

Our Ref: 22429/KM/TH
Your Ref: PP-11725789
Email: thumphries@firstplan.co.uk
Date: 16 January 2023

Planning Department
LB of Camden Council
5 Pancras Square
London
N1C 4AG

Dear Sir/Madam,

**APPLICATION FOR EXTERNAL ALTERATIONS AND NEW FRONT BOUNDARY TREATMENT
14 WELL ROAD, CAMDEN, NW3 1LH**

We are instructed by our client to submit the enclosed planning application at 14 Well Road for householder works to their property including the installation of stone cladding, roof coping, and fencing to the frontage, together with painting of the side and rear elevations, alterations to fenestration and landscaping works. This application has been submitted via the Planning Portal under reference PP-11725789.

The following documents are submitted in support of this application:

- Completed application forms including Certificate A;
- Design and Access Statement, including CGIs of the proposed development;
- Planning and Heritage Statement (included in this covering letter);
- Completed CIL form 1;
- The following plans:
 - Location and block plans (ref: X_10_01);
 - Existing plans and elevations (refs: X_20_00, X_20_02, X_40_01, X_40_02, X_40_03 & X_40_04); and
 - Proposed plans and elevations (refs: P_20_00, P_20_01, P_20_02, P_40_01, P_40_02, P_40_03 & P_40_04).

The requisite application fee of £206.00 has been paid via the Planning Portal, together with the £32.20 admin fee. The remainder of this letter sets out our supporting statement regarding the application proposals.

The Site and Surrounding Area

The application site comprises a detached family-sized residential property situated on the eastern side of Well Road. The property has a contemporary design which is rendered white and features an integrated garage accessed directly off the street.

The site is not listed, however is located within the Hampstead Conservation Area. Manaton Lodge and Nos. 21 - 27 Well Walk (to the rear) are all Grade II listed. Neighbouring the property, at No. 15, is a black wood-clad property.

Planning History

i) Application Site

Consent was granted in 2014 (ref: 2013/3998/P) for the erection of a three-storey dwelling following demolition of the existing property. An extract of the building consented under this permission is provided at Figure 1 below.

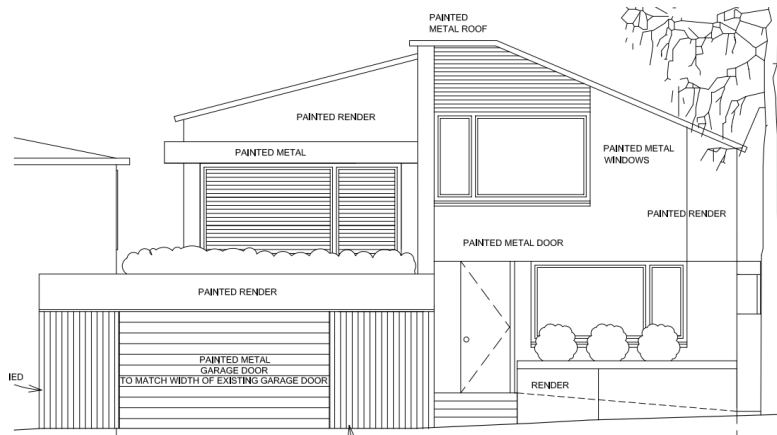


Figure 1. Extract of proposed front elevation approved under ref: 2013/3998/P

Variation of condition applications have subsequently been approved to reflect alterations to the proposed materials, with the latest identified from 2018 (ref: 2017/6700/P). This is understood to be the extant consent for the existing property accordingly and an extract of the approved design is provided at Figure 2 below.

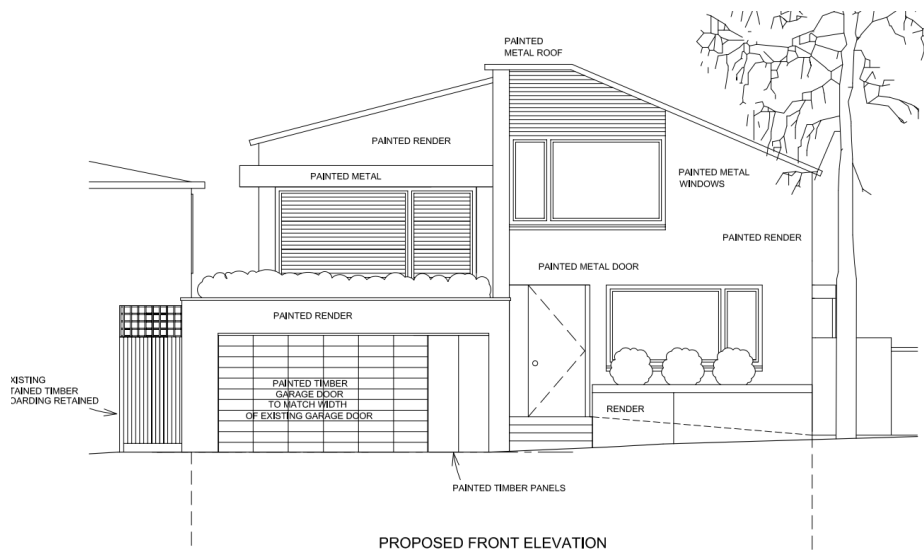


Figure 2. Extract of proposed front elevation approved under ref: 2017/6700/P

ii) Surrounding area

Consent was granted in 2004 (ref: 2003/2115/P) for the redevelopment of 21 Well Road to provide a new three storey dwelling with integral garage. The approved design incorporated the use of textured earth pigmented concrete, as depicted at Figure 3 below.



Figure 3. View of No. 21 Well Road

Consent was granted in 2015 (ref: 2015/0127/P) for the partial redevelopment of 11 Cannon Lane. The approved scheme allowed for the use of grey brickwork for the proposed development.

In addition to this, high level boundary walls are common along the street, as shown at Figures 4 and 5 below and on Page 8 of the Design and Access Statement.



Figure 4. View of northern end of Well Road



Figure 5. View of southern end of Well Road

Application Proposals

The application seeks consent for external alterations including stone cladding, roof coping, and fencing to the frontage, together with painting of the side and rear elevations, alterations to fenestration and landscaping works. The proposed works, which are depicted on the submitted plans and Design and Access Statement prepared by THISS Studio, specifically involve the following works:

- Cladding of front elevation in stone and painting of remaining elevations to match;
- Installation of protective coping parapets at roof level and along the frontage to provide a rain shield for the front elevation;
- Front boundary works, to include modifications of existing planters and installation of new 2.6m high metal and timber fencing to improve security together with the creation of a new timber bin store; and
- Additional minor alterations, to include new entranceway to the existing garage from the front courtyard, replacement garage door, landscaping to the rear and installation of sliding doors along the rear elevation.

There will be no alterations to the existing access to the property and no works are proposed that will impact on the existing street tree to the front of the site.

Planning Policy

The statutory policy framework relevant to the site comprises the Camden Local Plan (2017), Hampstead Neighbourhood Plan (2018) and London Plan (2021). The National Planning Policy Framework (2021) and Camden supplementary planning documents are also material considerations.

The site is located within the Hampstead Conservation Area (HCA). Accordingly, the HCA Statement has also been considered.

National Planning Policy Framework (2021)

The document confirms that the inherent purpose of the planning system is to contribute to the achieving of sustainable development, with **Paragraph 10** stating that at the heart of the NPPF lies the presumption of favour of sustainable development. **Paragraph 11** affirms that in terms of decision-making this is to equate to “approving development proposals that comply with an up-to-date development plan without delay”.

In respect of design principles, **Paragraph 126** establishes that the creation of high-quality buildings and places is a pivotal component of the planning and development process, with good design forming a central facet of sustainable development. In line with **Paragraph 130**, proposals should: function well and contribute to the overall quality of an area; be visually attractive and responsive to the local character of an area whilst optimising the potential of the site.

In determining applications affecting heritage assets, **Paragraph 194** sets out that Local Planning Authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the asset’s importance and no more than is sufficient to understand the potential impact on their significance. **Paragraph 195** also sets out that Local Planning Authorities should take account of the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation.

London Plan (2021)

The London Plan provides the strategic plan for London, setting out an integrated economic, environmental, transport, and social framework for the development of London.

Design principles are provided at **Policy D4**, with **Policy D5** requiring development to achieve the highest standards of accessible and inclusive design. **Policy D8** supports development proposals which ensure that the public realm is well-designed, safe, accessible, inclusive, attractive, well-connected, related to the local and historic context, and easy to understand, service and maintain. Landscaping and surface materials should be of a good quality. **Policy D12** requires that all developments ensure the safety of all building users with regards to fire safety.

Policy HC1 details that development proposals which affect heritage assets, and their wider sections, should conserve significance by being sympathetic to the asset's significance and appreciation with their surroundings. Development proposals should seek to avoid harm and identify enhancement opportunities where possible.

Camden Local Plan (2017)

Policy A1 sets out that development needs to protect the quality of life of occupiers and neighbouring properties. Such factors include privacy, outlook and overshadowing.

Policy D1 relates to design and sets out that the council will seek to secure high-quality design. In particular development needs to (inter alia): respect local context and character; preserve or enhance the historic environment; be sustainable; use high quality materials; integrate well with the surrounding streets; and include high-quality landscape design.

Policy D2 sets out that development must preserve or enhance the historic environment, to include conservation areas and listed buildings. With regards to conservation areas this includes protecting garden spaces which contribute to the character and appearance of the area and regarding listed buildings this includes impacts on the setting of properties.

Hampstead Neighbourhood Plan (2018)

The document sets out the vision of the area being to protect the distinctive character of buildings and open spaces, the Heath, healthy living, community spirit and the local economy. With regards to design, **Policy DH1** sets out that development needs to demonstrate how it responds and contributes positively to the character of the area and **Policy DH2** defines that developments in conservation areas need to accord with the relevant management strategies for these areas.

Hampstead Conservation Area Statement (2001)

The Hampstead Conservation Area was first designated in 1968 and subsequently extended, with the latest addition in 1991. The Hampstead Conservation Area Statement provides background information on the history and character of the area. It sets out at Page 12 that:

"Hampstead has an exceptional combination of characteristics that provide the distinct and special qualities of the Conservation Area. The variety of spaces, quality of the buildings, relationships between areas, all laid upon the dramatic setting of the steep slopes are described below. The contrast between the dense urban heart of Hampstead and the spaciousness of the outer areas is one of its major characteristics. It also demonstrates its historic development with the 18th century village still evident, adjacent to the streets created in the Victorian era, as well as many 20th century contributions. The Conservation Area character is therefore derived from the wide range of areas within it."

With regards to the front of properties, reference is made to the need to retain unpainted brickwork, however there is no specific guidance regarding modern rendered frontages.

The application site is located within Sub-area 2 'Christ Church/Well Walk'. Well Road is identified as a quiet residential street with mainly 1880s red brick houses and mature street trees. There is no specific reference to the application site.

Planning Considerations

As previously mentioned, the application site falls within the Hampstead Conservation Area but is not statutorily or locally listed. It is understood that the main considerations relevant to this application are therefore the impact of the proposals on the character, appearance and setting of the Conservation Area and the impact on neighbouring amenity.

As detailed above, the proposed works relate to the minor alterations to the property sought to improve security and upkeep of the property and its appearance within the conservation area. The works will be undertaken using high-quality materials chosen to complement the existing site and surrounding area.

Impact on the designated heritage assets (Heritage Statement)

National guidance together with London Plan Policy HC1 and Local Policy 7C requires that proposals preserve or enhance the significance and setting of heritage assets. This stems from Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 which establishes a statutory duty for Local Planning Authorities, in respect to any buildings or other land in a conservation area, whereby "*special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area*".

The conservation area statement identifies that the area is defined by mainly 1880s red brick houses and mature street trees. With regards to the site, no specific reference is made, with it consisting of a newly developed building. Furthermore, as referenced above, an application has been approved for the redevelopment of No. 21 to include the use of concrete finishing and No. 15 hosts a black wood-clad frontage. The use of high-level boundary walls and gates is also a common feature along the street, as shown by Figures 4 and 5. The proposed works will be in line with this existing setting.

Nonetheless, the works are considered to be a significant enhancement to the site. As shown at Figure 6 the existing building sits prominently within the setting of the street, with this emphasised through the use of white rendering.



Figure 6. View of front boundary (Google Maps)

The proposed works will help to improve the frontage in the setting of the streetscene. Accordingly, they will enhance the host building's position in the conservation area. In this regard the design, together with the choice of materials, will deliver an attractive frontage that is in keeping with the neighbouring properties. Indeed, the proposed cladding will be of a design that reflects that used elsewhere in the locality and which will enhance the appearance of the building.

The proposed gates will also be of a high-quality. They are sought to improve security however their design has been chosen to complement the existing building and retain visibility around the site. This feature will be created using a mixture of metal and timber, which will respect the materials present in the immediate vicinity at Nos 12, 13 and 15 together with the materials proposed for the new garage door. The overall result of this will be to create a visually interesting feature that complements the wider street setting.

The bin store will also be incorporated into the scheme to provide easy access. Visualisations showing how these alterations will enhance the design of the site are provided at Pages 12-15 of the Design and Access Statement.

The properties to the rear of the site are Grade II listed. The listings for these properties are as follows:

- 25 & 27 Well Walk (ID: 1379165)
- 21 & 23 Well Walk (ID: 1379164)
- Madaton House (ID: 1379163)

The proposed works to the front of the site will not have an impact on the setting of these listed properties, which are all located to the rear of the property. Furthermore, the only works to the rear of the site relate to the installation of new sliding doors at lower ground level, painting of the elevation to match the stone cladding along the front elevation and minor landscaping, to include the erection of a timber pergola matching the height of the existing fence line above a raised planter bed. Accordingly, there will be no detrimental impact to the setting of the listed buildings or the conservation area as a result of these works.

Impact on Neighbouring Amenity

The protective coping parapets at roof level and along the frontage are proposed to reduce the degradation of the frontage by rainwater (see Page 6 of the Design and Access Statement for details). The coping at roof level will be 0.76m in height and only extend slightly from the front elevation. This will ensure that there is no increased sense of enclosure or loss of privacy and/or sunlight for neighbouring properties.

The proposed boundary fence is sought to enhance security at the site following a number of incidences where members of the public have climbed into the existing planter and leaned against the front window of the property. The design of this has, however, been carefully considered to ensure that visibility around the site is retained whilst improving privacy for residents. There will therefore be no impact on the amenity of neighbouring properties.

The proposed landscaping works to the rear are very minor, with the majority being low-lying. A 3m high timber pergola will be installed above the new raised planter bed along the side elevation. This will be a lightweight feature of the same height as the existing fenceline and will not have an impact on the amenity of the neighbouring property.

In the light of the above, the proposed works will not have an impact on the amenity of the neighbouring properties. They will be in accordance with Local Policy A1 accordingly.

Other matters

There will be no impact on existing trees in the locality of the site as a result of the proposals.

No change is proposed to the vehicular access to the site, with the dimensions of the garage being retained. There will therefore be no impact on the highways network as a result of the works.

The site is located within Flood Zone 1 and consists of hard surfacing to the front of the site. The proposed works will not impact on the existing permeability and will therefore be in accordance with policy guidance at all levels in this regard.

Conclusions

The proposed works relate to a number of improvements to the property to enhance security and the outlook of the site in the context of the streetscene. The proposed boundary works are minor alterations to the property and have been designed to better relate the site to the existing streetscene. The design of the works will also ensure the protection of the significance of the identified designated heritage assets in the locality.

In the light of the above, the application proposals are consistent with all of the relevant planning policies and guidance at national, London-wide and local levels. This application should, therefore, be considered acceptable by the Council.

I trust that you have sufficient information in order to validate the application, however, should you have any queries then do not hesitate to contact me. Otherwise, I look forward to discussing the application proposals with you in due course.

Yours faithfully,



TIM HUMPHRIES
Associate