

18th November 2022

JS023

Planning, Design, Access, and Heritage Statement
23 John Street

“Erection of a fence to the rear boundary wall”

This short statement is written in support of a planning application and listed building consent submission for the erection of a fence to the rear of 23 John Street, WC1N 2BL.

The application is extremely simple. The purpose of this statement is set out in very simple terms the justification for the application, and to provide some context as to the site and design of the fence. It is expected that further clarifications, if necessary, will be requested by the case officer.

Site and Context

The site is Grade II listed and forms a terrace of early c.19 Georgian houses. The rear of these buildings abuts the rear of the buildings on John’s Mews, which originally would have been used as stable accommodation for the associated houses.

Today these mews buildings are used as a mixture of offices and residential accommodation.

The development site backs onto the rear of 13-15 John’s Mews, until late used as offices. In February 2022 permission was granted to convert this building into residential accommodation (LPA 2021/0020/P). The site, two adjoining mews buildings, will also receive a single storey Mansard roof extension.

Proposal

The upward extension to the mews buildings will result in a material increase in overlooking into the garden and rear windows of number 23 and 24 John Street. Listed building consent was recently granted for a solid brick wall to the rear of number 24 John Street to mitigate against this (LPA 2022/2560/L).

The current application seeks to erect a fence to mitigate against overlooking into the garden of number 23. It is expected that the principle of development has been established as acceptable, given the consent at number 24. Indicative detailed design has been included in the submitted drawings. No conflicts with the heritage significance of the listed building have been identified. The fence design is modern and minimal, and rises to a modest height. It will be mostly covered by planting (jasmine) once complete.

Figure 1
Site Plan

New fence proposed here.

New Mansard to these properties approved. LPA 2021/0020/P.



Figure 2
Rear wall to site



Figure 3
Rear wall close-up

The existing fascia gutter does not drain anywhere. It directs water to the corner of the garden where there is no gully or slot drain.

The drainage shall be addressed as part of the neighbour's permission – LPA 2021/0020/P.

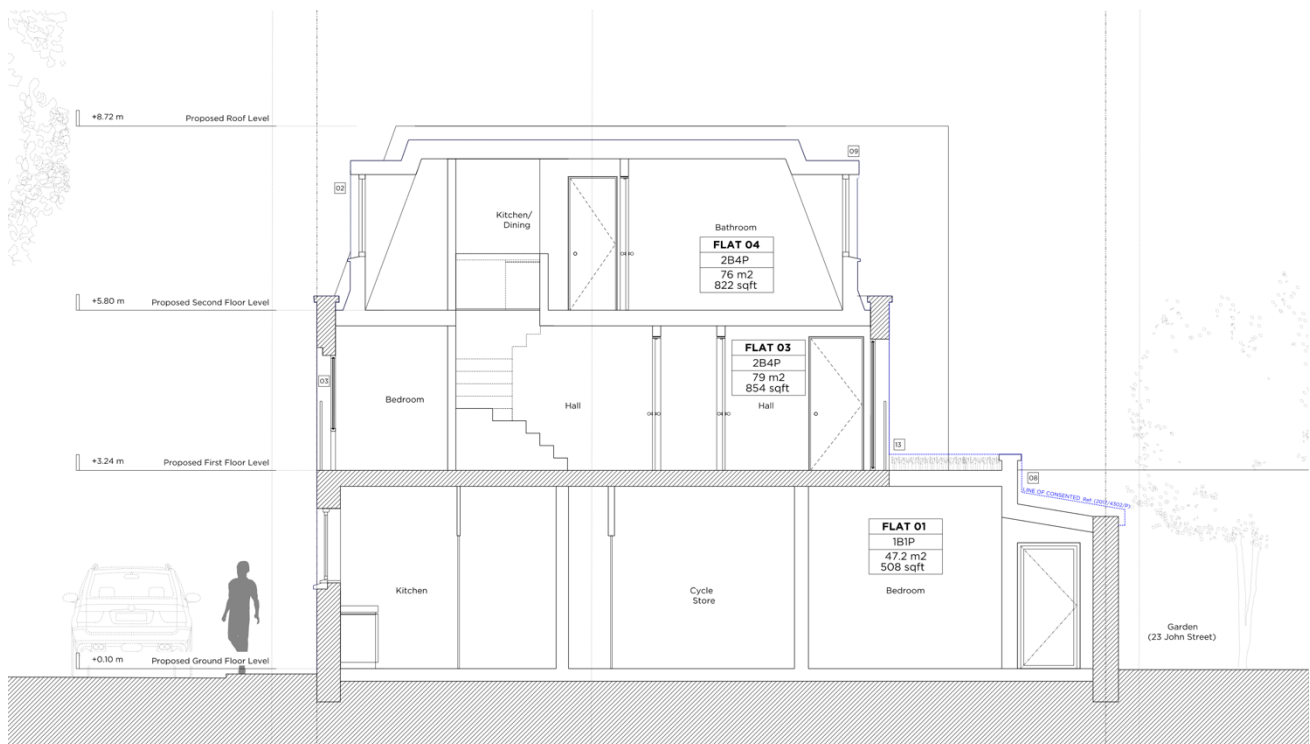
The rear wall has been built up in order to provide accommodation to 13-15 John's Mews. The two windows (shown in elevation, submitted drawings, E001) are to be obscure glazed.



Figure 4
Section through approved Mansard, 13-15 John's Mews. (LPA 2021/0020/P)

The garden to the application site is shown to the right.

The white section shows proposed works. The new dormer to the extension will increase overlooking materially.



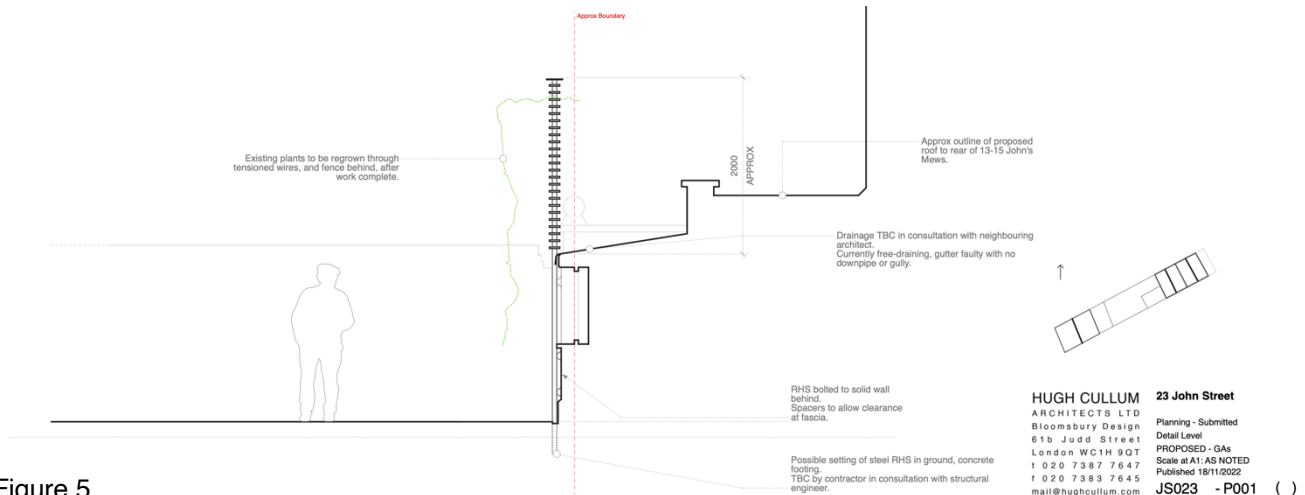


Figure 5
Section through proposed fence.

The development site lies to the left of the boundary.

The fence is shown as rising approximately 2 metres above the level of the eaves.

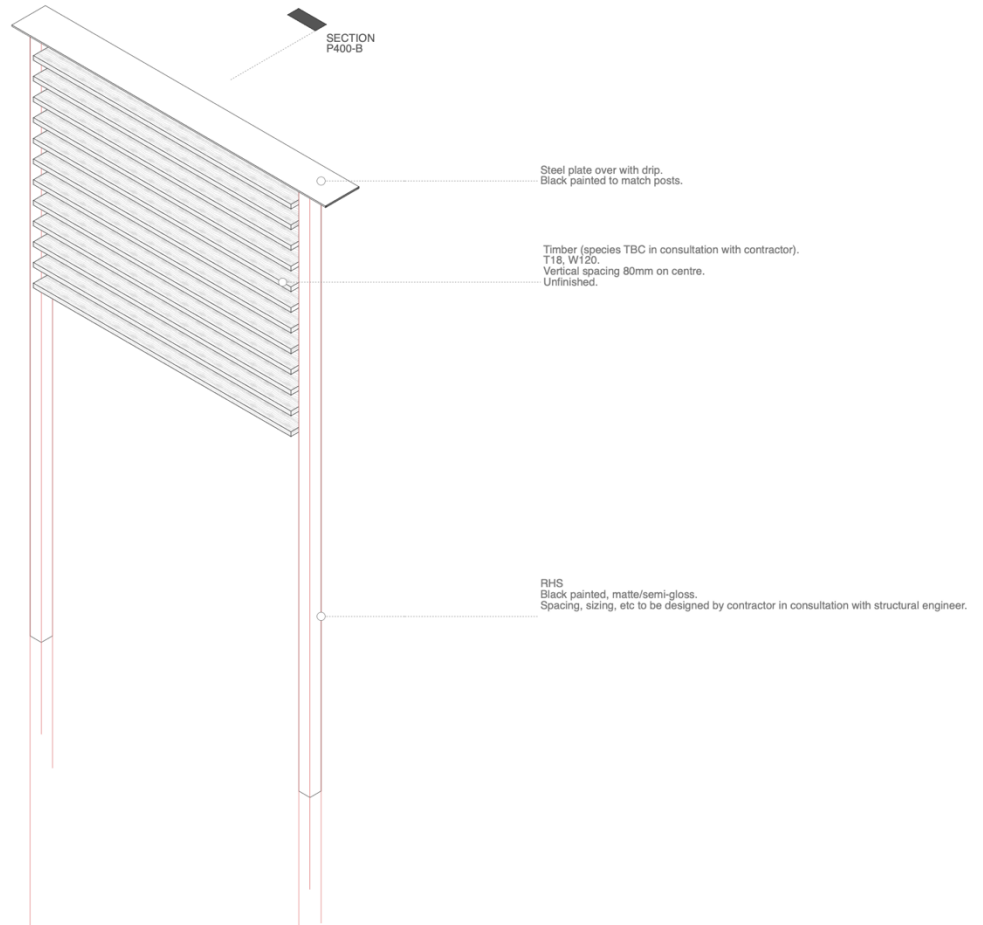


Figure 6
Isometric – Design Intent

It is proposed to support the fence by using steel RHS. These will be black painted to match the garden walls. Panels will be hardwood timber slats. A steel plate over gives some protection from rain, also black-painted.

The timber is proposed to be unfinished, left to weather naturally.

Figure 7
Precedent

Indicative precedent for design of fence.

(Pinterest, Paul Murdoch Architects)

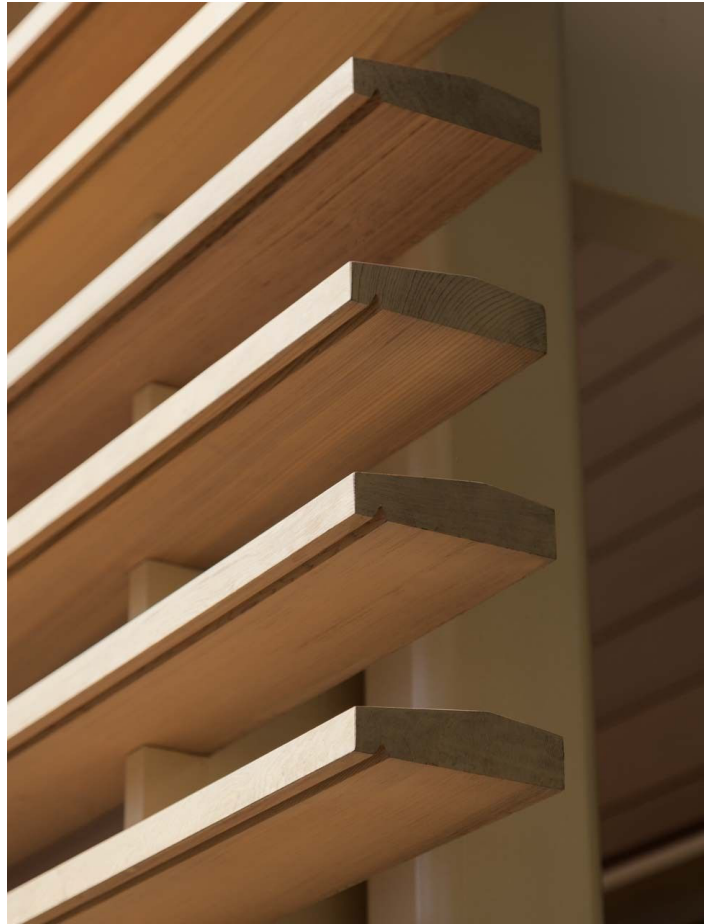


Figure 8
Precedent

Indicative precedent for design of fence.

The use of natural timber slanted slats, affixed to black painted steel sections, would match that proposed at the development site.

(Pinterest)

