

Hurst Peirce + Malcolm LLP
 CONSULTING CIVIL & STRUCTURAL ENGINEERS

Chester Terrace Retaining Wall and Balustrade
Method Statement (REV01)



Project No. 24509/JRH/DMC
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INTRODUCTION

- This Method Statement has been prepared to support the application for the proposed alterations at:

Chester Terrace, Regent’s Park, London, NW1 4ND.

- The application seeks permission to conduct structural remedial works to a retaining wall and replacement of a balustrade that sits on the retaining wall.
- This document is to be read in conjunction with the following supplementary documentation:
 - Heritage and Design Statement (by Philip Davies [Heritage and Planning] Ltd.).
 - Arboricultural Report (by Tima Moya Associates).
 - Landscape and Arboricultural Heritage Report (Todd Longstaffe-Gowan Landscape).
 - Design and Access Statement (by Hurst, Peirce and Malcolm).
 - Structural Drawings (by Hurst, Peirce and Malcolm).



General View from Road Side of Balustrade



General View from Garden Side of Balustrade

LOCATION

Camden Town Tube Station

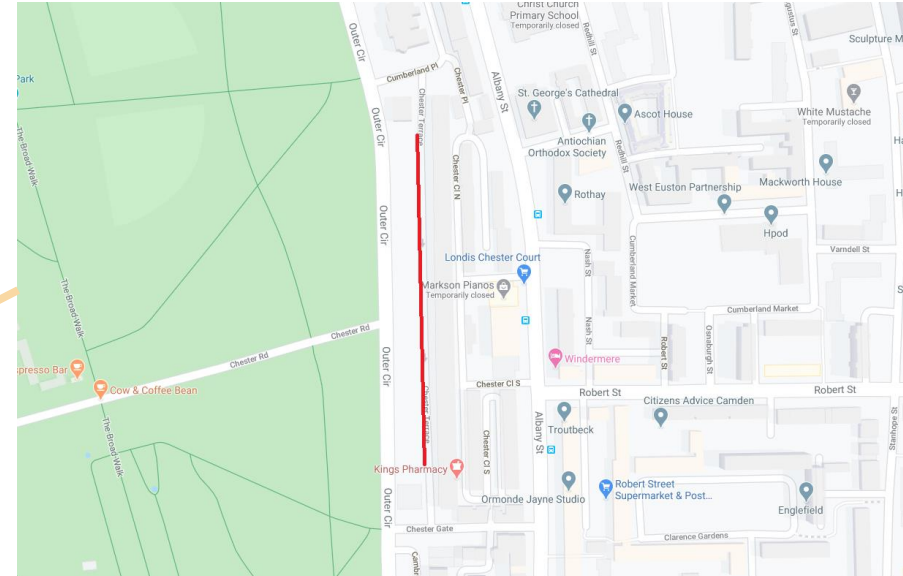


Baker Street Station

Regent's Park Tube Station

Great Portland Street Tube Station

Aerial View of Regent's Park



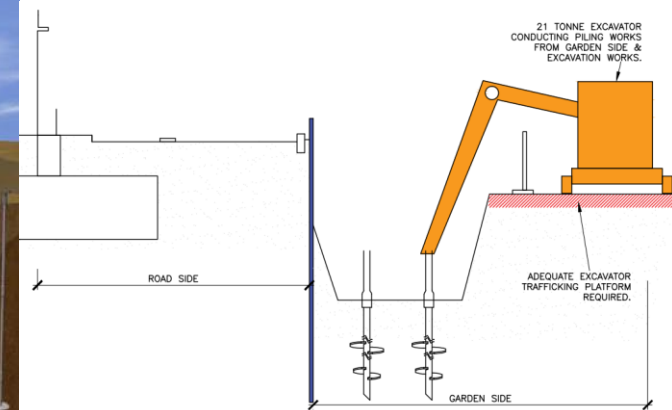
Location of Chester Terrace (highlighted)

METHOD STATEMENT SUMMARY AND KEY ELEMENTS

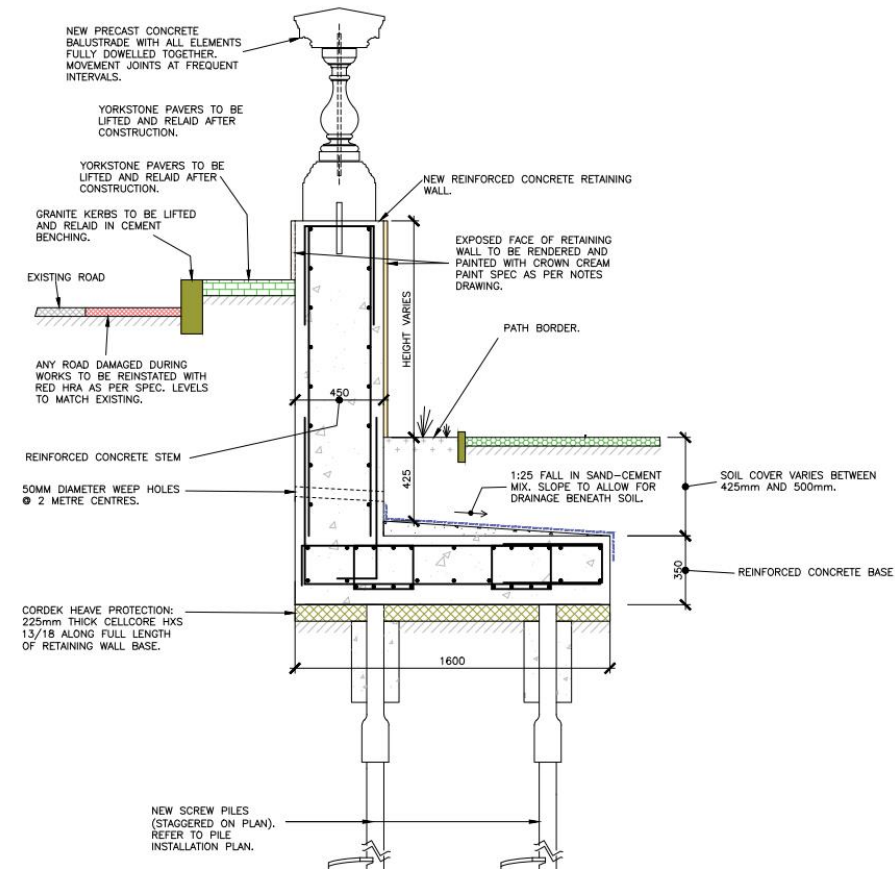
- The scope of the project is to “eliminate the issues of ongoing movement to wall/foundations and balustrade in an efficient manner and in a style appropriate to the high heritage value of the area”.
- This application seeks permission to replace the existing, unsafe, retaining wall and balustrade with a new retaining wall and balustrade that are designed to contemporary structural standards. The replaced length of the wall is approximately 215 metres long.
- The replacement will consist of a reinforced concrete retaining wall on a piles. The piles will be steel screw piles.
- A new precast concrete balustrade will be installed on the retaining wall.
- A suggested sequence of construction has been provided for planning shown on drawing 24509-125.
- An access plan showing how equipment will access the site is shown on drawing 24509-201.
- The contractor will propose the sequencing/phasing of the works they deem appropriate. However, Hurst, Peirce + Malcolm, acting principle designer, and the CEPC have completed a similar project on Cumberland Terrace in 2011. Therefore, any guidance on methodology, from lessons learned on the previous project, will be provided.
- Contractor will remove Grade II listed gates and lamp posts and store them in the CEPC yard.
- Preconstruction condition surveys of nearby structures (terraces, walls and coal vaults) will be undertaken.
- A structural engineer will regularly visit and monitor the construction works to ensure the works are being completed correctly.
- An arboricultural specialist will be employed by the contractor and visit site to advise on tree protection, pruning and removal where appropriate.
- Temporary trench sheeting will be installed on the road side to provide a safe means of demolition and excavation.
- Screw piles will be installed by a specialist installation team. They will be installed using a 21 tonne excavator.
- A unexploded ordinance specialist will be employed by the contractor and monitor excavation works (refer to “Health and Safety Factors” within this document).



Visualisation of Excavator Installing Screw Piles



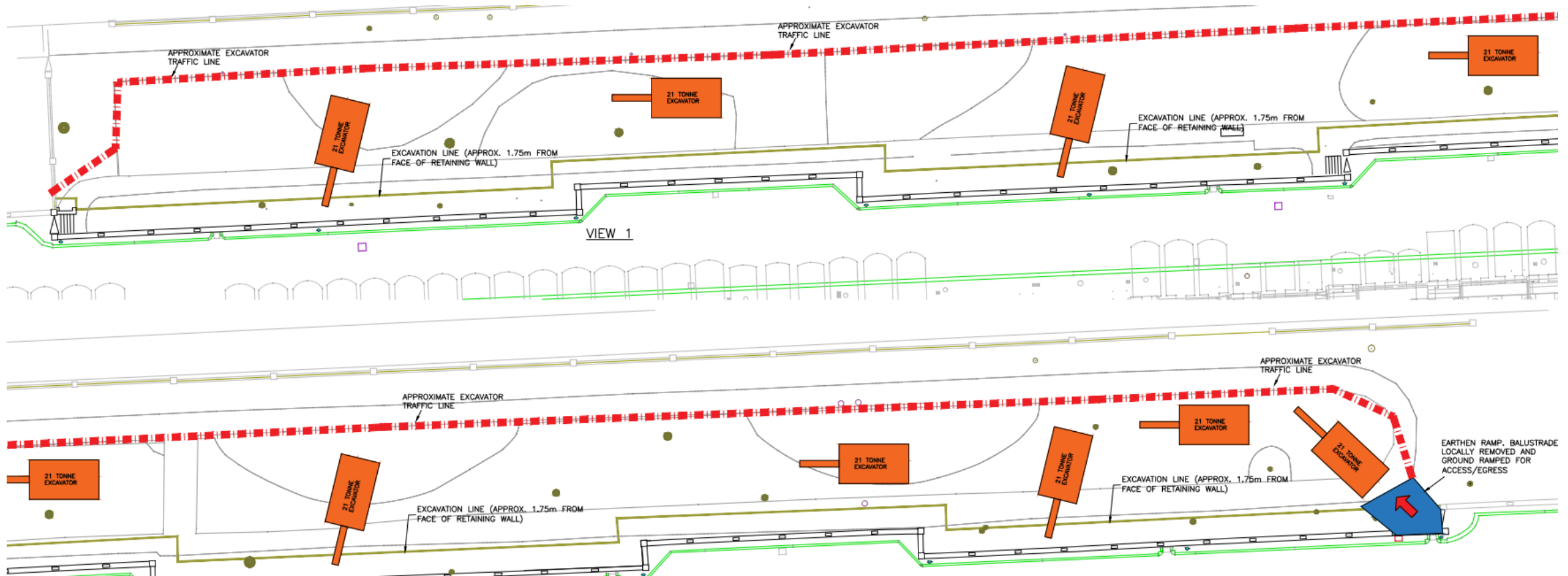
Rough Visualisation Showing Position of Excavator



Proposed Section Through Retaining Wall

CONSTRUCTION ACCESS & CONSIDERATIONS

- An access plan showing how equipment will access the site is shown on drawing 24509-201.
- Access for large construction vehicles onto the Regents Park estate will follow the guidelines for bridge loadings. The contractor will submit a traffic management plan to the CEPC for review prior to construction.
- During the works tracking mats will be laid over the existing road carriageway in order to protect it from any construction vehicle damage. In areas where the road becomes damaged it will be replaced with a matching red tarmac.
- In order to install the screw piles, a piling rig (21 tonne excavator) will need to access the garden. A section of the balustrade will be removed and the ground ramped to allow for the rig to access the garden. Appropriate tree protection measures, as detailed in the Tree Impact Assessment, will be followed in order to mitigate any damage to trees or tree roots.
- The Chester Terrace road is one way (cars enter from north and exit from south).
- The CEPC manage the road usage and parking. During the works any displaced cars from the existing parking spots on the terrace will be relocated to another of the CEPC managed roads around the site.
- The contractor will provide temporary street lighting during the works.
- Safe and clear access for the footpath in front of the terraces will be maintained throughout the works – as this is the primary means of access for the houses on the terrace. The terraces also have back doors onto Chester Terrace Mews – meaning a second means of access is available for emergency vehicles.



Extract of Access Plan

KEY HEALTH AND SAFETY FACTORS

- The works will be completed in line with the Construction Design and Management Regulations 2015 (CDM).
- The contractor will be responsible for the health and safety during the works.
- A CDM compliant pre-tender health and safety document will be issued to contractors by Hurst, Peirce + Malcolm (the principle designers). The list below is not exhaustive but highlights some of the key elements to be included within this document:
 - Excavations to be completed in made ground. Appropriate temporary shoring measures are to be undertaken to protect workers and public.
 - The site has a Unexploded Ordinance Risk of “Medium”. A detailed UXO study is to be undertaken, a UXO specialist will be on site during excavations as well as all site personnel are to have UXO safety awareness talks.
 - Pedestrian access on the house side footpath is to be maintained during works. Provision of appropriate street lighting and hoarding/fencing will be necessary to protect pedestrians. Banksman/traffic supervisors are to be present during works.
 - The site is within a pedestrianised and highly trafficked area of London. Traffic management statements are to be produced by contractor and shared with CEPC and Royal Parks who are responsible for roads around Regents Park. They will review and provide necessary feedback.
 - Precast concrete balustrade component parts will be up to 300kg in weight. Appropriate lifting equipment to be used when installing balustrade.
 - Contractor will be provided with “Waste Classification Investigation” in regards to soil contamination. They will take any appropriate H&S measures dictated by the soil investigation specialist.
 - Works include removal of trees. This is to be undertaken by a qualified tree surgeon with all appropriate safety measures in place.