



Design and Access Statement

Planning Application Submission

32 Woodsome Road, London NW5 1RY

January 2023



32 Woodsome Road corner elevation: image courtesy of Luke Barclay-Wyand

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1.0 Introduction

1.1 This Design & Access statement has been prepared in accordance with Section 42 of the Planning and Compulsory Purchase Act 2004.

1.2 The purpose of this Design & Access statement is to provide a statement about the design principles, concepts and access issues associated with a new planning application for the refurbishment and rear extension of an existing private residence and the rebuilding of an existing garage with the potential for storage, bin storage, electric charging and studio / home office space.

1.3 The application site is located at 32 Woodsome Road, NW5 1RY (sometimes identified as NW5 1RZ), an end of terrace house within the Dartmouth Park Conservation Area. The house sits on the corner site of Woodsome Road and Boscastle Road. The site includes an existing freestanding garage at the rear of the site.

1.4 The applicants are a young married couple with a 2-year-old daughter. They have lived nearby on Croftdown Road, also located in the Dartmouth Park Conservation Area, for the past 6 years. Before that, one of the applicants grew up on Grove Terrace, also in the Dartmouth Park Conservation Area.

1.5 When the applicants purchased the property, in September 2022, it was uninhabitable; there were no working bathrooms or kitchen, there were numerous leaks and it was generally falling into a serious state of disrepair. They plan to renovate the property and would like to make some minor alterations to create a family home that not only enhances their new property, but also blends into and respects the Dartmouth Park Conservation Area, which they know and love.

1.6 The applicants are very considerate of the conservation area setting, within which the application site is located, and the proposed extension and modernisation works to the property have been carefully designed to ensure they are not seen from the primary street frontage of Woodsome Road.



Site Aerial photograph: image courtesy of Google Maps
Image shows the original end of terrace house, with 2 story extension to the rear of the house on the Boscastle Road side of the site and a single story glass roof extension adjacent to the neighbouring property at 36 Woodsome Road



2.0 Site Context

2.1 The application site is located at 32 Woodsome Road, within the Borough of Camden. The existing house is an end of terrace house with the primary street frontage facing Woodsome Road. The site is located on the corner of Woodsome Road and Boscastle Road. The existing house is located at the Woodsome Road end of the site. The existing house is a three-storey house, with an existing two-storey rear extension and an existing single storey, glass roofed conservatory.

2.2 The site also includes an existing freestanding garage located at the rear of the site.

2.3 The site is approximately 150 sqm, 6.0m wide and 24.6m long. The site is rectangular in shape, extending predominantly north-west to south-east. The site is relatively flat.

2.4 The primary access; the front door to the house, is located on Woodsome Road. The existing garage has an existing vehicle garage door on Boscastle Road. There is also an existing pedestrian gate on Boscastle Road, providing pedestrian access directly into the existing garden.

2.5 The site sits within, what is sometimes referred to as, 'the Dartmouth Park village', close to Highgate Road, Hampstead Heath and the shops of York Rise and Swains Lane.

2.6 The Dartmouth Park Conservation Area Advisory Committee class Woodsome Road as being within the 'Dartmouth West' section of the conservation area.



Site location plan (site outlined in red); source: RequestAPIan



Site Aerial photograph: source Historic England Archive (RAF photography). raf_3g_tud_uk_112_vp4_5392 flown 02/04/1946

3.0 History of Property

3.1 32 Woodsome Road is a Victorian town house, built around 1870 on the Dartmouth Park Estate.

3.2 An RAF aerial photograph reveals that a rear extension, likely a scullery, was already constructed in 1946. The adjacent photograph suggests that this rear extension may be 2 storeys high.

3.3 At some point in the second half of the twentieth-century - we suspect the 1950s or 60s – the garage was built at the rear of the property, accessed via a garage door on Boscastle Road. The position of the garage created a section of inaccessible land, about 1.0 metre deep, between it and the party wall with 26 Croftdown Road and a small strip of land, again inaccessible, between it and the neighbouring wall with 36 Woodsome Road.

3.4 At some point, the property was divided into 2 separate private residences; a maisonette (first and second floors), accessed by a second front door on Boscastle Road and a ground floor flat, accessed via the front door on Woodsome Road. These properties were 32 and 34 Woodsome Road. We believe the first floor bathroom may have been added at the time of dividing the house into 2 separate residences.

3.5 In 1998, the previous owner, the late Hugh Wood, combined the two properties into a single private residence, 32 Woodsome Road. This is why 34 Woodsome Road no longer exists. Please refer to previous page with location map showing both house numbers on the single site.

3.6 Planning application, number PA9800561R1, to convert the 2 separate private residences back into a single private residence, was granted on 22/09/1998. The application requests the “conversion of maisonette and flat to house, the addition of a conservatory and minor external alterations”. Permission was also granted to replace the front door of the maisonette, on Boscastle Road, with the existing window.

3.7 It is important to note that planning application, number PA9800561R1, allowed for the kitchen to be maintained upstairs on the first floor.

3.8 No further work has been done to the property before it was sold to the applicants in September 2022.



4.0 The Current Layout



Sales floor plans courtesy of Knight Frank Real Estate Agents



Boscastle Road side elevation: image courtesy of Guy Davies

5.0 The Existing Site

5.1 The application site is located at 32 Woodsome Road, at the corner of Woodsome Road and Boscastle Road.

5.2 The house is a Victorian town house: a three-storey end of terrace house. The house is constructed of London brick, with single glazed sash timber windows, painted white, and a dark grey slate roof.

5.3 Our research suggests that prior to 1946, a rear extension was present.

5.4 In 1998, the approved planning application, number PA9800561R1, permitted the single storey, glass roof conservatory to be added to the ground floor, adjacent to No. 36 Woodsome Road. The drawings submitted, as part of this 1998 planning application, indicated that there was already an existing ground floor extension (a garden room) and an existing first floor extension (a bathroom), to the rear of the original Victorian town house. Please refer to adjacent photograph clearing showing these additions to the original house.

5.5 The existing ground and first floor extensions, to the rear of the original Victoria house, are constructed in yellow London stock brick, with single glazed modern horizontal timber windows, painted white, and a dark grey flat membrane roof.

5.6 The existing vehicle garage, to the rear of the site, is constructed with pre-cast concrete wall panels and a light weight roof. The Boscastle Road elevation has a plaster finish and a horizontal timber board garage door, painted black. Please refer to adjacent photograph.

5.7 The existing boundary wall on Boscastle Road is constructed of London brick, up to an average height of 1.5 metres above footpath level. On top of the existing boundary wall is a vertical timber board fence, up to an average height of 2.2 metres above footpath level. There is a vertical timber board pedestrian gate in the existing boundary wall, providing access directly into the rear garden.



6.0 Urban Context

6.1 The Dartmouth Park Conservation Area Advisory Committee released a statement in 2009 to guide Architects with their designs.

<https://www.dartmouthpark.org/conservation-area-advisory-committee-dpcaac/conservation-area-statement/>.

The purpose of this document is to provide a clear indication of the Council's approach to the preservation and enhancement of the conservation area.

6.2 Woodsome Road and Boscastle Road are both located in the 'Dartmouth West' area of the conservation area. The statement celebrates that *'the fronts of the house retain their architectural integrity with the original ridge heights and an absence of rooflights or dormer windows'*, reference from page 18.

6.3 The statement also suggests *'Development proposals will be expected to preserve or enhance the character or appearance of the Dartmouth Park Conservation Area'*, reference from page 45.

6.4 The applicants, one of whom has lived in the area for all her life, are very considerate of the conservation area setting and have requested that the proposed design takes direct reference from the Dartmouth Park Conservation Area Advisory Committee statement. Therefore the requirement to maintain the frontage of the house has been paramount and all proposed extension works have been designed to ensure they are unseen from the Woodsome Road street frontage.

6.5 From reading the statement, and from my own observations walking in the area, I note the following points of importance and incorporated them into my design approach:

- The importance of traditional timber sash box windows.
- To avoid windows made from unsympathetic materials.
- Use of London stock brick as the primary building material.
- The preference for slate roofs.
- That modern dormer windows are considered out of character in this area.



Woodsome Road street front elevation: image courtesy of Guy Davies



Boscastle Road side elevation: image courtesy of Luke Barclay-Wyand
Ground floor, 1.0m extension towards the garden, indicated in red
First floor, 1.0m extension towards the garden, indicated in red

7.0 The Proposal

7.1 The requirement to leave the street frontage of the house unchanged, as been paramount from the outset of the design process. However the current state of house interior; due to years of neglect, dis-repair, leaks, dry rot, requires the interior of the house to be completely stripped out and completely refurbished.

7.2 The existing glass roof, added in the 1998 extension works, due to disrepair, leaking and dry rot, needs to be removed and replaced.

7.3 The 1998 conversion works retained the first floor kitchen, which is not a functional location for a modern young family.

7.4 Taking into consideration the immediate neighbouring properties, and the repeated precedent for rear extensions, it was decided that all renovation and extension works must be limited to the rear of the property. It was also decided that any extension works must be modest and in keeping with the immediate neighbourhood extension sizes.

7.5 We would like to provide a modern family home that respects its prominent position on the corner of two attractive and historic roads within the Dartmouth Park Conservation Area. Following long deliberations and a lengthy concept design process, we are proposing the following external extensions be made to the existing house:

- The ground floor conservatory roof to be completely replaced, due to its state of dis-repair, and the rear wall of the conservatory to be extended by 1.0 metre towards the garden, to align with the existing ground floor rear brick wall, immediately adjacent to Boscastle Road. In combination with relocating the kitchen back down to the ground floor, this will create a modern open plan kitchen / dining area, with immediate access into the garden.
- The proposed ground floor extension at 32 Woodsome Road, will remain approx. 0.7 metres short of the existing rear extension at No. 36 Woodsome Road immediately adjacent.
- The proposed new ground floor rear wall of the conservatory is to be built in yellow London stock brick, to match the existing ground and first floor extensions. Please refer to adjacent photograph of the existing rear elevation of the house with proposed ground and first floor extensions indicated in red.



Boscastle Road side elevation: image courtesy of Guy Davies.
The proposed rectangular side elevation indicated in red – providing a more succinct relationship with the existing rectangular form of the existing end of terrace house

7.0 The Proposal continued

- The first floor bathroom rear wall to be extended by 1.0 metre towards the garden, to also align with the existing ground floor rear brick wall, immediately below and adjacent to Boscastle Road.
- The proposed first floor rear wall is to be built in yellow London stock brick, to match the existing to match the existing ground and first floor extensions.
- Please refer to photograph on the previous page of the existing rear elevation of the house with proposed ground and first floor extensions indicated in red.
- We feel that the proposed modest extension to the first floor will enhance the overall appearance of the existing rear extensions; by removing the step between the ground and first floor rear walls and therefore creating a simple rectangular architectural form.
- This simple and rectilinear form, not only matches the appearance of the rear extension at No. 36 Woodsome Road, but we would suggest provides a more succinct relationship with the existing rectilinear elevation of the original Victorian end of terrace house. The shape and proportions of the proposed rectangular shape is also in keeping with other simple rectangular rear extensions along Woodsome Road.

7.6 We are proposing that all the existing single glazed timber windows, due to disrepair, leaking and dry rot, to be replaced with new double glazed timber windows, painted white to match the existing. All new timber windows shall also be traditional sash box timber windows to match existing. We are proposing to replace the existing long modern uPVC windows on Boscastle Road elevation with frameless glass windows, to specifically differentiate these window from the heritage windows on the original Victorian town house

7.7 We are proposing to add a traditional window to the extended first floor bathroom rear wall, similar to No 36 Woodsome Road. This new window shall also be double glazed, timber, sash window to match all others. Please refer to elevation drawings.

7.8 We are proposing that the existing modern glazed door, exiting from the house under the existing glass conservatory roof, due to disrepair, leaking and dry rot, to be replaced, with a new set of double glazed French timber doors opening into the garden.



7.0 The Proposal continued



Boscastle Road existing garage elevation: image courtesy of Luke Barclay-Wyand
The photograph demonstrates the height of neighbouring brick boundary fence, the height of existing timber trellis adjacent to existing garage and the height of existing garage roof, indicated in red. Also the vertical timber cladding to neighbours existing garage door.

7.9 We are proposing that the new ground floor French doors are centralised in the rear elevation and balanced with 2 adjacent sash windows. Please refer to elevation drawings.

7.10 We are proposing, due to disrepair, leaking and dry rot, that the existing garage be demolished and completely rebuilt.

7.11 The proposed new garage shall be extended towards the rear boundary and the boundary with 36 Woodsome Road to incorporate the inaccessible land created by existing garage.

7.12 The proposed new garage elevation on the Boscastle Road shall increase in height by 300mm. The modest increase in height allows for a 2.0m ceiling in the storage area behind and allows for increased roof structure and insulation requirements of current building regulations. This increase in height is still lower than the existing adjacent trellis fence and the neighbouring boundary fence by excess of 600mm.

7.13 The proposed new garage will have the potential to be used as a space for storage, bin storage, electric charging and studio/home office space. The garage doors on to Woodsome Road are maintained for ease of access and to allow for the potential storage/charging of small electric cars in the future. .

7.14 The proposed new garage is to be built in yellow London stock brick, to match the existing rear extension brickwork.

7.15 The proposed new garage door shall be clad in a vertical timber cladding, to match the adjacent properties' garage door, for paint finish.

7.16 The proposed new garage shall have a sloped glass roof at the elevation facing No. 36 Woodsome Road, to ensure that there is no increase in elevation height above the existing garage roof height on the boundary. We have been in consultation with the owner of No. 36 Woodsome Road to ensure that all parties are comfortable with the proposed garage works.



Site Aerial photograph: image courtesy of Google Maps

8.0 Planning Precedents

8.1 The Dartmouth Park Conservation Area Advisory Committee released a statement in 2009 to guide Architects with their designs. The statement confirms that Woodsome Road and Boscastle Road are both located in the 'Dartmouth West' area of the conservation area, and states *'the fronts of the house retain their architectural integrity with the original ridge heights and an absence of rooflights or dormer windows'*, reference from page 18.

8.2 Taking direction from the above referenced statement, all proposed external works have been designed to ensure they are unseen from the Woodsome Road street frontage.

8.3 In order to modernise and architecturally simplify, we have proposed modest extensions to the rear of the property. We have proposed to enlarge the existing ground floor extension, adjacent to No 36 Woodsome Road, by 1.0m, towards the rear garden. We have proposed to enlarge the existing first floor extension by 1.0m, towards the rear garden. The proposed extension remains smaller than the existing extension at No. 36 Woodsome Road.

8.4 Examining the adjacent aerial photograph of the immediate neighbouring houses on Woodsome Road; there is a common design precedent for rear extensions to existing Victorian town houses, a combination of both single storey and 2 storey extensions, usually split 50/50 down the rear elevation.

8.5 The aerial photographs also show what appears to be full width rear extensions at No. 38, 46 and 48 Woodsome Road. It must be assumed, due to these houses being located within the Dartmouth Park Conservation Area, that these extensions have been granted planning permission.

8.6 The adjacent aerial photograph, also suggests that the modest extension we are proposing, is almost identical in shape to that already constructed at No 36 Woodsome Road; which has a rear two storey, with a first floor sash window, and a glass rooved single storey conservatory. The aerial photographs also suggests there is a full width two-storey rear extension, with large dormer window to a loft conversion, at No 38 Woodsome Road.

8.7 Also to be noted, is the recent planning approval for a full-width lower ground floor rear extension 22 Croftdown Road.



Image courtesy of Pinterest -Sustainability affects everything. Everything affects sustainability. #AREsketches

9.0 Sustainability

9.1 The current state of house interior; due to years of neglect, dis-repair, leaks, dry rot, requires the interior of the house to be completely stripped out and completely refurbished. Although this is a costly exercise, it does provide the opportunity to greatly improve the energy performance of a very low performing Victorian house.

9.2 The proposal includes, over and above current building regulation requirements, the addition of loft insulation, the addition of flat roof insulation, the addition of party wall thermal / acoustic insulation, the addition of insulation to all external walls, the addition of underfloor insulation to the ground floor, the addition of inter-floor thermal / acoustic insulation and the addition of wall thermal / acoustic insulation between habitable rooms.

9.3 The proposal includes the replacement of all single glazed timber window / door joinery with new double glazed timber window / door joinery with a significant increase in thermal transmittance, also known as U-value.

9.4 The proposal includes the replacement of a 25 year old glass roof with a new double glazed glass roof, again with a significant increase in thermal transmittance.

9.5 The proposal includes the addition of underfloor heating in the ground floor

9.6 The completed renovated house, with significantly increased thermal performance, will dramatically reduce the energy consumption and carbon footprint for heating the existing house, and in the current energy supply crisis and the UK's energy reduction aspirations, this must be encouraged for the public good.

9.7 The proposal includes the replacement of a derelict garage, which will give the applicants the option to have a home office and reduce their carbon footprint by working from home. Storage space will also allow one of the applicants to store materials required for her role within the British Film Industry.

9.8 The proposed new garage will allow for electric bike storage, bin storage and an electric car charging station. Storing bins away from the front of the house will enhance the appearance of the front elevation of the house, as well as the corner of Woodsome Road/Boscastle Road.

9.9 The proposal shall also incorporate the infrastructure for future installation of an air source heat pump and solar panels, although these are not currently being included in this planning application.



Image courtesy of Guy Davies

10.0 Conclusions

10.1 The Dartmouth Park Conservation Area Advisory Committee released a statement in 2009 to guide Architects with their designs. The statement celebrates that Woodsome Road and Boscastle Road are both located in the 'Dartmouth West' area of the conservation area, and states *'the fronts of the house retain their architectural integrity with the original ridge heights and an absence of rooflights or dormer windows'*, reference from page 18.

10.2 Taking direction from the above referenced statement, all proposed external works have been designed to ensure that the front of the existing house retains its architectural integrity and there are no changes to the ridge height or any proposed rooflights or dormer windows.

10.3 Overall, the submitted proposal is a small scale, and very modest, private householder development which reflects similar renovations works completed at the immediate neighbour's house at No. 36 Woodsome Road

10.4 Overall, the submitted proposal is smaller in scale than a number of other renovation works completed along Woodsome Road.

10.5 The proposal includes the simplification and rationalisation of the existing rear extension, in order to mesh more easily with the end elevation of an exemplar Victorian end of terrace town house.

10.6 The proposal has sought to deliver a high quality design approach, which reflects the character, scale and appearance of its surroundings and which provides a robust and sensitive approach.

10.7 For these reasons describes above, we conclude that the proposal complies with the content of the relevant local and national planning policies and as such, we trust that Planning Permission can be granted without delay.



11.0 Planning Documents:

Planning application submission documents include the following:

- Camden Council application form
- Payment of Camden application fee
- Site location plan
- Existing site photographs –drawings 2203-101, 102
- Existing site plan –drawing 2203-1000
- Proposed site plan -drawing 2203-1001
- Proposed floor plans –drawings 2203-1101, 1102, 1103, 1104
- Existing floor plans –drawings 2203 -1111, 1112, 1113, 1114
- Proposed elevations –drawings 2203-1301, 1302, 1303
- Existing elevations –drawings 2203-1311, 1312
- Proposed section –drawing 1201, 1202
- Design & access statement

Please note that this statement is to be read in conjunction with the above listed Architectural drawings.