

DISCHARGE OF CONDITIONS  
20 ETON VILLAS, LONDON

Planning Ref: 2022/0579/L  
New windows, internal staircase and roof renovation

# DISCHARGE OF CONDITIONS - 2022/0579/L

The following document along with the attached drawings shows details and further information of proposed new windows and the proposed roof renovation for the renovation works at 20 Eton Villas.

This document seeks to discharge Condition No. 4 parts A, B & C relating to application ref 2022/0579L:

## Condition No. 4

a) Details including sections at 1:10 of all new windows (including jambs, head and cill), ventilation grills, external doors and gates;

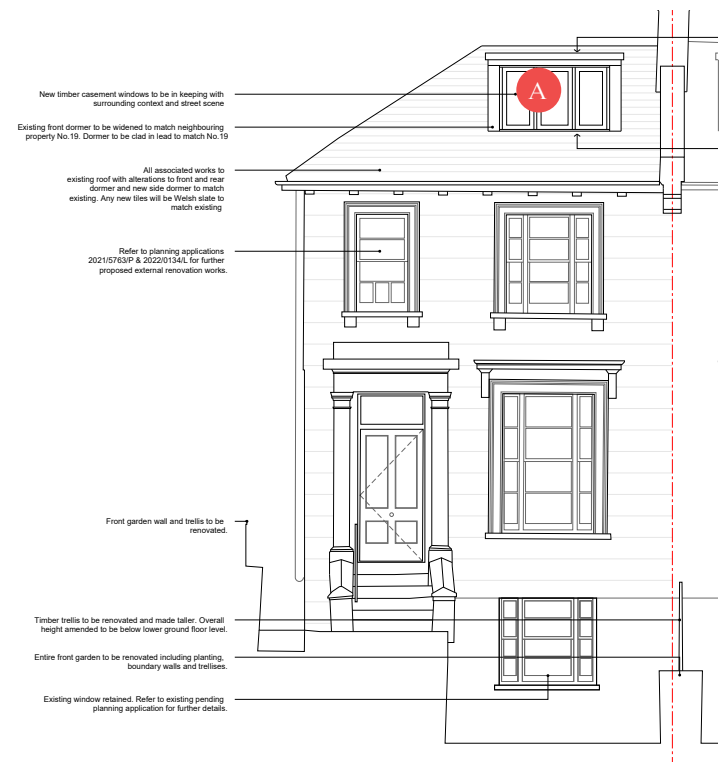
b) Details of the internal staircase;

c) Details of roof renovation at 1:20, 1:50, to include photos of Welsh slate sample or to be sent to the Council offices for review. The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

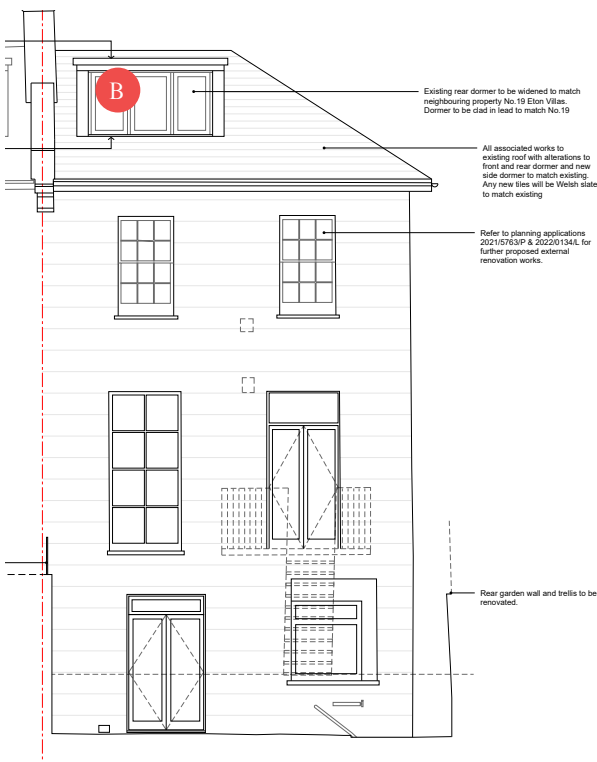
# Condition 4A - Details of all new windows, ventilation grills, external doors and gates

The drawings show the proposed new windows:

- A Front dormer casement window
- B Rear dormer casement window
- C Loft Bathroom Rooflight
- D Loft Staircase Rooflight
- E First floor window
- F Arched window



Front Elevation  
(Planning application drawing 097-A-300)



Rear Elevation  
(Planning application drawing 097-A-302)



Side Elevation  
(Planning application drawing 097-A-301)

Condition 4A - Details of all new windows, ventilation grills, external doors and gates

- A Front dormer casement window
- B Rear dormer casement window
- E First floor window

Supplier: Ventrolla  
Product: Bespoke timber casement window  
Finish/colour: Painted, solid hardwood  
Glazing: Slim 16mm (4/8/4) Double Glazed units, Krypton filled cavity

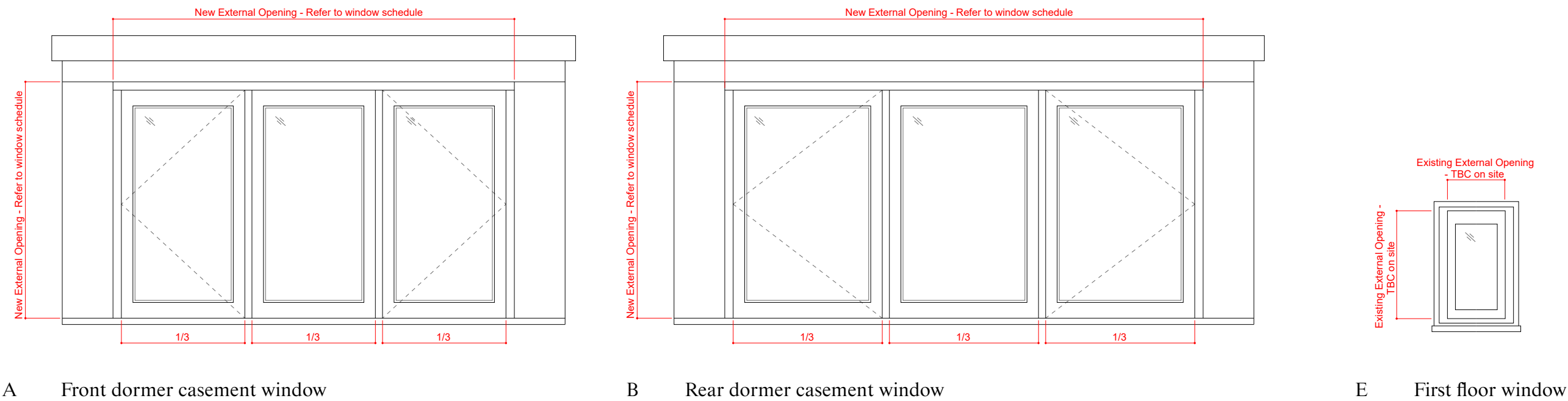


Examples of a Ventrolla bespoke timber casement windows

Condition 4A - Details of all new windows, ventilation grills, external doors and gates

- A Front dormer casement window
- B Rear dormer casement window
- E First floor window

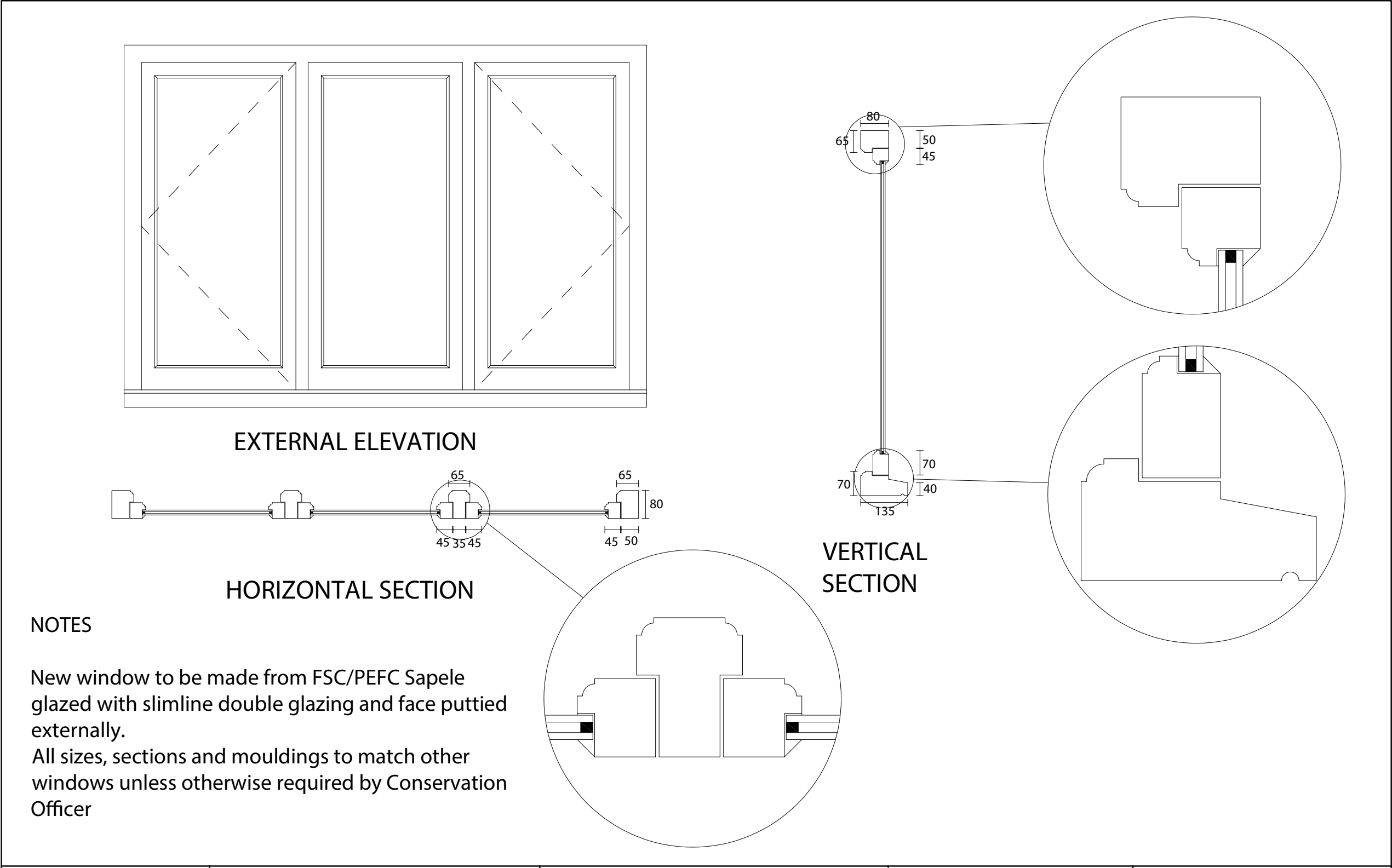
Overview of window elevation (to be adapted to suit site dimensions survey following approval of conditions).



Condition 4A - Details of all new windows, ventilation grills, external doors and gates

- A Front dormer casement window
- B Rear dormer casement window
- E First floor window

Example of window profile section details - to be adapted to suit overall opening dimensions on site



Condition 4A - Details of all new windows, ventilation grills, external doors and gates

C Loft Bathroom Rooflight

Supplier:	Stella Rooflight
Product:	Bespoke Conservation Rooflight. Between the rafter installation
Finish/colour:	Black steel frame (316L Stainless steel)
Glazing:	Outer: Toughened BioClean Natural, self-clean & solar control, Inner: Toughened Planitherm One Low E



External appearance example of a single Stella Conservation Rooflight (refer to p11 elevation for further details)



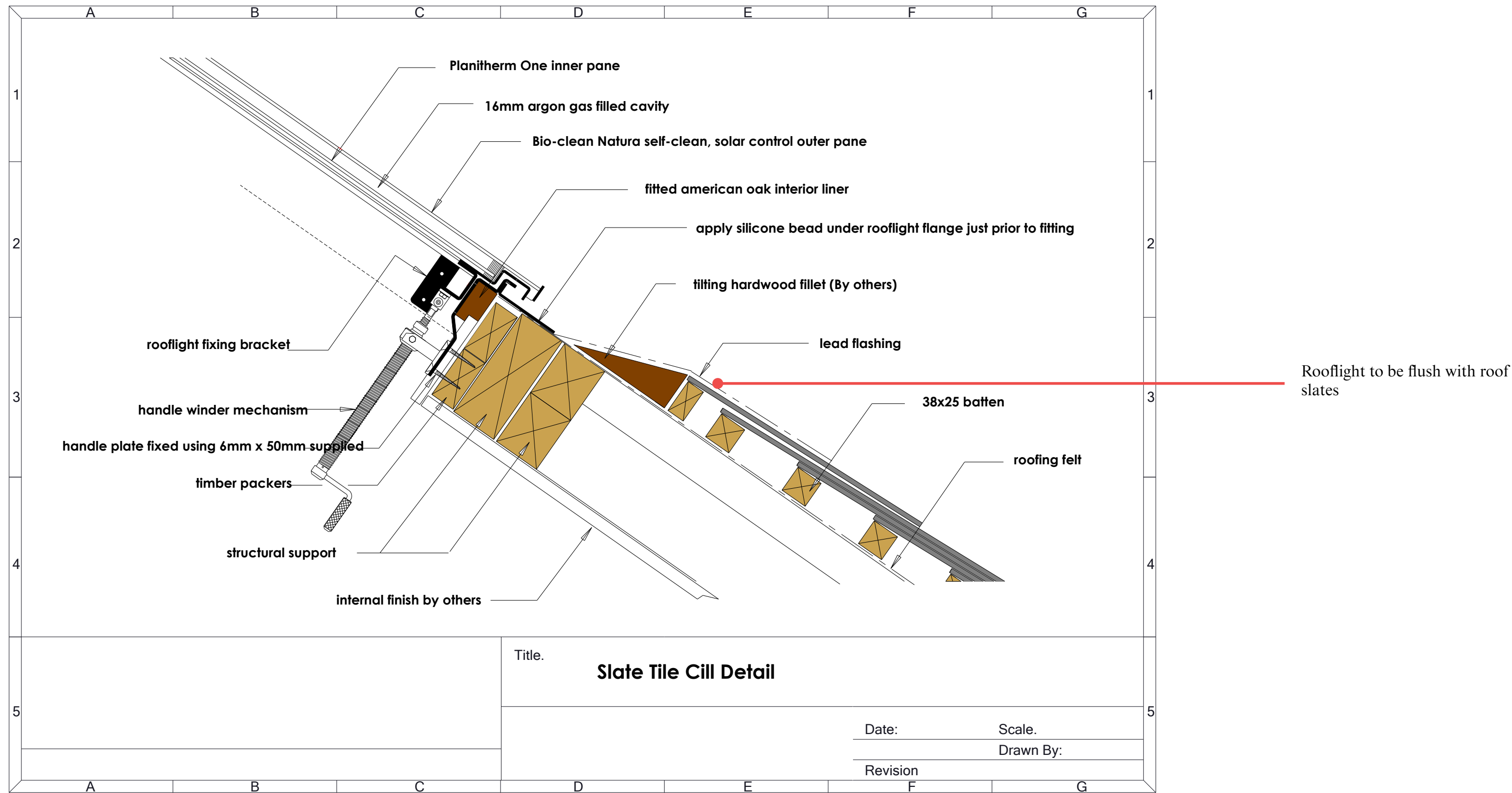
Internal appearance example.

- Existing joists to be retained in these locations between each window casement
- Additional glazing bars not shown in this example



Condition 4A - Details of all new windows, ventilation grills, external doors and gates

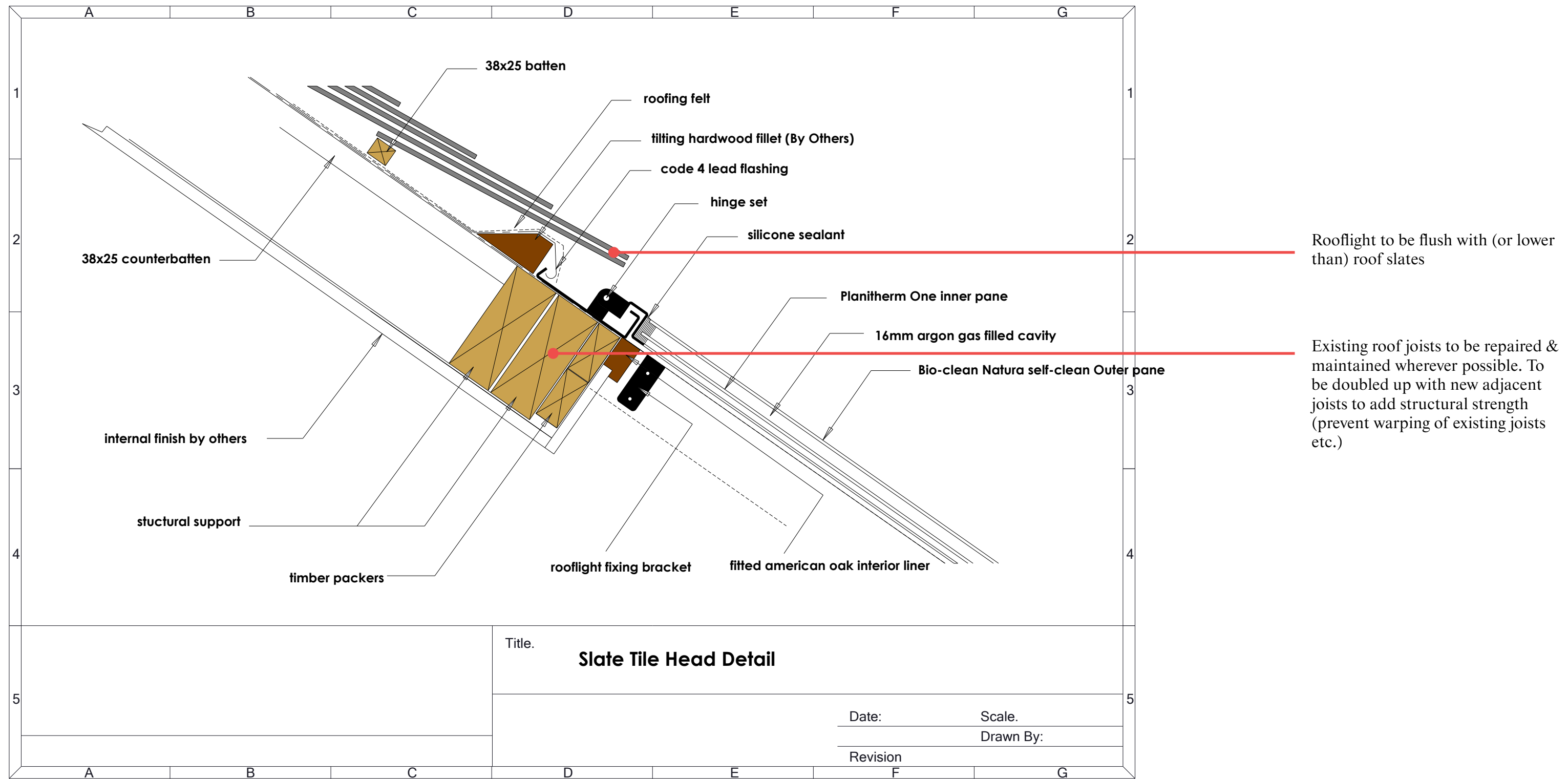
C Loft Bathroom Rooflight - overall section details





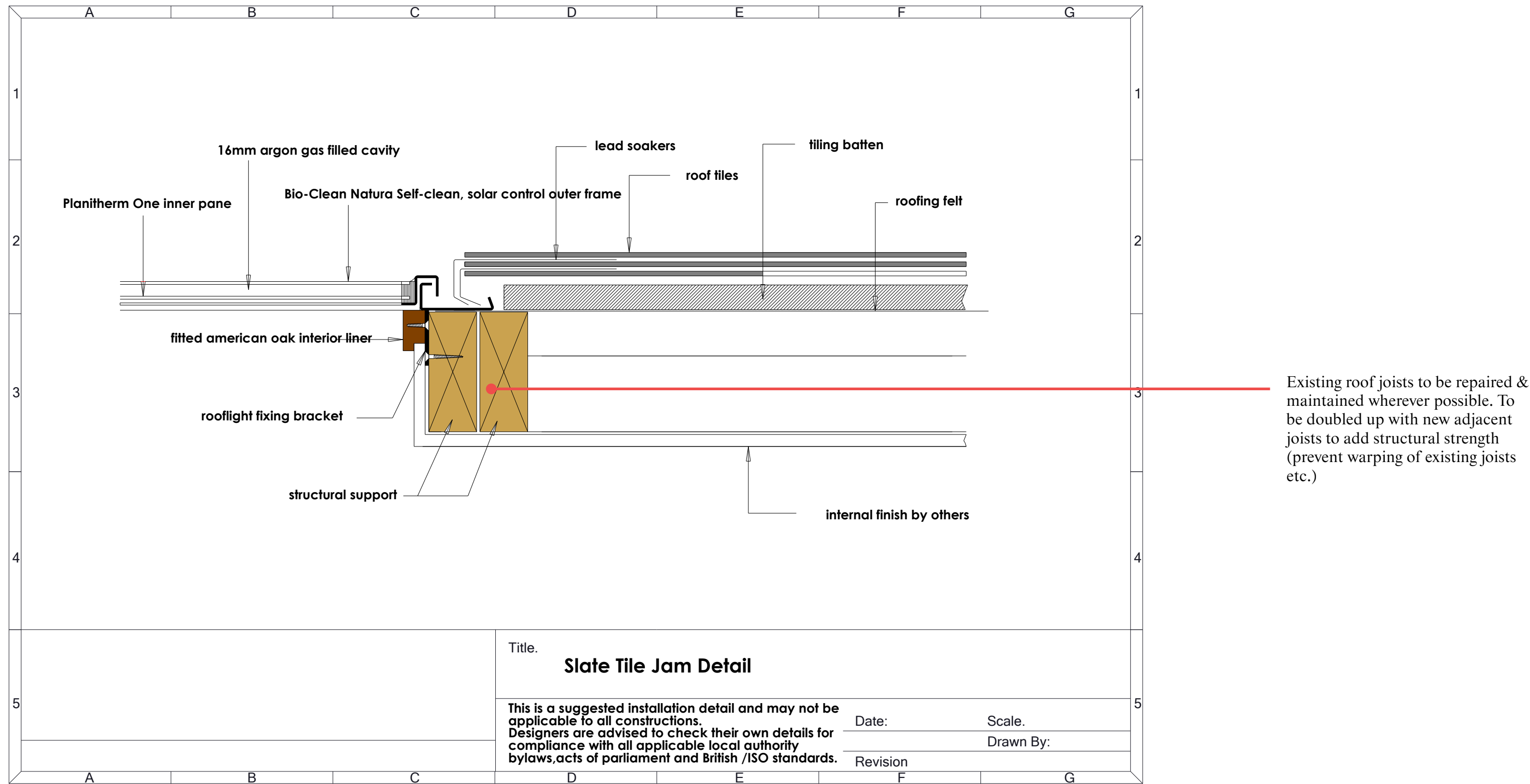
Condition 4A - Details of all new windows, ventilation grills, external doors and gates

C Loft Bathroom Rooflight - overall section details



Condition 4A - Details of all new windows, ventilation grills, external doors and gates

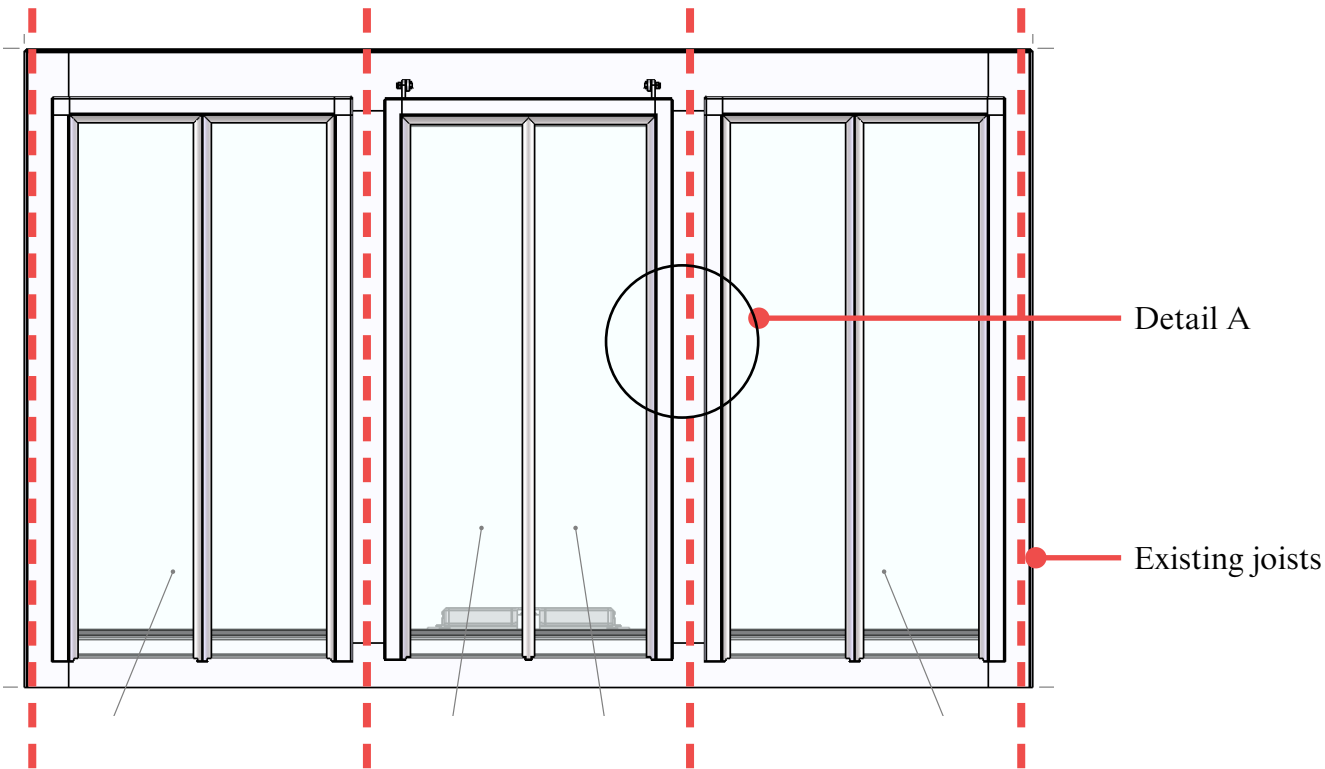
C Loft Bathroom Rooflight - overall section details



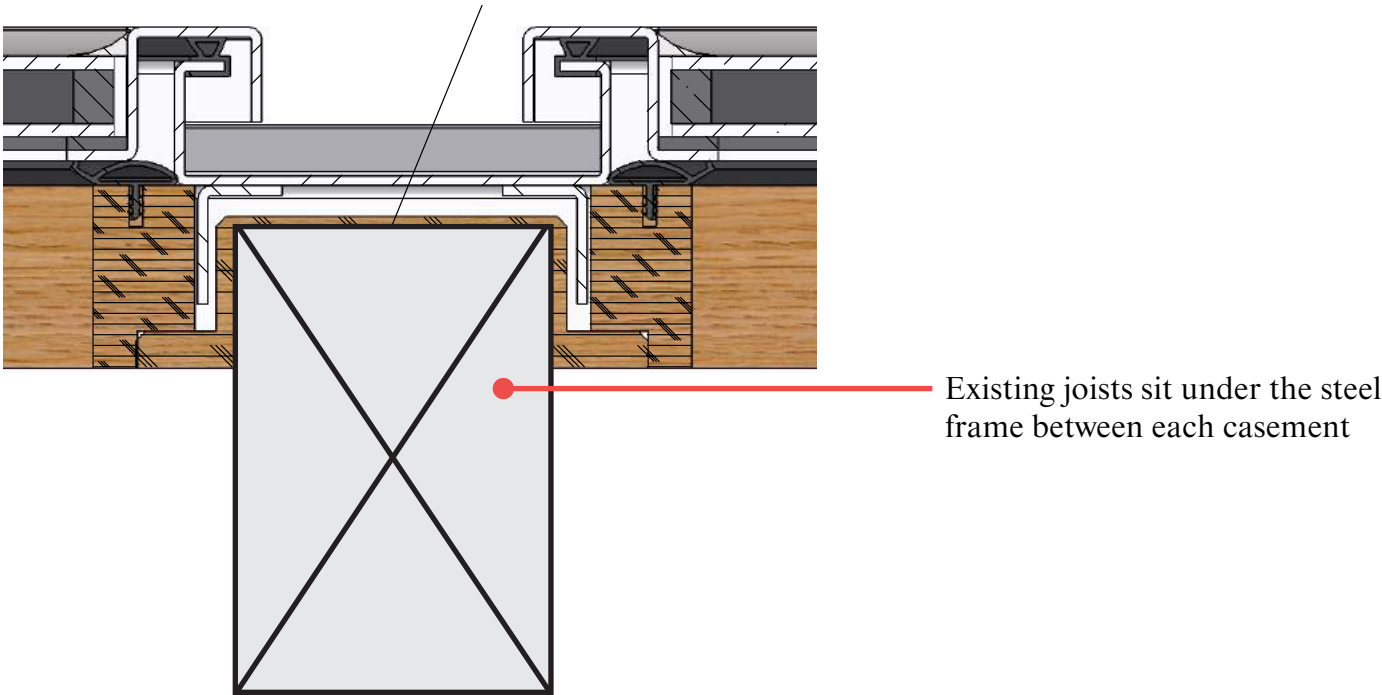
Condition 4A - Details of all new windows, ventilation grills, external doors and gates

C Loft Bathroom Rooflight - information regarding retaining timber roof joists

The rooflight is made of 3 separate casements that can sit around existing timber roof joists (highlighted in red).



Elevation - external appearance

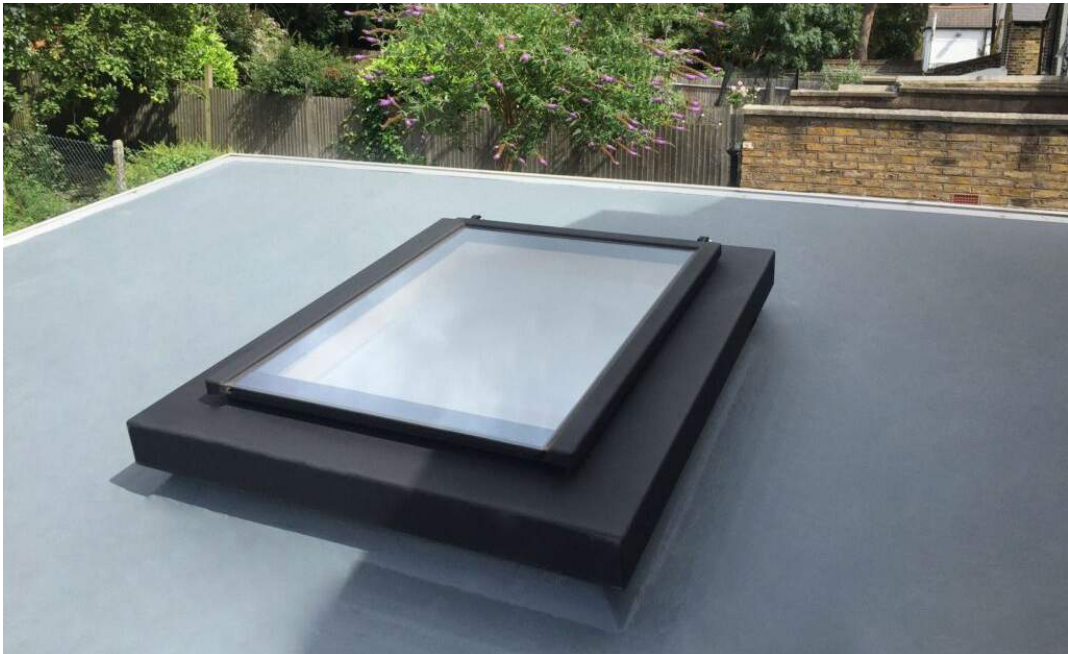


Detail A - casement junction

Condition 4A - Details of all new windows, ventilation grills, external doors and gates

D    Staircase Rooflight

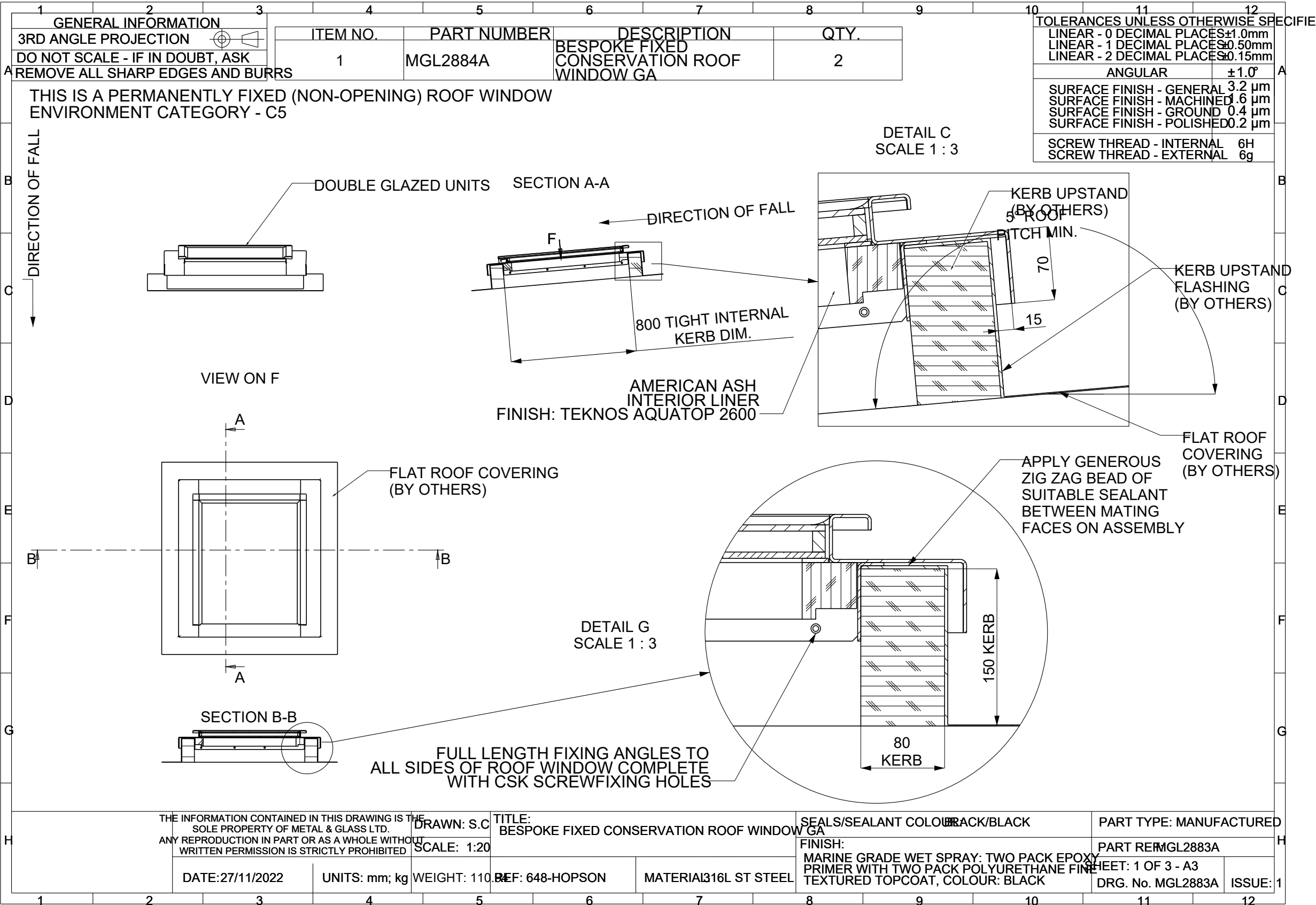
Supplier:                Stella Rooflight  
Product:                Flat Conservation Rooflight  
Finish/colour:        Black steel frame (316L Stainless steel)  
Glazing:                Outer: Toughened BioClean Natural, self-clean & solar control glass, Inner: Toughened Planitherm One Low E glass



External appearance example

Condition 4A - Details of all new windows, ventilation grills, external doors and gates

D Staircase Rooflight





Condition 4A - Details of all new windows, ventilation grills, external doors and gates

F     Arched window

Supplier:            Ventrolla  
Product:            Bespoke timber sash window  
Finish/colour:       Painted, solid hardwood, multi-purpose linseed putty  
Glazing:             Single glazed, Saint Gobain Planitherm Total+ Glass

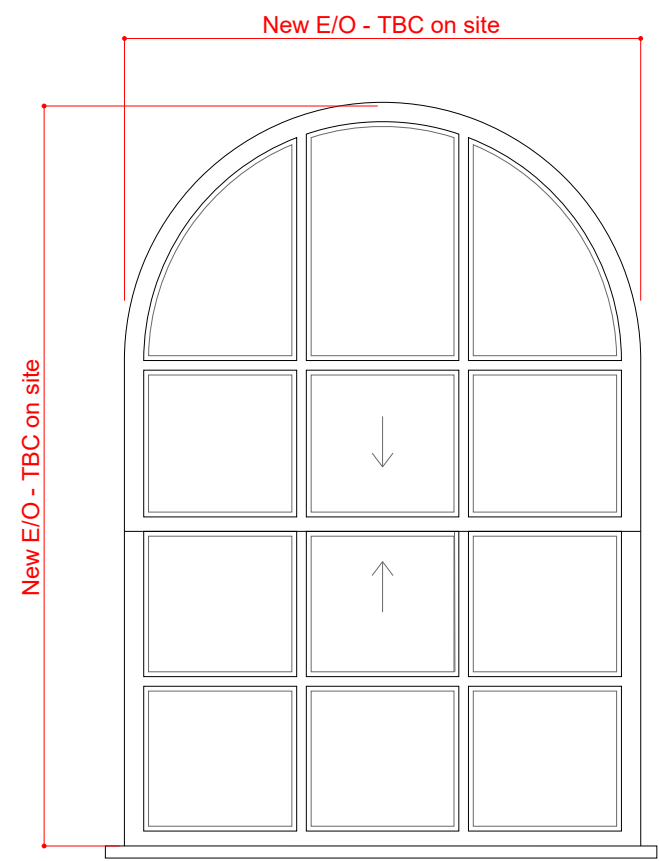


Examples of a Ventrolla bespoke sash windows

Condition 4A - Details of all new windows, ventilation grills, external doors and gates

F    Arched window

Overview of window elevation (to be adapted to suit site dimensions survey following approval of conditions).



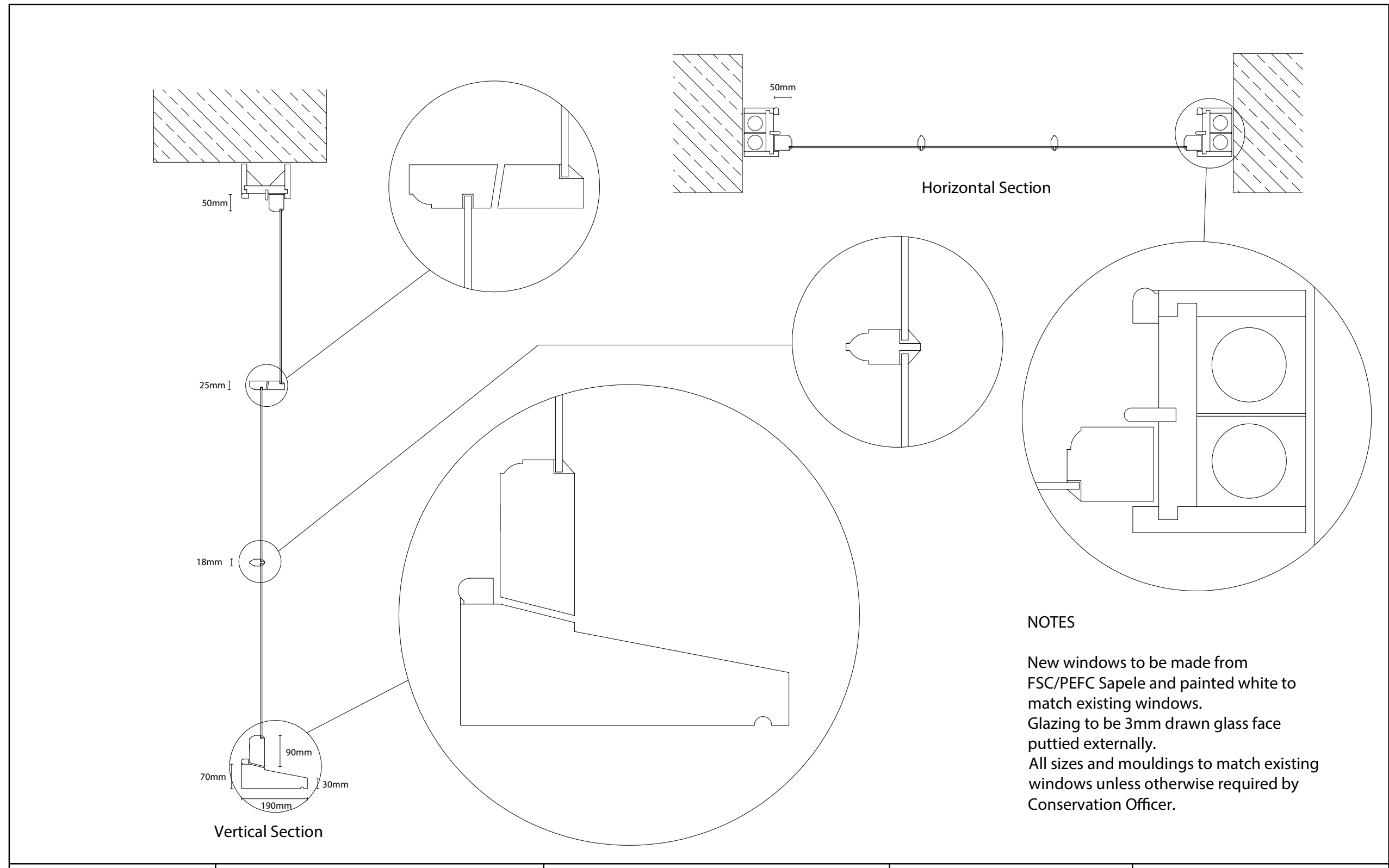
F    Arched window



Condition 4A - Details of all new windows, ventilation grills, external doors and gates

- A Front dormer casement window
- B Rear dormer casement window
- E First floor window

Example of window profile section details - to be adapted to suit overall opening dimensions on site

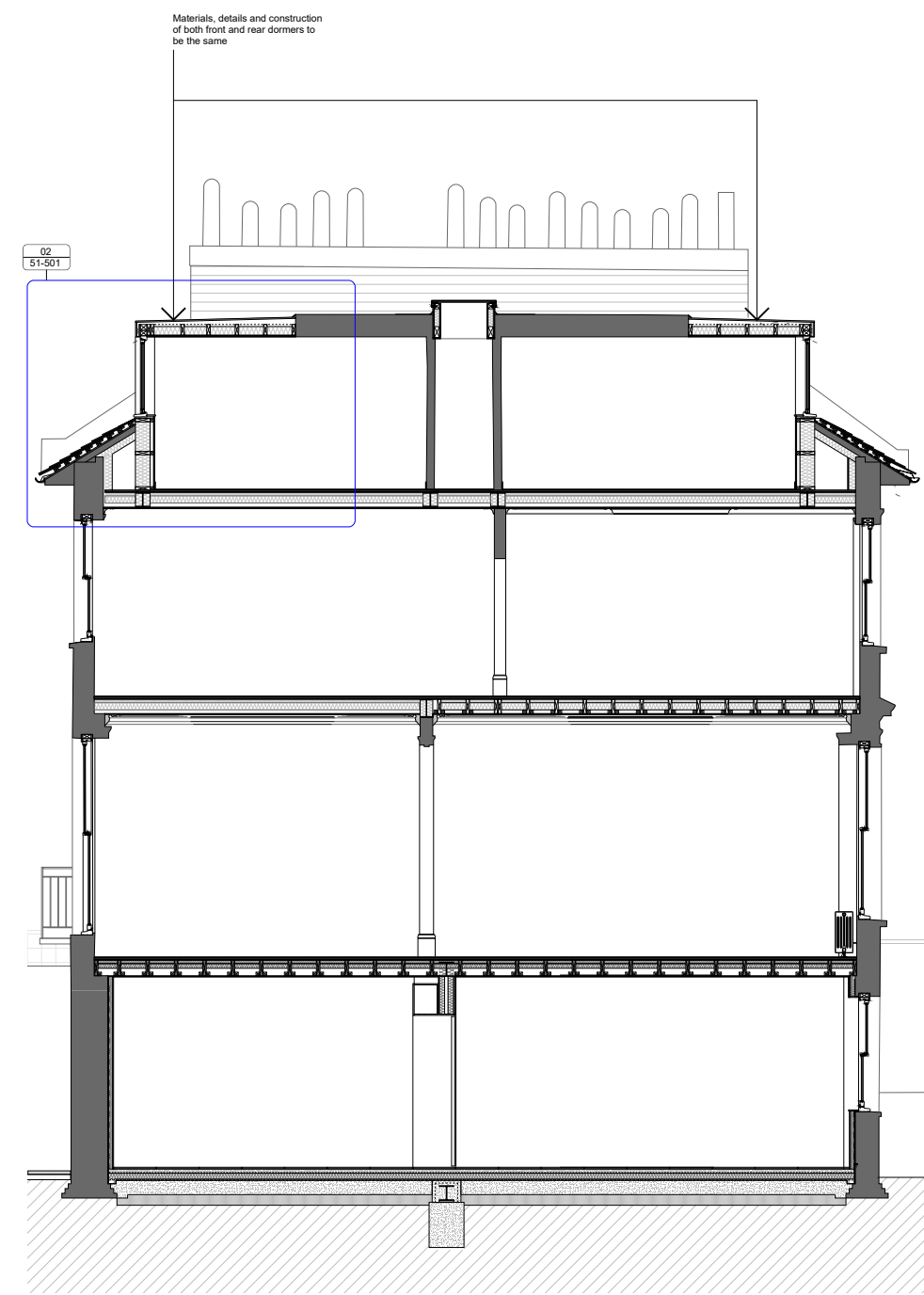


**Condition 4B - Details of the internal staircase**

No changes to internal staircases were proposed within application Ref: 2022/0579/L. No further details can be submitted.

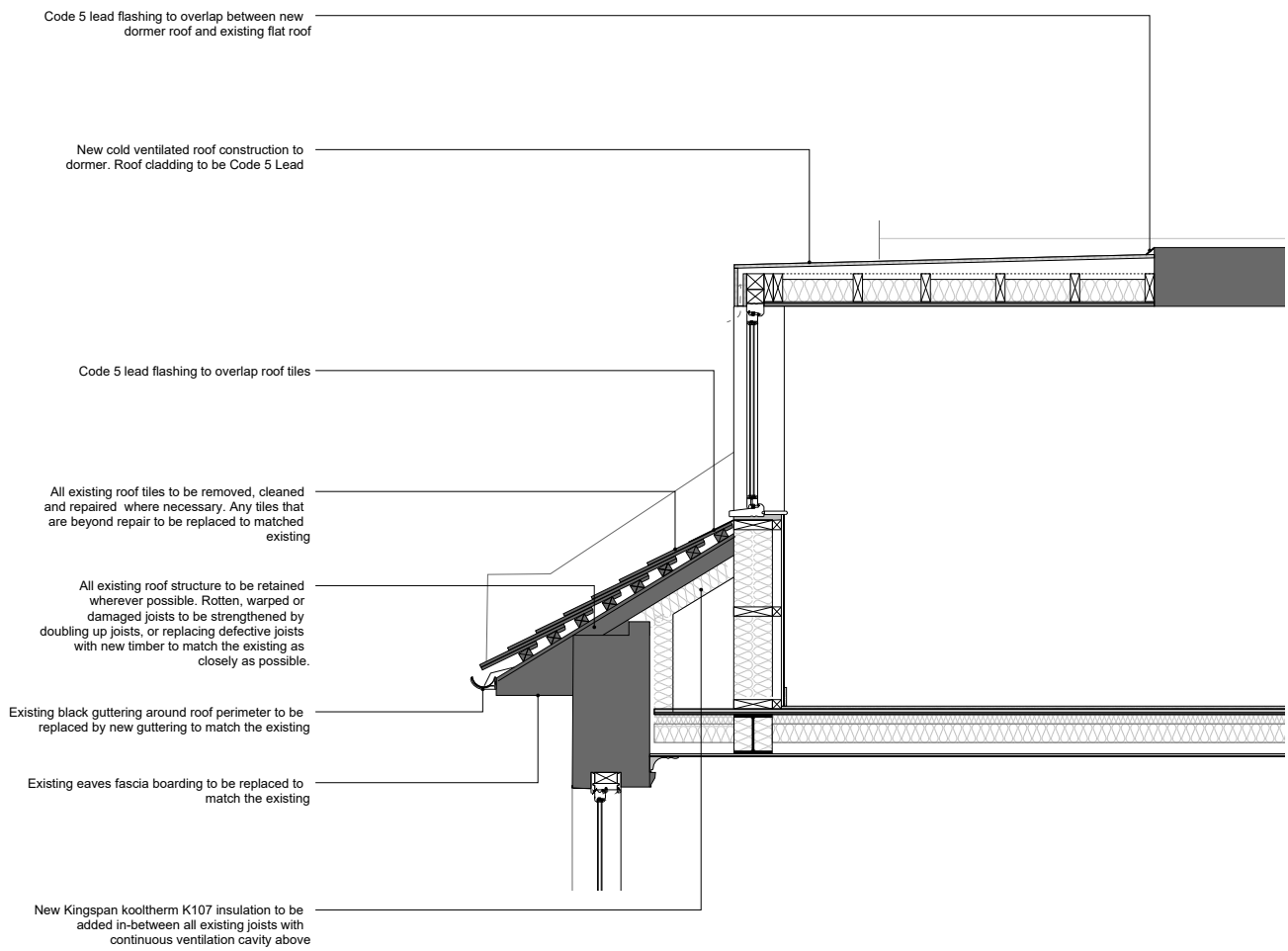
# Condition 4C - Details of roof renovation

Details of roof renovation at 1:20, 1:50.



01 Section BB  
1:50 @ A1 / 1:25 @ A3

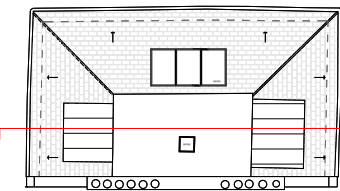
0 1 2 3 4 5m



02 Section BB - Dormer and flat roof  
1:20 @ A1 / 1:10 @ A3

0 1m

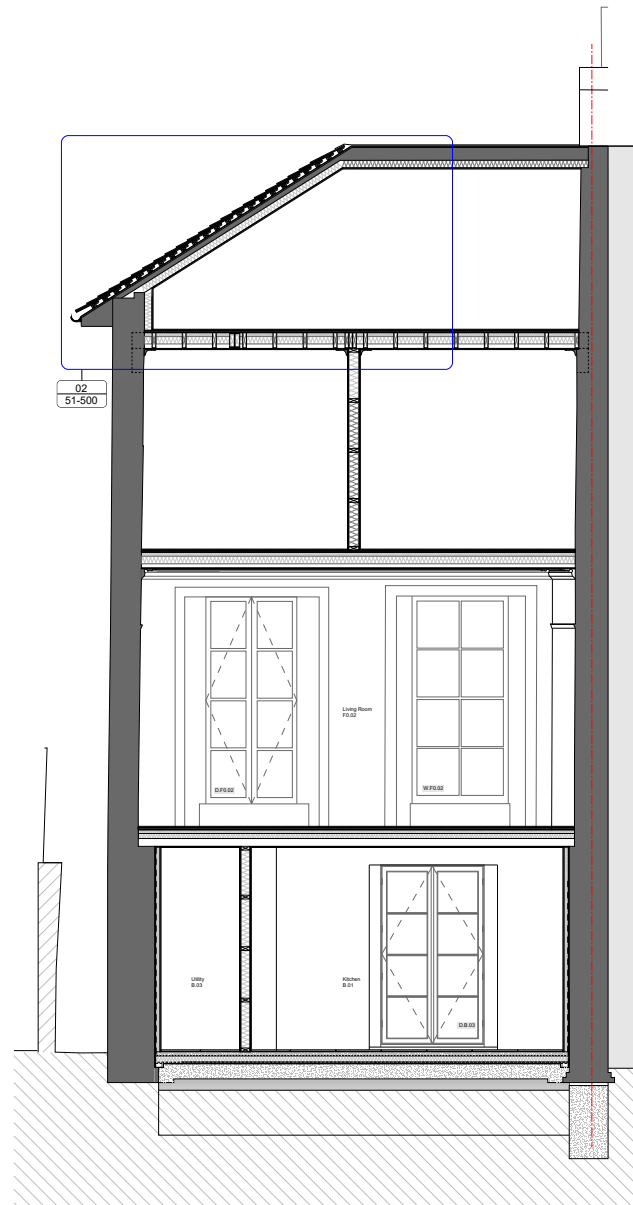
- Legend
- Site boundary
  - Existing structure
  - Proposed structure
  - Adjacent structure
  - Existing ground condition



P1	xx.xx.2022	Issued for discharge of conditions	
Rev	Date	Date	Chk
Project			
20 Eton Villas			
Title			
Planning			
Section BB Details			
Status			
Discharge of Conditions			
Project Number		Drawing Number	
097		51-501	
Revision	Drawn by	Approved	Scale @ A1
P1	RC	MC	1:50/1:20

### Condition 4C - Details of roof renovation

### Details of roof renovation at 1:20, 1:50.



01 Section AA  
1:50 @ A1 / 1:25 @ A3

A horizontal number line with tick marks at 0, 1, 2, 3, 4, and 5. The line is labeled with these integers above the tick marks.

New Kingspan kooltherm K107 insulation to be added in-between all existing joists with continuous ventilation cavity above

Code 5 lead flashing to overlap between existing pitched and flat roof

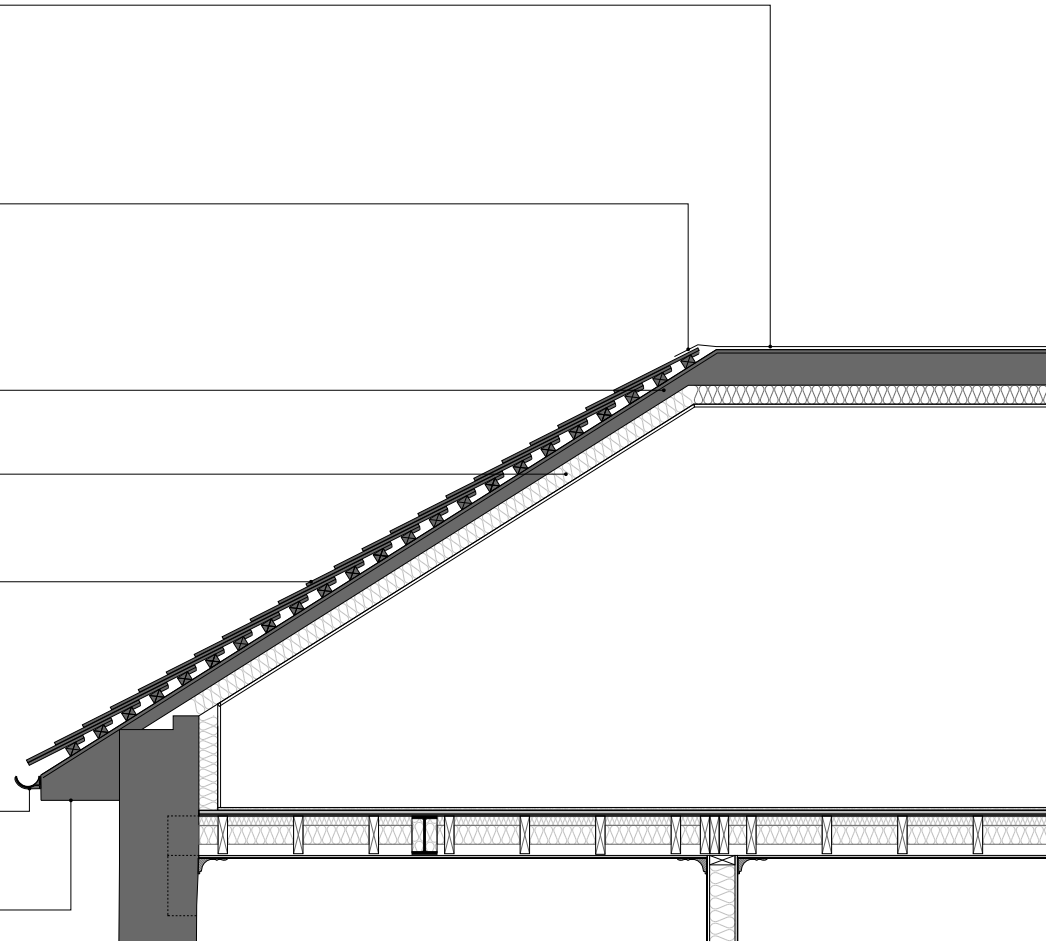
All existing roof structure to be retained wherever possible. Rotten, warped or damaged joists to be strengthened by doubling up joists, or replacing defective joists with new timber to match the existing as closely as possible

New Kingspan kooltherm K107 insulation to be added in-between all existing joists with continuous ventilation cavity above

All existing roof tiles to be removed, cleaned and repaired where necessary. Any tiles that are beyond repair to be replaced to matched existing.

Existing black guttering around roof perimeter to be replaced by new guttering to match the existing.

Existing eaves fascia boarding to be replaced to match the existing

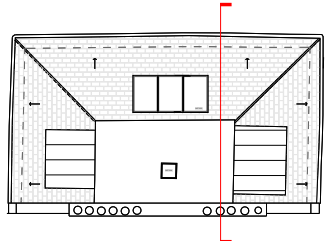


**02** Section AA - Pitched and flat roof  
1:20 @ A1 / 1:10 @ A3

1:20 @ A1 / 1:10 @ A3

Legend

- Site boundary
- Existing structure
- Proposed structure
- Adjacent structure
- Existing ground condition



P1	xx.xx.2022	Issued for discharge of conditions	
Rev	Date	Date	Chk

Project  
20 Eton Villas

Title  
Planning  
Section AA Details

Status

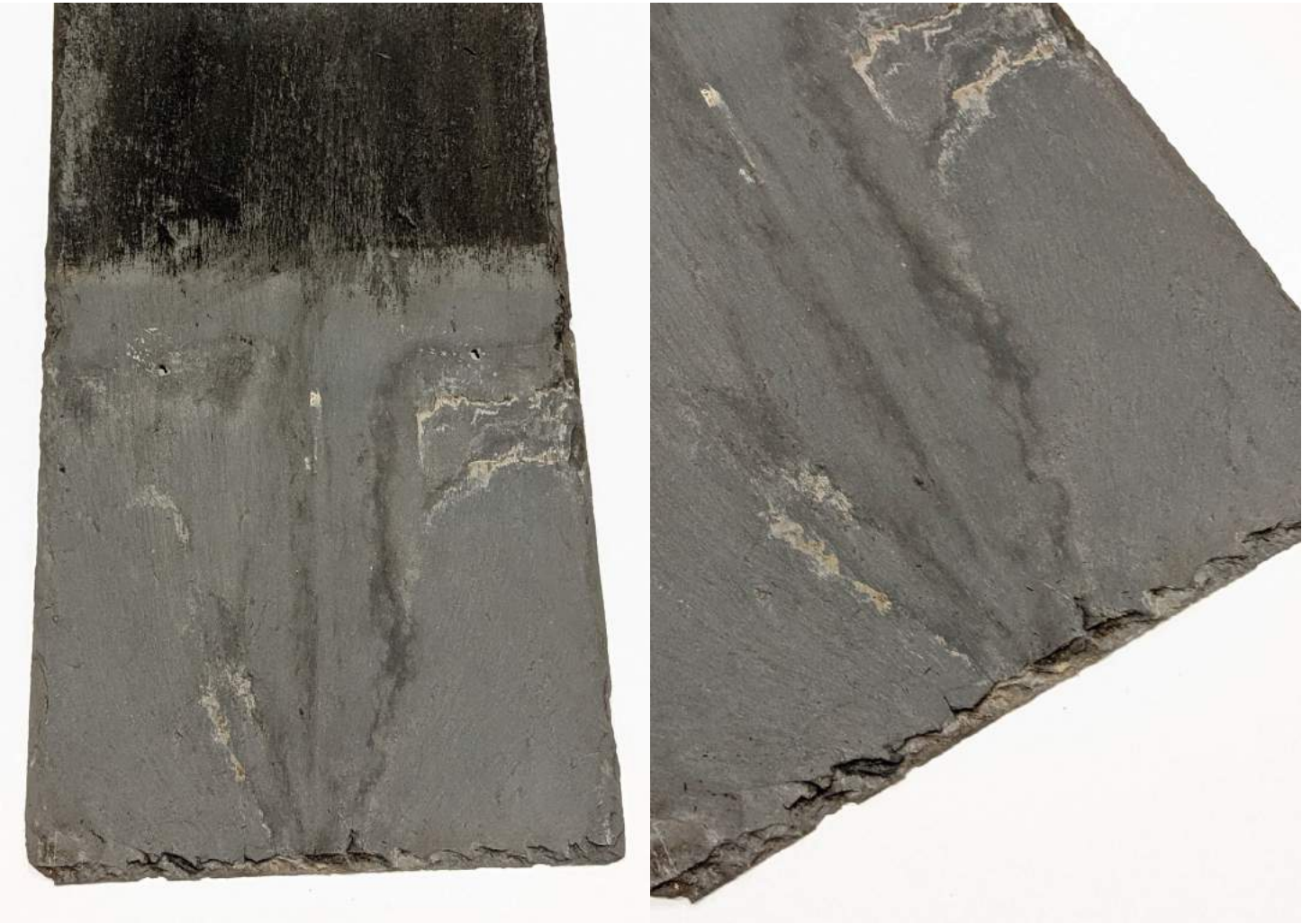
Discharge of Conditions

Project Number	Drawing Number
097	51-500

Revision	Drawn by	Approved	Scale @ A1
P1	RC	MC	1:50/1:20

Condition 4C - Details of roof renovation

Product: JJ Roofing Supplies, Reclaimed Slates 20" x 10"  
Photos of slate sample for review below. Approved samples will be retained on site during the course of the works.



Images of the slate sample



Existing roof. Existing tiles will be removed and brushed/cleaned. Existing tiles to be re-used wherever possible with only broken or defective slates to be replaced.