



# 19 Ariel Road

Design & Access Statement  
January 2023

# Project details



## **Client property address:**

19 Ariel Road  
Camden  
London  
NW6 2EA

## **Resi address:**

6 Canterbury Crescent, SW9 7QE,  
London Borough of Lambeth

## **Resi Contact:**

0208 068 4811  
[planning@resi.co.uk](mailto:planning@resi.co.uk)

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# Introduction & context

## **Description of proposed works**

Proposed ground floor side infill, facade alterations, internal alterations, floor plan redesign and all associated works at 19 Ariel Road.

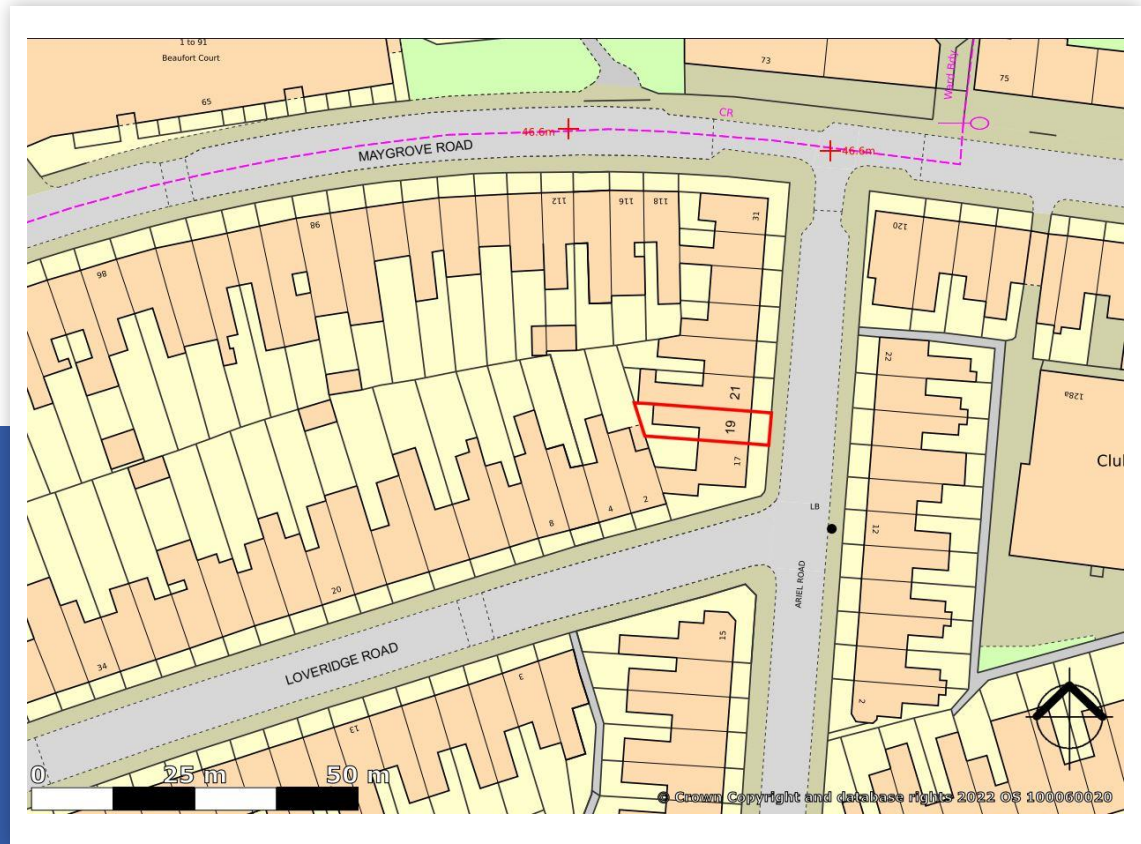
## **Introduction**

Resi has prepared this Design and Access Statement on behalf of the applicant. It has been produced to support a planning application for a proposed development at 19 Ariel Road.

The purpose of this document is to ensure that the Local Planning Authority has a proper understanding of the proposed work.

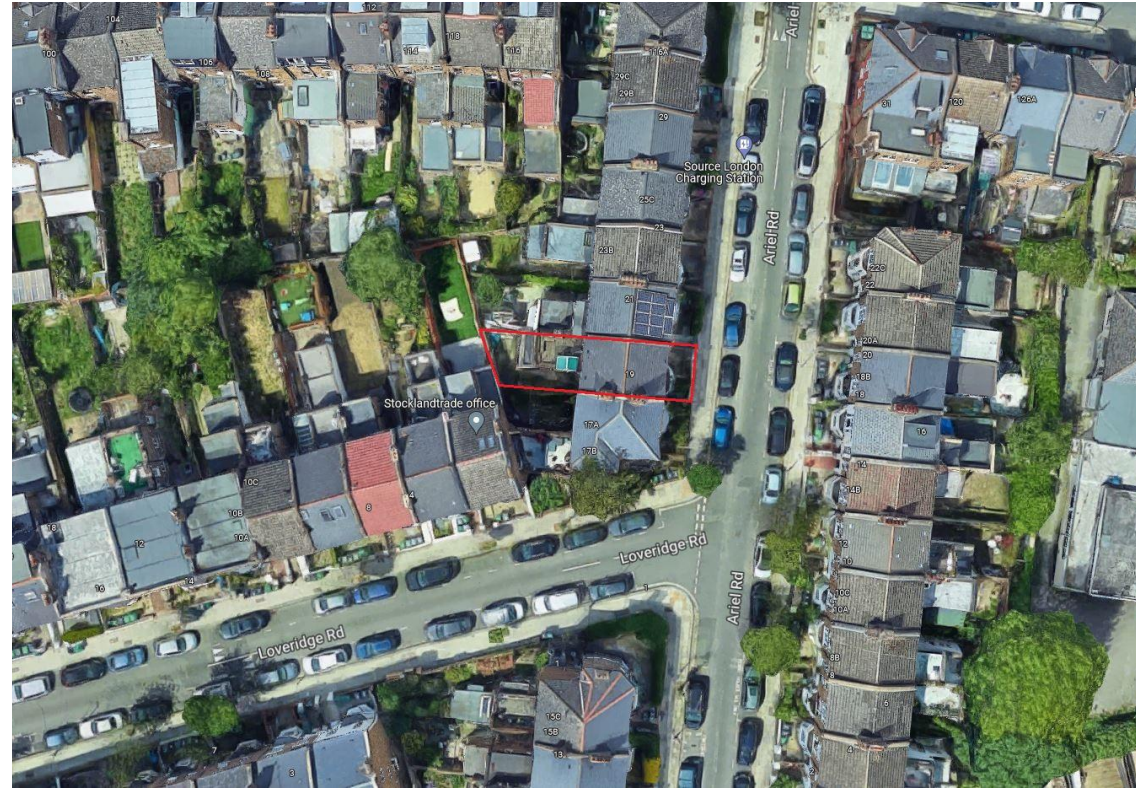
# Site analysis

## 2.1 Location plan



# Site analysis

## 2.2 Site view





# Site analysis

## 2.3 Existing photographs



Front view



Rear and Side view



# Site analysis

## 2.3 Existing photographs



Rear View



Terrace view - Neighbouring terraces



# Site analysis

## 2.3 Existing photographs



Rear View - No. 21 Neighbour

# Site analysis

## 2.3 Existing photographs

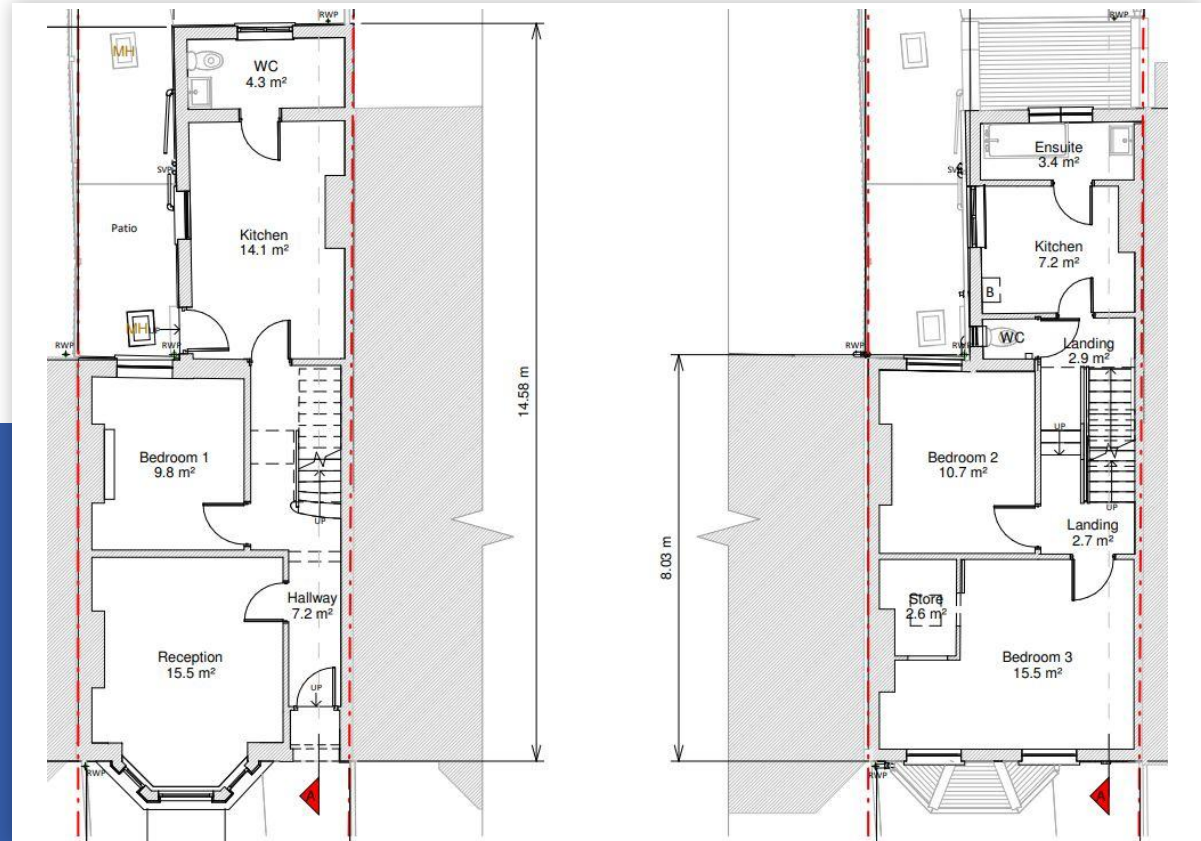


Rear View - No.s 2, 4, 6, 8 Loveridge Road

# Site analysis

## 2.4 Existing plans

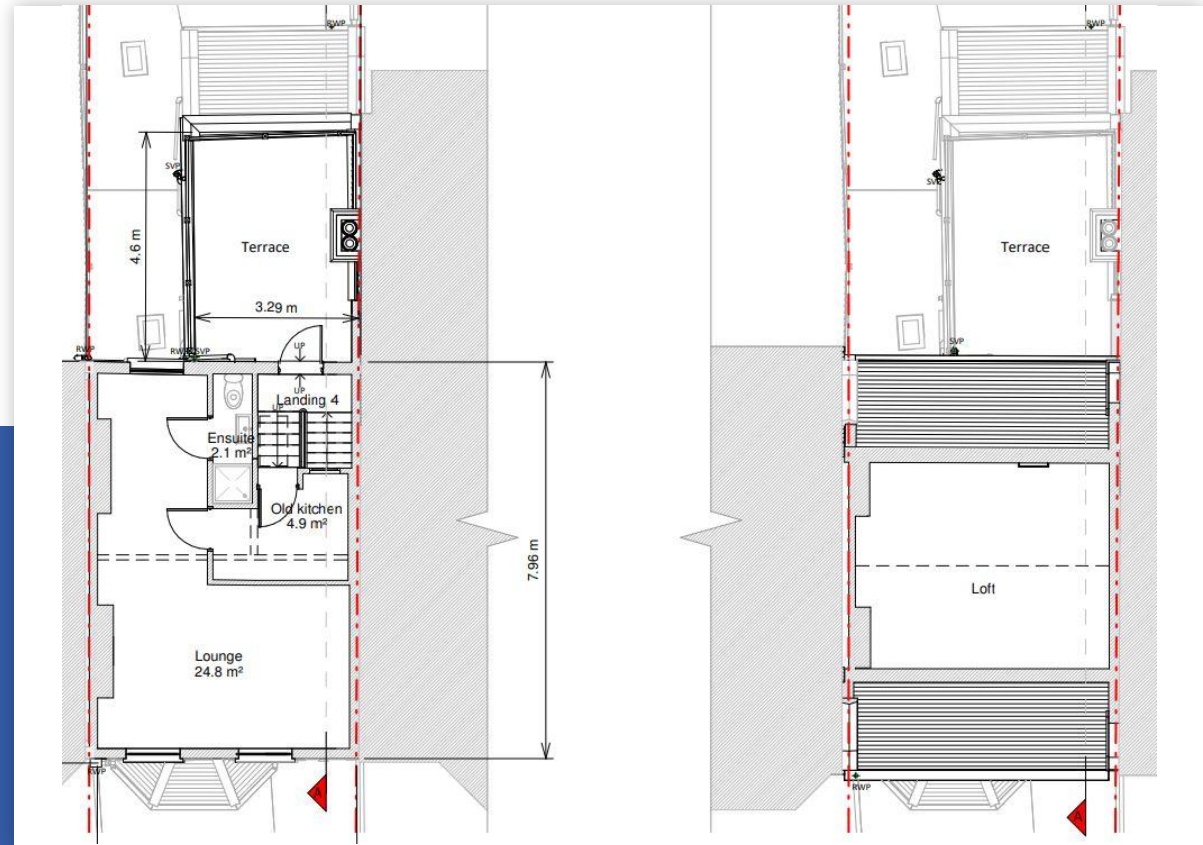
### Ground and First floor plans



# Site analysis

## 2.4 Existing plans

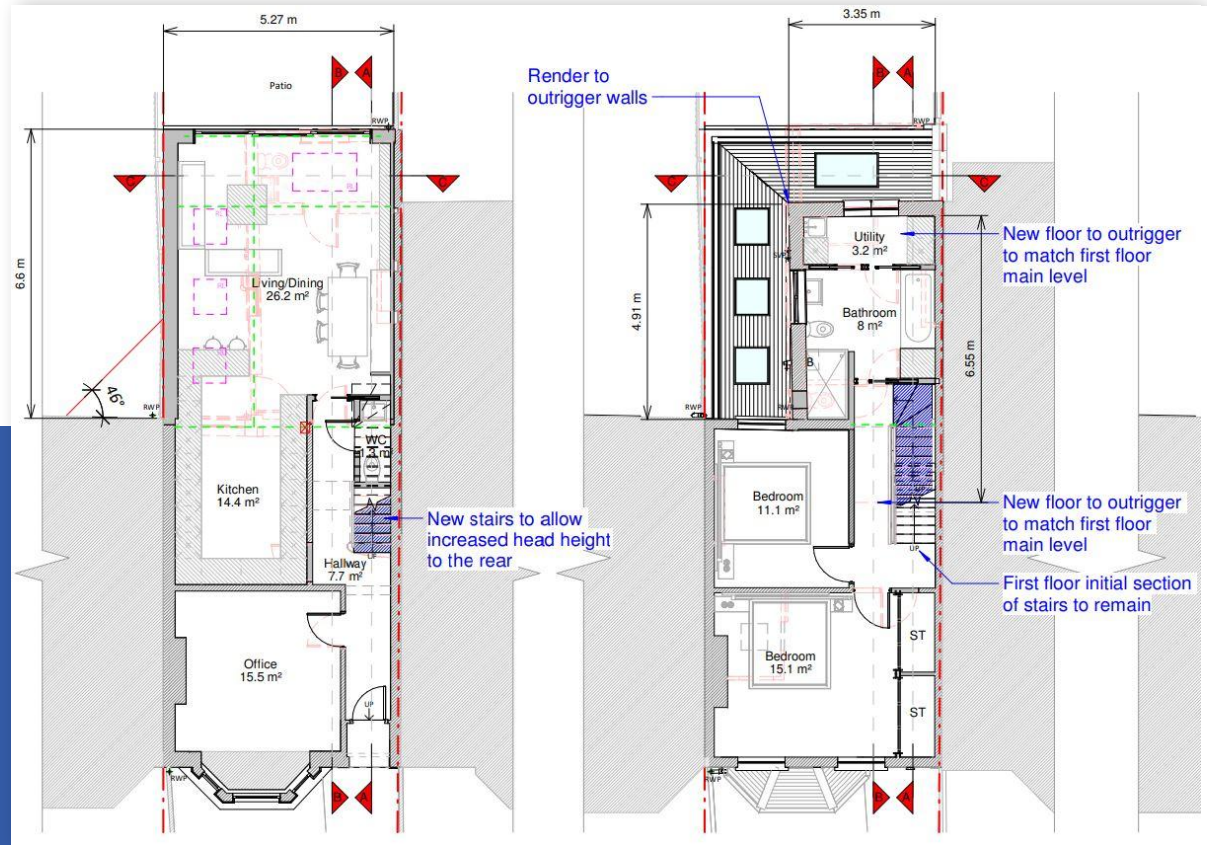
### Second and Loft floor plans





# Site analysis

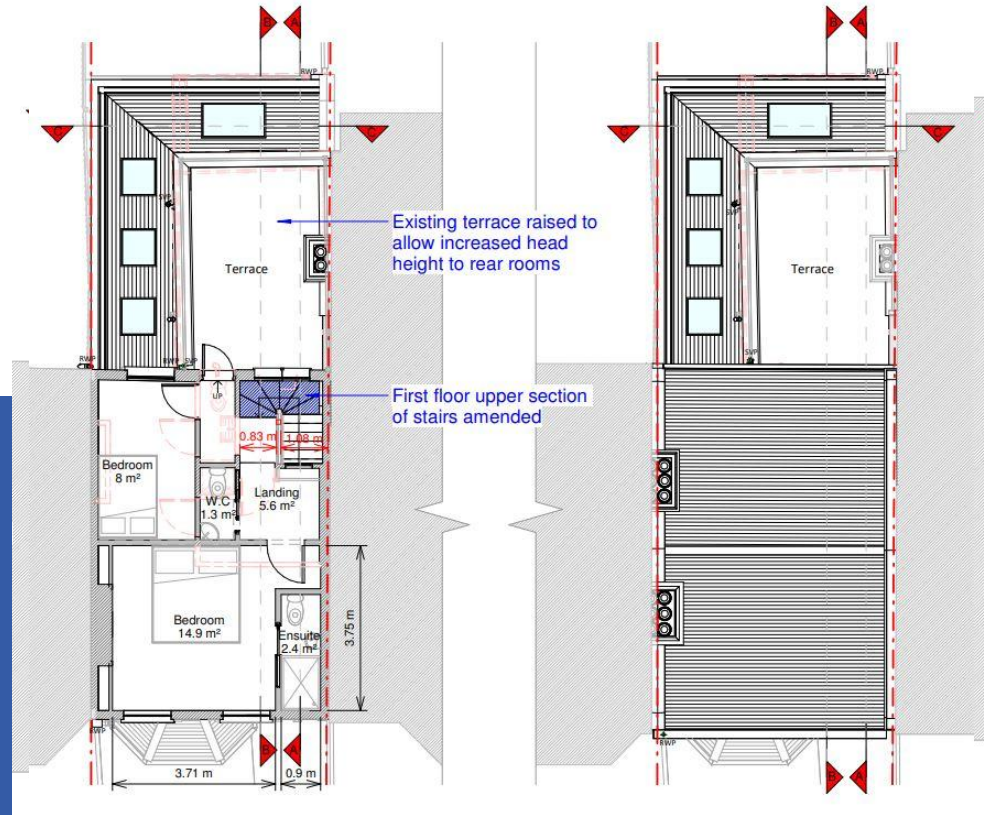
## 2.5 Proposed plans





# Site analysis

## 2.5 Proposed plans



# Site analysis

## 2.6 Local precedents

A number of properties have been extended at roof level and over the outrigger section, in most cases to provide additional outdoor space amenity by creating roof terraces, at first and second floor levels.

### **2022/2740/P** - 77 Iverson Road London NW6 2QY

Alterations to the rear roof to create a roof terrace on the second floor including installation of associated balustrade.

### **2019/6041/P** - Flats 1st and 2nd And 3rd Floor 164 Iverson Road London NW6 2HH

Alterations to rear extension including erection of parapet and screen, and changing window to door, all in association with creating rear roof terrace at 2nd floor. Insertion of side window at 1st floor.

# Site analysis

## 2.6 Local precedents

A number of properties have been extended at roof level and over the outrigger section, in most cases to provide additional outdoor space amenity by creating roof terraces, at first and second floor levels.

**2019/4559/P** - Flat 21 163 Iverson Road London NW6 2RB  
Variation of condition 3 (approved plans) of planning permission 2018/6278/P for 'Enlargement of balcony into a private roof terrace with glazed balustrade and privacy screen' granted 31/05/2019, namely to install a hot tub on the existing roof terrace.

**2018/6278/P** - Flat 21, 163 Iverson Road London NW6 2RB  
Enlargement of balcony into a private roof terrace with glazed balustrade and privacy screen.

# Site analysis

## 2.6 Local precedents

A number of properties have been extended at roof level and over the outrigger section, in most cases to provide additional outdoor space amenity by creating roof terraces, at first and second floor levels.

### **2017/3273/P** - 136B Iverson Road London NW6 2HH

Erection of a part single, part double storey rear extension with roof terrace at first floor level to flat (class C3).

### **2017/1820/P** - 154 Flat 3 Iverson Road London NW6 2HH

Details of third floor balcony screen and balustrade, as required by condition 3 of planning permission ref 2016/3431/P (dated 08/08/2016) for alterations to rear roofslope for the installation of door providing access to proposed roof terrace at third floor level enclosed by new balustrade (Class C3).

# Site analysis

## 2.6 Local precedents

A number of properties have been extended at roof level and over the outrigger section, in most cases to provide additional outdoor space amenity by creating roof terraces, at first and second floor levels.

**2016/6650/P** - Flat C 160 Iverson Road London NW6 2HH  
Creation of second floor roof terrace to the rear of the existing house (Class C3).

**2016/4736/P** - Flat C 24 Iverson Road London NW6 2HE  
Details of privacy screen and terrace railings required by condition 5 of planning permission 2015/3892/P dated 14/08/2015 for the installation of 2 front rooflights, erection of rear dormer roof extension, insertion of door on second floor rear elevation and use of second floor rear roof area as terrace.



# Site analysis

## 2.6 Local precedents

A number of properties have been extended at roof level and over the outrigger section, in most cases to provide additional outdoor space amenity by creating roof terraces, at first and second floor levels.

**2016/5740/P** - Flat B 162 Maygrove Road NW6 2EP  
Erection of a rear dormer window, installation of 2x rooflights to front roof slope and formation of a second floor roof terrace to first floor flat.

**2007/1908/P** - Flat 3 94 Maygrove Road NW6 2ED  
Erection of dormers and inset roof terrace on rear roofslope plus installation of rooflights on front roofslope to provide additional accommodation for 2nd floor flat.

# Site analysis

## 2.6 Local precedents

A number of properties have been extended at roof level and over the outrigger section, in most cases to provide additional outdoor space amenity by creating roof terraces, at first and second floor levels.

### **2006/0146/P** - Flat 3, 41 Maygrove Road NW6 2EE

Formation of a roof terrace on existing rear flat roof of back addition, including the erection of railings and enlargement of window opening to give access to the top floor maisonette.

### **2003/1530/P** - 1 Ariel Road NW6 2DX

Change of use of single dwelling house into 3 x self-contained flats including the erection of a single storey rear extension, bay window extension to the side, installation of 2 dormer windows to rear roof slope, two rooflights to the front roof slope and the creation of a terrace to the rear at second floor level.

# General arrangement drawings

## 3.1 Notes and considerations

### **Considerations**

#### Access and transport

Access to the property is to remain unchanged.

#### Light and overshadowing

There will be no impact on the neighbours.

#### Privacy

There will be no impact on the neighbours' privacy.

#### Trees or shrubs

There will be no impact to trees or shrubs.

# General arrangement drawings

## 3.2 Existing materials

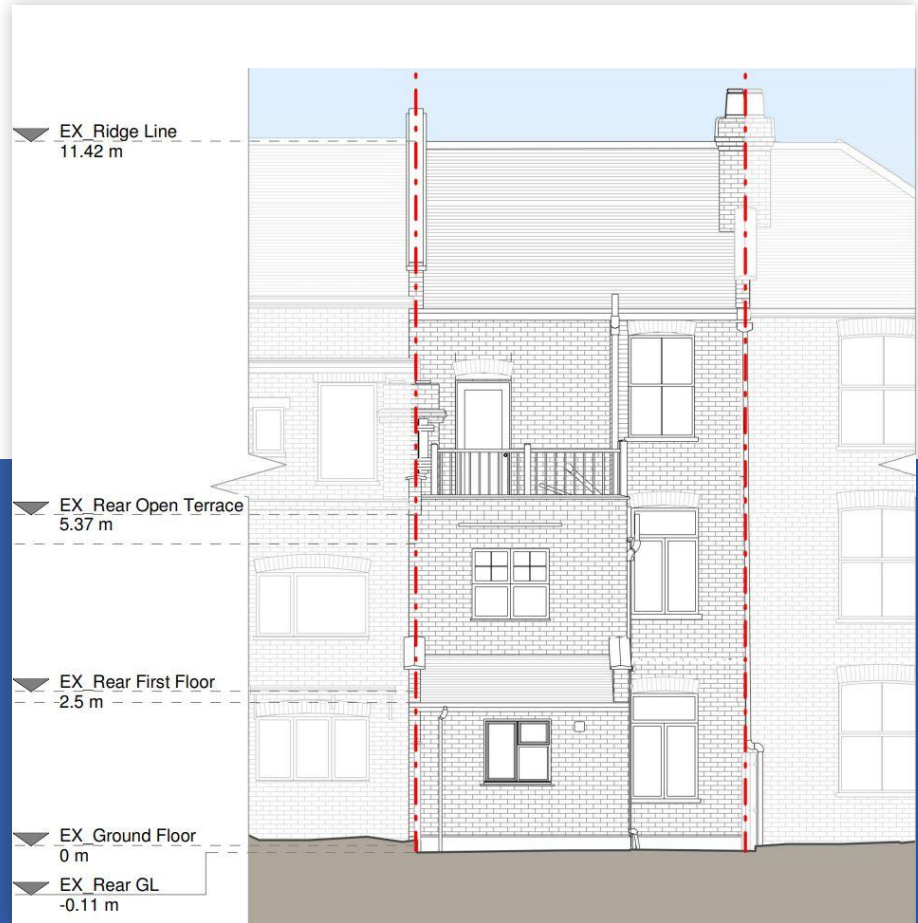
**Brickwork / Walls** - Red brickwork, London stock yellow brickwork and white painted render

**Pitched roof** - Slate roof tiles

**Windows** - White uPVC frame casement and white painted timber frame sash windows

**Doors** - Red painted timber frame door and white painted timber frame / uPVC glazed doors

**RWPs / Gutters / Fascias** - Black painted uPVC downpipes, guttering and fascias, and cast iron downpipes



# General arrangement drawings

## 3.3 Proposed materials

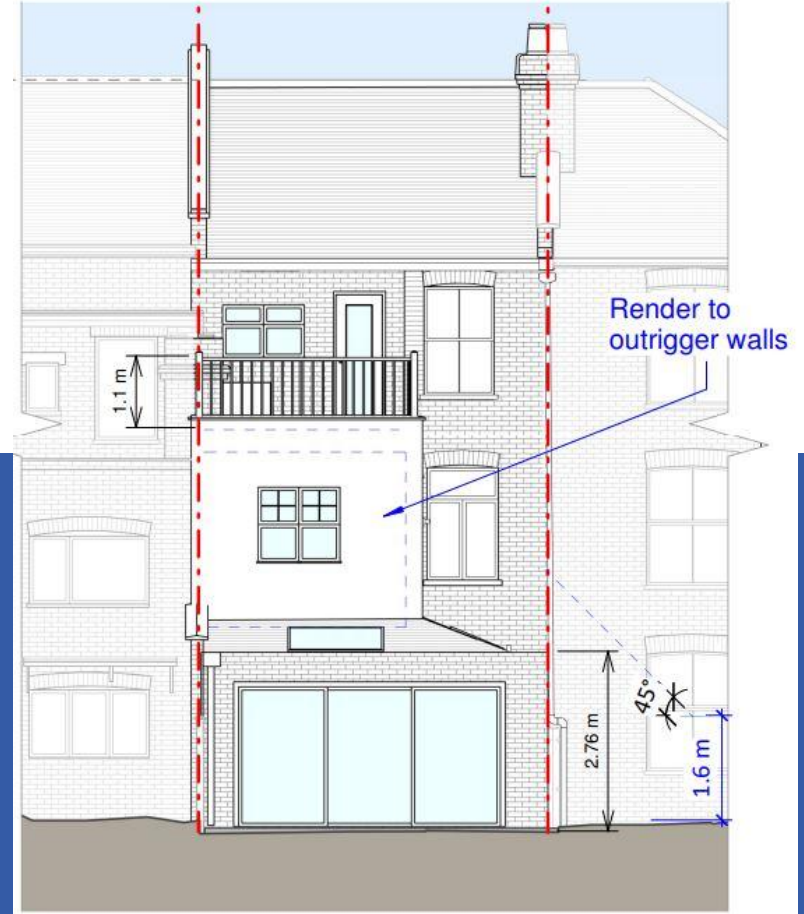
**Brickwork / Walls** - London yellow stock brickwork and white painted render to match existing

**Pitched roof** - Slate roof tiles to match existing

**Windows** - White uPVC frame casement windows to match existing and aluminium rooflights

**Doors** - Black painted aluminium glazed doors and white uPVC glazed door to match existing

**RWP's / Gutter's / Fascia's** - Black painted uPVC downpipes, guttering and fascias to match existing





# Our conclusion

Our proposal at 19 Ariel Road compliments the building, does not impact on neighbour's amenity and it does not affect the streetscape. The plans utilise the site to its full potential without any adverse effects upon the neighbours or the area and vastly improves the character and composition of the existing dwelling.

All materials to be of a high quality and durable, so the aging of the materials integrates with the existing building, and creating a positive impact on the surrounding landscape.

The proposal responds to the scale, proportions, height, historic building lines, the pattern of historic development, design, detailing and materials of the existing building and local area.

The design has been carefully outlined to comply with all planning guidelines, and according to local supplementary planning documentation for the design.