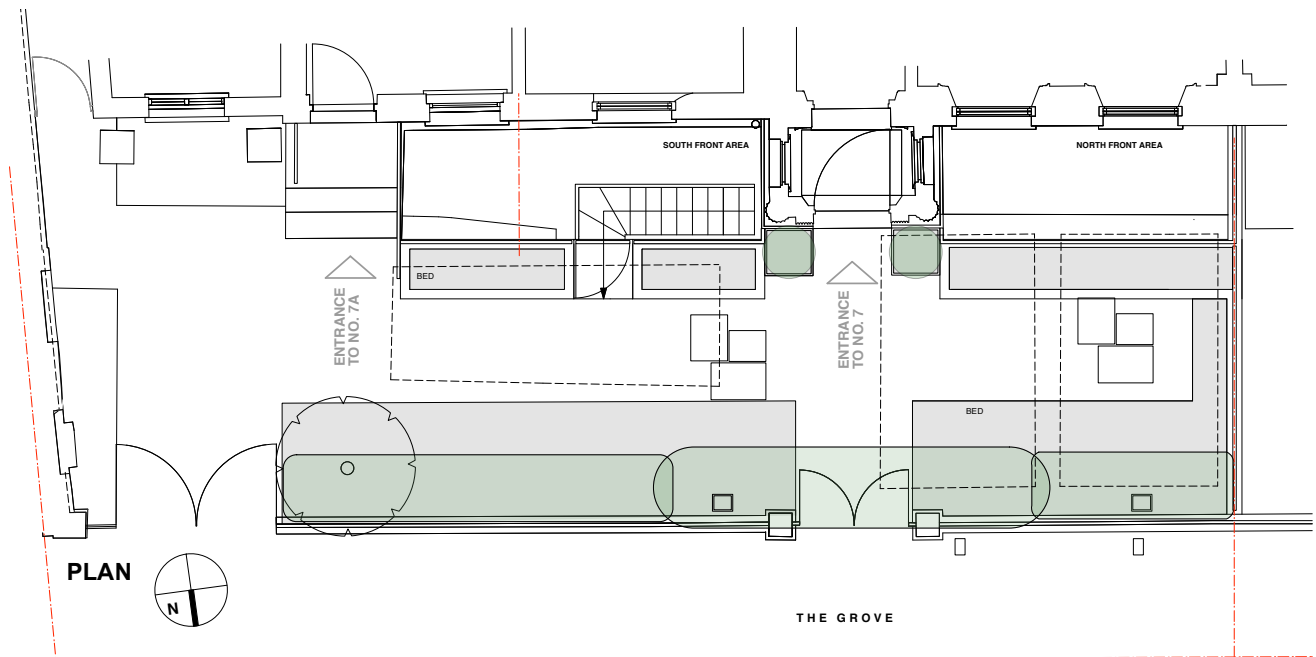
of the C17 Dorchester House, whilst the other walls and the arcade have little significance of any sort.

FRONT GARDEN

The creation of new planted beds results in a reduced area of York stone paving to the front garden.

The newly reinstated north front area is provided with railings to match the short section of original railing to the boundary with no. 8 and further matching railings replace the non-original copies to the existing south front area; the garden boundary with no 8 is provided with a simple modern steel railing.

The original railings to the front boundary are retained and repaired. The steel staircase to the front area is replaced with a new traditional steel stair with cast iron LCC pattern treads, frogs back handrail and rod spindles. It has been agreed that the detail to the new metalwork is conditioned as part of an approval; 1:10 and 1:1 details of all new metalwork will be provided to discharge such condition.



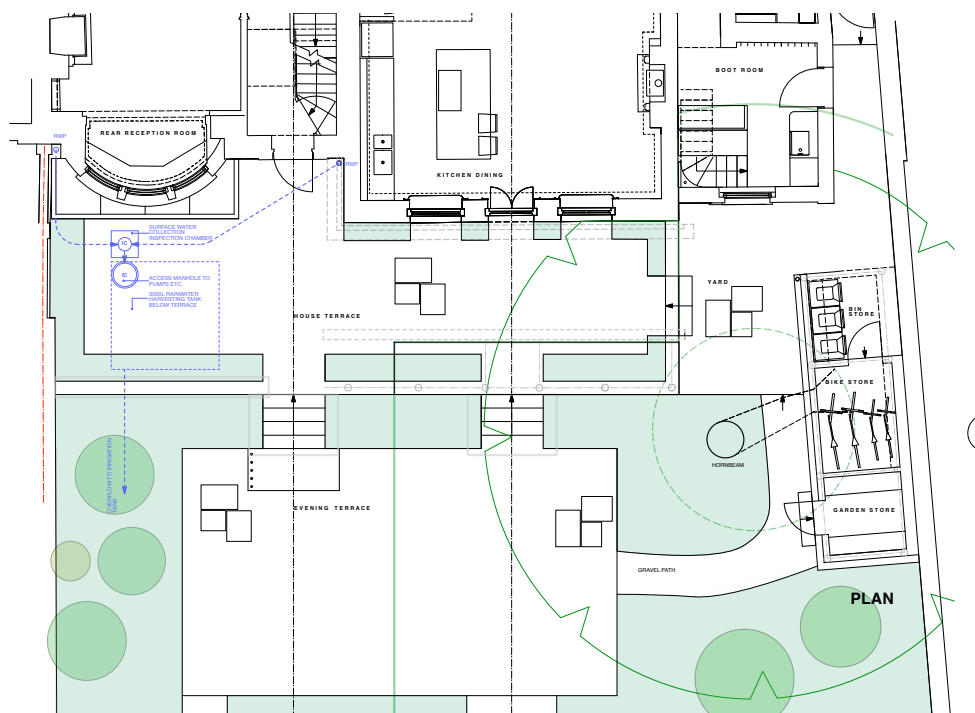
TERRACES & OUTBUILDING

The proposed extending of the existing C20 York stone-paved terrace attached to the house was approved ref 2021/3374/P and 2021/3891/L, along with a structural proposal to minimise risk to the roots of the hornbeam tree and the further relocation of the original stone steps along the axis of the back door. This application includes the same extension to the terrace, a similar relocation of the existing stone steps along the same axis, with an additional set of stone steps on the axis of the new double doors to the Kitchen/ Dining room. The brick balustrading to the perimeter of the terrace is removed with planted beds provide some protection from falling. The area of extended terrace within the RPA of the hornbeam is made of up 60% planted beds which extend through the terrace to the ground below, thus supporting the health of any hornbeam roots that extend into this area. The new perimeter retaining wall, whose primary job is to contain these beds, is supported on a minimal number of helical piles, with concrete lintols and bracket angles set above the existing ground, supporting the brickwork over. The internal side of the beds is defined by the existing masonry retaining wall. The new steps within the RPA are supported on a shallow concrete pad foundation.

All existing York stone is re-laid on a lime mix, and supplemented as required to achieve coursing.

A water harvesting tank is still proposed, but is relocated to the north terrace where it can be accommodated within the greater depth.

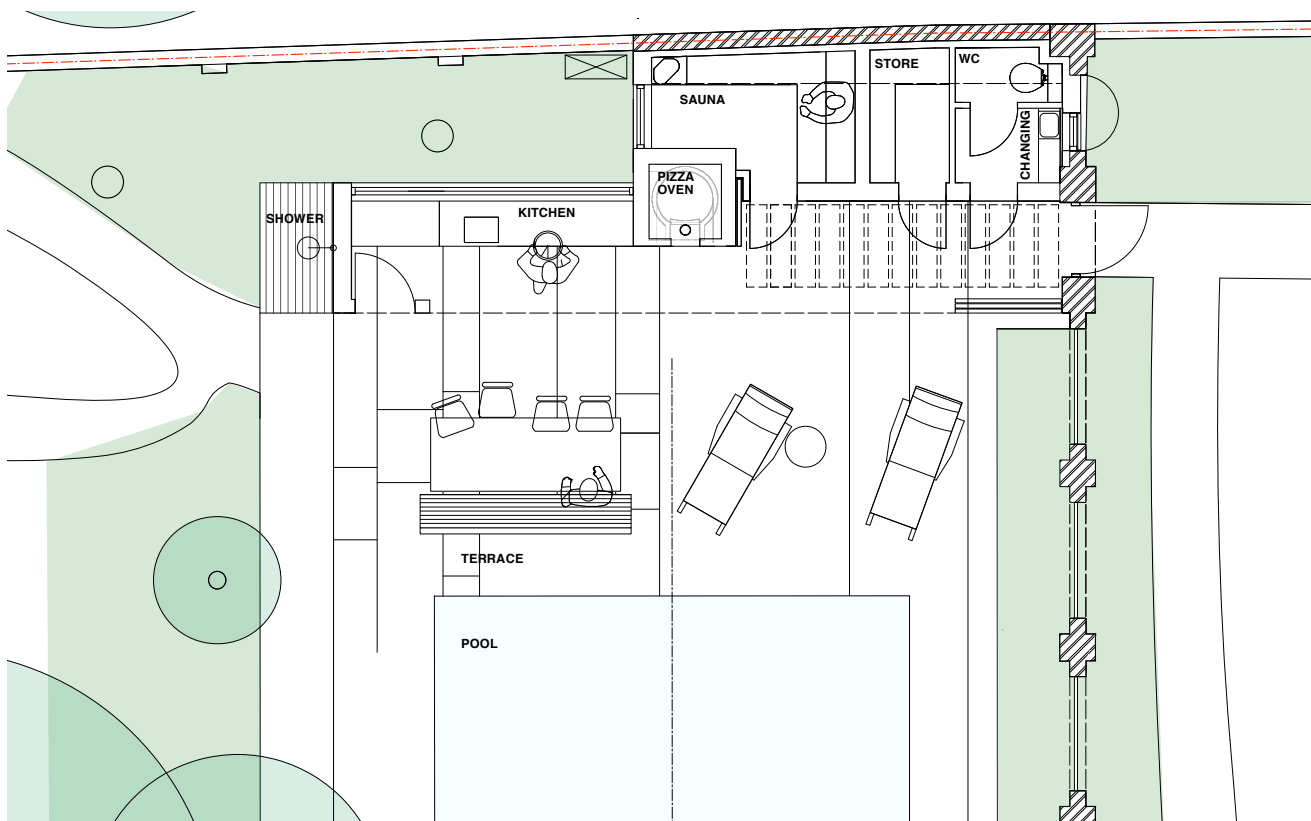
A new paved evening dining terrace is set at a level below, but without the need for any excavation of the existing lawn in consideration of the adjacent hornbeam.



An outbuilding is set against the south boundary wall with no. 6 The Grove, providing bin, bike and log storage and space for items associated with the terraces; garden sheds are located deeper into the garden. The outbuilding a detached timber framed structure requiring only the insertion of a lead flashing into a course of the early C17 listed garden wall. It is supported on a grid of concrete ground beams/ lintols set above the existing ground level and spanning between new helical piles, to minimise the risk to the hornbeam roots: furthermore the excavation and insertion of piles will be undertaken by hand with the supervision of a suitably qualified arboricultural consultant so that siting of ground structures can be altered if significant roots are encountered. The building is clad in untreated accoya boarding, which will be allowed to grey with age and its roof is laid with recessive black zinc to reinforce its nature as a peripheral structure.

POOL AND POOL HOUSE

A new swimming pool and associated building is to be sited to the west of the brick arcade that bisects the garden, in the location of a water feature which probably dates from the 1970s.



PLAN OPEN

As set out in the Statement of Significance the date of the brick arcade itself is unclear, although it is evident from historic maps that some sort of porous boundary existed in this location as early as 1870 and probably when the house was first built, when the gardens to no.s 7 and 8 were divided unequally as already described. It seems likely that the arcade was constructed in the C20 from brickwork taken from an earlier wall.

The section of the arcade affected by the proposals is at its north end where the northernmost arch was recently rebuilt following storm damage, along with the upper parts of piers. The brick used in the repairs is modern but of a different type from that used to construct the western boundary wall that divided the gardens into more equal portions, probably during the 1940s. The arcade still has charm, if not finesse in construction! The western boundary wall moreover is of the least significance, and could even be said to have a harmful impact on the quality of the garden.

The proposed pool building is located against this northern boundary and will involve the reconstruction of the brick boundary wall in handmade red brick, to form the rear wall to the building.

The building is formed out of two shallow blocks that stagger in plan and are linked at the entrance to the pool terrace by a pergola-type roof. The northernmost block is also integrated into the existing line of the arcade, incorporating the tall reconstructed arch at its entrance (which is likely to need further reconstruction), and steps down in section towards the northern edge so that the boundary wall need only rise in height by a nominal amount, so reducing impact on the adjacent garden. The low flat roofs are laid with sedum to minimise their visibility from rear windows of both no. 7 The Grove and neighbouring properties. The building houses a small kitchen preparation area, wc, changing facilities, storage and sauna and is clad and enclosed in untreated accoya boarding: shutters allow the building to be opened up to the pool area, and closed to form a neutral backdrop to the pool. The staggered plan is designed to accommodate a mature lilac tree which will provide a canopy over the roof, and also generates an enclosed space within which an air source heat pump, serving the pool and building, can be concealed without acoustic or visual intrusion.

The pool structure is supported by a basement impact assessment based on specialist site investigations of subterranean (groundwater) flow; surface water flow and flooding; slope stability; and hydrological constraints layer. This report demonstrates that the excavation can be undertaken as detailed without undue risk.

3 CONSIDERATIONS

3.1 Policy considerations

The following policies were considered when formulating the proposals:

National Planning Policy Framework February 2019

Chapter 12 Achieving well-designed places (paragraphs 56-61, 66)

Chapter 16 Conserving and enhancing the historic environment
(paragraphs 128, 134 & 138)

The London Plan March 2021

Policy D4 Delivering good design

Policy HC1 Heritage conservation and growth

Policy 7.4 Local character

Policy 7.6 Architecture

Policy 7.8 Heritage assets and archaeology

Camden Local Plan 2017

A1 Managing the Impact of Development

D1 Design

D2 Heritage

Supplementary Planning Guidance

CPG1 Design (Jan 2021)

Highgate Conservation Area Appraisal and Management Strategy 2007

3.2 Planning history

7 THE GROVE

1993 – 2021

27 separate applications for tree works

8903323 18/5/1989

Conversion of part basement to self-contained flat. *(plans submitted)

Application withdrawn

8802296 16/5/1988

Alterations to the basement including the glazing of the roof and waterproofing of basement vaults. *(plans submitted).

Application withdrawn

No documents available

8870346 16/5/1988

Internal alteration including erection of a glazed roof over the light well as shown on drawing No.s LC18/GA1 Rev A and LC18/S1 and LC/8/D1

Approved

No drawings available; subsequent working drawings provided by previous owners/ applicant

HB226

16/11/1970

Conversion Of Top Floor Front Room Into A Bathroom And Kitchen

Approved

Drawings available

7 & 7B THE GROVE

2021/3374/P

12/04/2022

Conversion of 2x self-contained dwellings (No. 7 and 7B) to form a single dwelling (Class C3); erection of single storey side extension following demolition of single storey outbuilding; erection of replacement single storey outbuilding; alterations to fenestration including insertion of 2x rooflights in main roof and creation of door access to newly created bow terrace at 3rd floor level; raised masonry balustrade to bow terrace; removal of glazed cover above front area and installation of new metal balustrade; alterations to rear terraces; removal of balustrade on crown roof; replacement windows. Approved

2021/3891/L

12/04/2022

Erection of single storey side extension following demolition of single storey outbuilding; alterations to fenestration including insertion of 2x rooflights in main roof and creation of door access to newly created bow terrace at 3rd floor level; raised masonry balustrade to bow terrace; removal of glazed cover above front area and installation of new metal balustrade; alterations to rear terraces; removal of balustrade on crown roof; replacement windows; various internal alterations at all levels. All in association with conversion of 2x self-contained dwellings (No. 7 and 7B) to form a single dwelling. Approved

7A THE GROVE

2010/6683/L

01-02-2011

Works in association with internal and external alterations including erection of part single, part two storey side extension as replacement of existing single-storey side extension.

Granted

2010/6677/P

01-02-2011

Erection of part single, part two storey side extension as replacement for single-storey side extension to self-contained flat (Class C3).

Granted

2010/4700/L

16-09-2010

Internal and external works associated with the erection of part single part double story side extension as replacement of existing single- story side extension to residential flat (Class C3)

Withdrawn

2010/4681/P

16-09-2010

Erection of part single, part double story side extension as replacement for single-story side extension to self-contained flat (Class C3).

Withdrawn

8970466

08-06-1989

Demolition of existing ground level garage and pantry side extension.*(plans submitted)

Withdrawn

Drawings available

8903384

08-06-1989

Extension and alterations and change of use to separate residential unit.*(revised plans submitted)

Withdrawn

No documents

3.3 Consultation

Pre-application comment ref 2022/2903/PRE was provided by Camden date 6th October 2022 for similar proposals. The following responses are made to advice and requests received, set out below in italics:

RAILINGS

The formal application should provide full details of the new railings . . . to negate the need for conditions if permission /consent is granted

It was subsequently agreed that the detail of the new railings would be conditioned to an approval.

TERRACE STEPS

Officers . . . consider that the steps from the terrace into the garden should remain aligned with the original rear door, focussing on the historic access through the house and into the garden.

The existing steps have been relocated to a position aligned with the original rear door, and new steps added to fulfil the desire for steps on the new axis of the kitchen/ dining room.

OUTBUILDING

The use of accoya wood boarding and a zinc roof [in the outbuilding] is considered to be acceptable. As above, you are advised to provide final details of the facing materials as part of the formal application it will negate the need for a condition to that effect.

Details are provided for approval.

SWIMMING POOL

. . . in determining proposals for basements and other underground development . . . a Basement Impact Assessment (BIA) would be required, in order for the Council to fully understand the impacts on drainage, flooding, groundwater conditions and structural stability etc.

A BIA has been prepared by eHRW on the basis of site investigations undertaken by GEA.

If the proposals include any plant, the formal planning application should be accompanied by a Noise Impact Assessment.

A survey and impact assessment is provided by Emtec.

POOL HOUSE

Officers . . . have concerns about the relationship between the pool house and the brick arch feature and also the relationship between the boundary wall and the pool house. Further work is needed to ensure a satisfactory relationship with the brick arch (i.e. how the two join together) and the listed wall (i.e. avoiding an awkward gap).

The northern boundary wall is shown above to be of least significance and is to be reconstructed to form the rear wall of the pool house: a box gutter at the boundary means that the pool house is not visible from the garden of no. 8 The Grove.

Whilst the brick arch feature is also a modern reconstruction, it is proposed to incorporate the brickwork, including the northernmost arch into the eastern wall of the pool house. Where this requires the reconstruction of any existing brickwork then modern brickwork will be replaced with salvaged London stocks and constructed with lime mortar.

CONSTRUCTION DISRUPTION

Measures to reduce the impact of construction works should be outlined in a draft Construction Management Plan (CMP) . . . which [also] addresses the removal of demolition debris from the site (as a result of excavation) and the delivery of construction equipment and materials.

A draft CMP has been prepared by Tom Stuart-Smith with Lisa Shell Architects

PLANTING

Full replacement planting details have not been provided as part of the pre-app and will be required as part of any formal application. You are encouraged to consider more native species.

With reference to the landscape architect's submission, details of planting are provided including a wide range of native species.

3.4 Use

The use of the landscaped garden will not alter the domestic character of the property. It should be noted that both neighbouring properties at no.s 5 and 8 The Grove include swimming pools and ancillary accommodation to the rear of their gardens.

3.5 Layout, Privacy and Loss of Light

The extended terrace does not alter the views from, or visibility of, the terrace to any significant degree such that it might affect the enjoyment of privacy from the adjacent properties.

The proposed outbuildings – the garden store, pool house, and various sheds—are of such a modest scale that they do not impact on the light received by

adjacent properties. The rear wall to the pool house rises only 400mm higher than the existing boundary wall along a length of 5.4m within a garden of almost 90m in length.

3.6 Amenity

The already generous amenity provided to no. 7 The Grove will be improved as a result of the landscape proposals

3.7 Parking and cycle storage

There will be no alterations to car parking spaces as a result of the proposals. Parking spaces are provided on the east side of the Grove, controlled between the hours of 10am and 12 noon when residents permits are required.

The proposed bike shed outbuilding to the rear of the house will provide convenient secure and covered storage for at least four cycles and accessories.

3.8 Refuse

Bins and recycling boxes will be stored within the new outbuilding, within easy access of the back door and new kitchen/ dining room. These will be transferred to the front of the house for collection.

3.9 Trees

Tree works are detailed within the landscape architect's submission which is supported by the arb consultant's report. Consideration of the hornbeam's RPA within the proposal to extend the terrace and construct the outbuilding are noted above and are not considered a risk to the health of the tree.

3.10 Flood risk and Sustainable Drainage strategy

With reference to Environment Agency maps, the subject property is within Flood Risk Zone 1 and it is also at very low risk of flooding from surface water. As such a Flood Risk Assessment is not required.

It is proposed to build in a rainwater harvesting tank of approximately 3000l capacity beneath the new extended terrace, to receive the surface water from the rear half of the existing main roofs, amounting to an area of approximately 89m². Any volume that exceeds that required to serve toilets and the washing machine within the house, will be used for garden irrigation.

This provision will result in some reduction in the impact of surface water on the sewers.

Levels permit a below ground drainage connection from the Pool House to the main sewer to serve the wc; grey water arising from the shower and sink will discharge to a soakaway, location, size and depth to be determined.

3.11 Access

Accessibility as a result of the landscape proposals is affected as follows:

TO THE DWELLING

There are no alterations proposed to the existing access arrangements to the dwelling. Parking is available adjacent to the boundary of the property. The existing boundary gates are wide and there are no steps to navigate to reach the front door.

INTO THE DWELLING

There are no alterations proposed to the existing access arrangements into the dwelling at ground floor level. A new back door into the extension approved under 2021/3374/P and 2021/3891/L provides optional access, although the levels mean that a step is required at the end of the side passage.

The new front external staircase will comply with current building regulations where the existing staircase does not, and so it will provide improved access to the basement entrance.

INTO THE GARDEN

The existing door from the Rear Hall in the Original House remains unaltered. New glazed doors approved under 2021/3374/P and 2021/3891/L with a level threshold and opening width of approximately 1m are provided from the Kitchen/ dining onto the enlarged House Terrace.

WITHIN THE GARDEN

The terraces are increased in area to allow for easy circulation and use of garden furniture. All new steps within the garden will comply with building regulations in terms of going, rise and gradient. Paths will be not be excessively steep in pitch and will be smooth and even. The threshold to the Pool House accommodation will be level, although those to other outbuildings will involve a change in level where a raised floor is required to avoid damage to adjacent tree roots. The swimming pool includes shallow gradient and generous entry steps for easy access.

3.12 Construction impact

A draft CMP based on Camden's proforma, is provided setting out strategies for the removal of demolition debris from the site (as a result of excavation) and the delivery of construction equipment and materials to minimise the impact of the construction on the environment, immediate neighbours and the neighbourhood.

4 SUSTAINABILITY, BIODIVERSITY AND ECOLOGY

4.1 Fabric

The pool house, in particular the sauna, changing and wc areas will be heated and so will be provided with suitably well insulated fabric to reduce heating load and carbon emissions.

All new outbuildings will be constructed using materials of low embodied carbon, including timber structures, framing and cladding, brickwork and wood fibre insulation. Roofs will be finished in single ply rubber membranes or zinc sheeting as appropriate.

Generally paving and walling materials will be sourced on site and where supplementary material is required this will be salvaged.

Low impact choices will be made where available in relation to the construction of the swimming pool. Consideration of the use of a reinforced concrete retaining structure, and transportation of spoil off site will minimise harm to the environment.

4.2 Heating and hot water

Efficient electric-only infra-red heating will be provided to the Pool House by way of IR foils; these offer quick response removing the need for heating fabric unnecessarily. Electric instant hot water will also minimise waste.

The heating of the pool water will be by way of an efficient air source heat pump, and will be part of the pool specialists design package. A specialist noise level survey has been undertaken and impact assessment provided.

4.3 Water

The capacity/ demand of sanitary fittings within the Pool House will comply with current building regulations.

4.4 Biodiversity and ecology

As set out in the landscape architects submission, the planting of the garden will be rejuvenated, including an increase in native species, to support its ecology, resulting in a significant increase in biodiversity.

4.5 Quality and workmanship

The high value of the existing property and the investment into the refurbishment which is currently underway, also allows the owner to invest in high quality services from consultants and contractors to carry out the landscape works to enable the long term enjoyment and continued survival of this interesting house.

5 SUMMARY

The proposed landscape works have been shown to respect the heritage of the grade II listed property and its curtilage, preserve important trees and features, whilst improving amenity and supporting biodiversity. The proposals do not put at risk nor impact on the enjoyment of neighbouring properties, and choices are made to minimise environmental harm through undue carbon emissions in construction and use.