



# 21 Chalcot Square

*Heritage Statement*

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## SPACE A.

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# HERITAGE STATEMENT

## a) Historic England Listing

21 Chalcot Square is part of listing no. 1258098 for 20 - 28, initially listed on 14 May 1974, the entry being revised on 11 January 1999 :

*TQ2884SW CHALCOT SQUARE 798-1/64/190 (East side) 14/05/74 Nos.20-28 (Consecutive) and attached railings (Formerly Listed as: CHALCOT SQUARE Nos.1-33 AND 33A (Consecutive)) GV II*

*Terrace of 9 houses forming east side of Chalcot Square. 1855-60, altered. Stucco with rusticated ground floors, mostly painted. Nos 20, 23-25 & 28, slate mansard roofs with dormers. EXTERIOR: 3 storeys, attics and basements except Nos 21 & 22 and 26 & 27, slightly projecting, with 4 storeys and basements. (Nos 22 & 26 with C20 penthouses). 3 windows each. Prostyle Doric porticoes supporting balustraded stucco balconies continuing across 1st floor windows. Doorways with cornice-heads, fanlights, side lights and panelled doors (some part glazed). Tripartite sashes to ground floors. Projecting houses with panelled pilasters at angles rising from 1st floor level to support the main entablature with modillion cornice (which continues across other houses) below attic storey. Upper floors, lugged architrave sashes with margin glazing; 1st floors joined by continuous cornice with keystones above windows and console-brackets between and pediments over central windows (projecting houses, segmental). 2nd floors with keystones; central windows having large keystone projecting into the architrave above. Attic storeys with pilaster strips at angles, cornice and blocking course. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings to areas.*



Fig 01 : The front lower portion of 21 Chalcot Square



Fig 02 : The front upper portion of 21 Chalcot Square



Fig 03 : The basement front lightwell



Fig 04 & 05 : Photographs of the front lightwell & steps

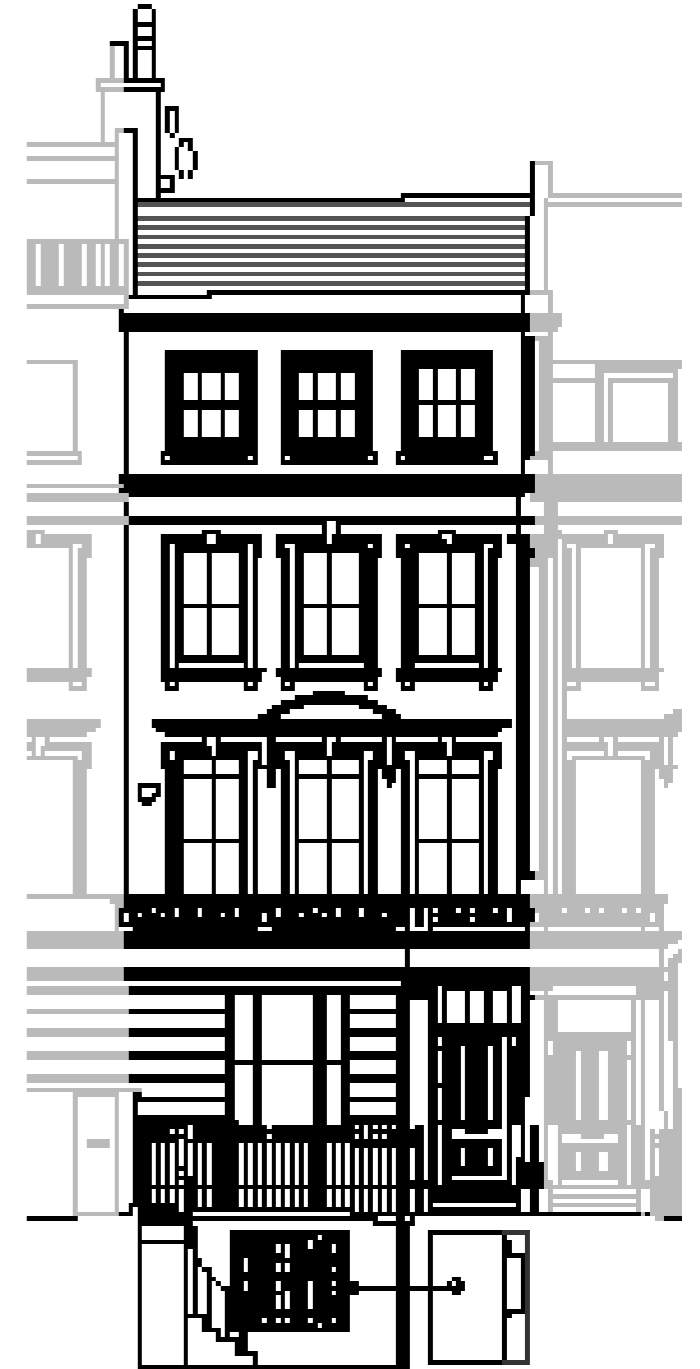


Fig 06 : Drawing showing the front of 21 Chalcot Square

# HERITAGE STATEMENT

## *b) Significance*

The primary architectural significance of each building is in the aesthetic and architectural quality of the terrace of which they are part, their contribution to group value of Chalcot Square and to the wider Primrose Hill Conservation Area.

Primary historic significance is the buildings' evidence as part of the mid 19th century expansion of middle-class London.

The buildings are characteristic of their age and the regional type, the London terrace house, and are significant because of that typicality, not because of singularity.

The typicality of the London terrace house plan form and surviving historic fabric confers significance on the interiors but this has been substantially diminished at lower ground floor level in each by serial alterations of layout and replacement of original fabric.



*Fig 07 : View of the rear facade - closet wing*



*Fig 08 : View of the rear facade - closet wing top*



*Fig 09 : View of the rear facade - main & side closet*



*Fig 10 : View of the glass box extension basement*



*Fig 11 : Drawing showing the rear of 21 Chalcot Square*

# HERITAGE STATEMENT

## *c) Description of the Proposals and their Impact on the Heritage Assets*

The proposal seeks to introduce one reversible air source heat pump for cooling and heating to 21 Chalcot Square. The location has been selected in order to have a minimal visual and acoustic impact on the listed building and the Primrose Hill Conservation Area.

The reversible air source heat pump would be acoustically protected by a specially designed shroud in order to meet the acoustic requirements as stated in the accompanying report 'Noise Impact Assessment'. It would be visually masked by a wooden screen & climbing plants so as to disguise the unit as a green and verdant garden. This would encourage wildlife and biodiversity whilst helping to maintain Primrose Hill's lush roof garden environment.

As to minimize the loss of historic fabric, services plan installations to be generally inside existing (1990s era) joinery units. Runs will track between floor joists so as to have no impact to the internal historic finishes. Existing voids, ducts and pipework are to be re-utilized wherever possible. A 'Daikin slim concealed wall unit' would be placed in each of the four rooms requiring mechanical cooling.

It is also proposed to :

1. Introduce security grills to the front and rear windows of the basement level
2. Move bathrooms to better suit the requirements of the occupants with regards to health and safety and the Equality Act.
3. Remove redundant drainage infrastructure on the rear facade to enhance the appearance'

None of these interventions are seen to materially harm the historic building fabric.

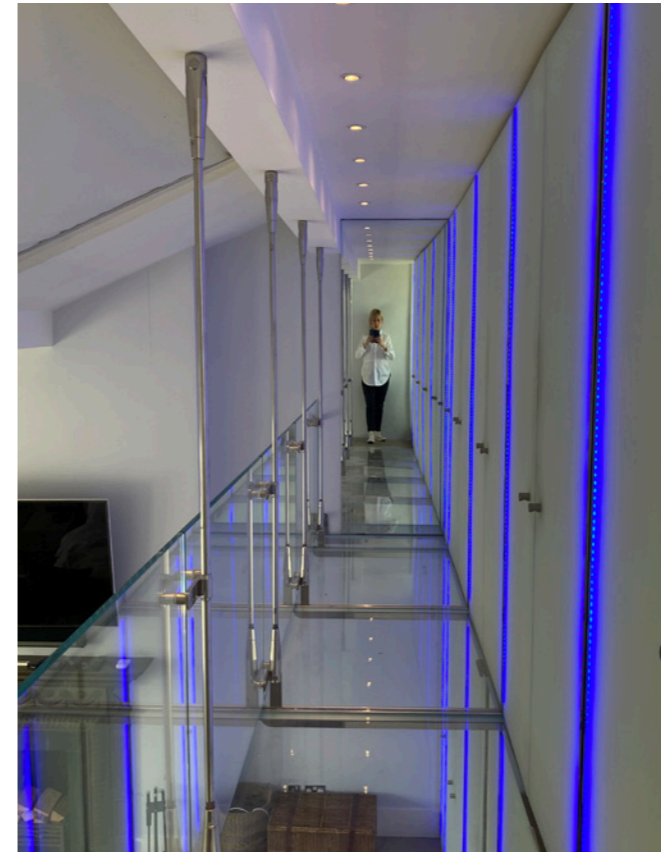


Fig 12 : 3rd floor mezzanine joinery structure



Fig 14 : 2nd floor joinery cupboard



Fig 13 : 3rd floor joinery where service runs are to go



Fig 15 : 1st floor joinery