

Appendix A

Brickwork Details | Core

2022 Consented Scheme

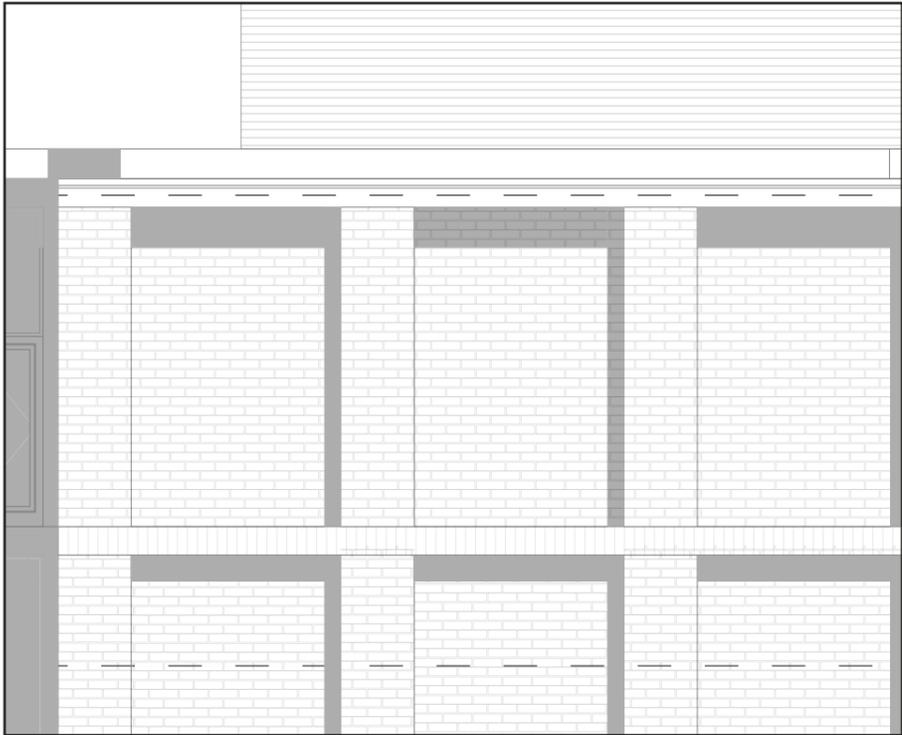
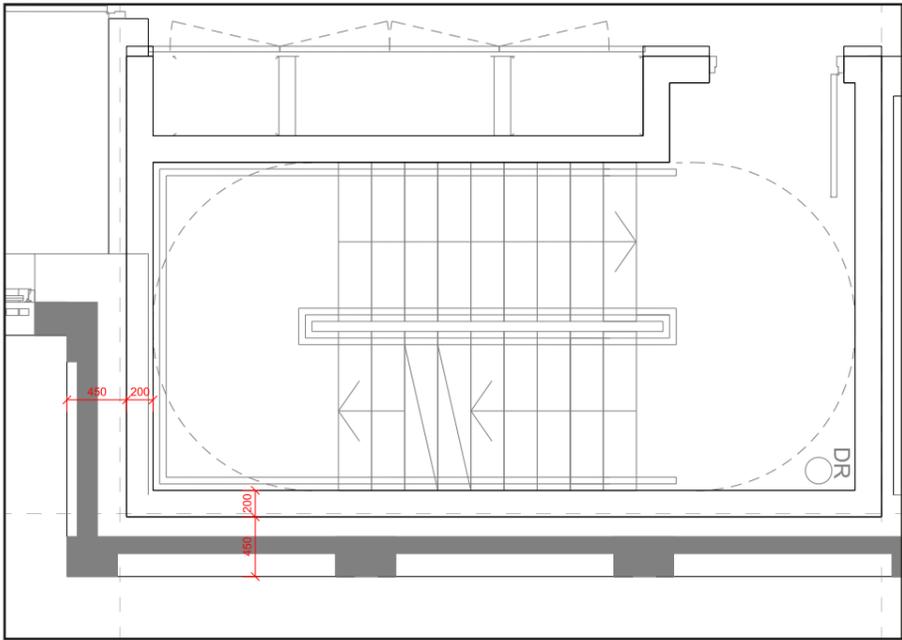
The consented scheme proposes a pattern of recessed blind windows around the core using the pre-cast concrete system. The S73 submission proposes replacing the pre-cast concrete to the rear elevation with brickwork.

In both submissions, 450mm was allowed for the envelope build-up around the core, including both the thicker frame build-up, and the thinner recessed blind windows.

2022 Proposed S73

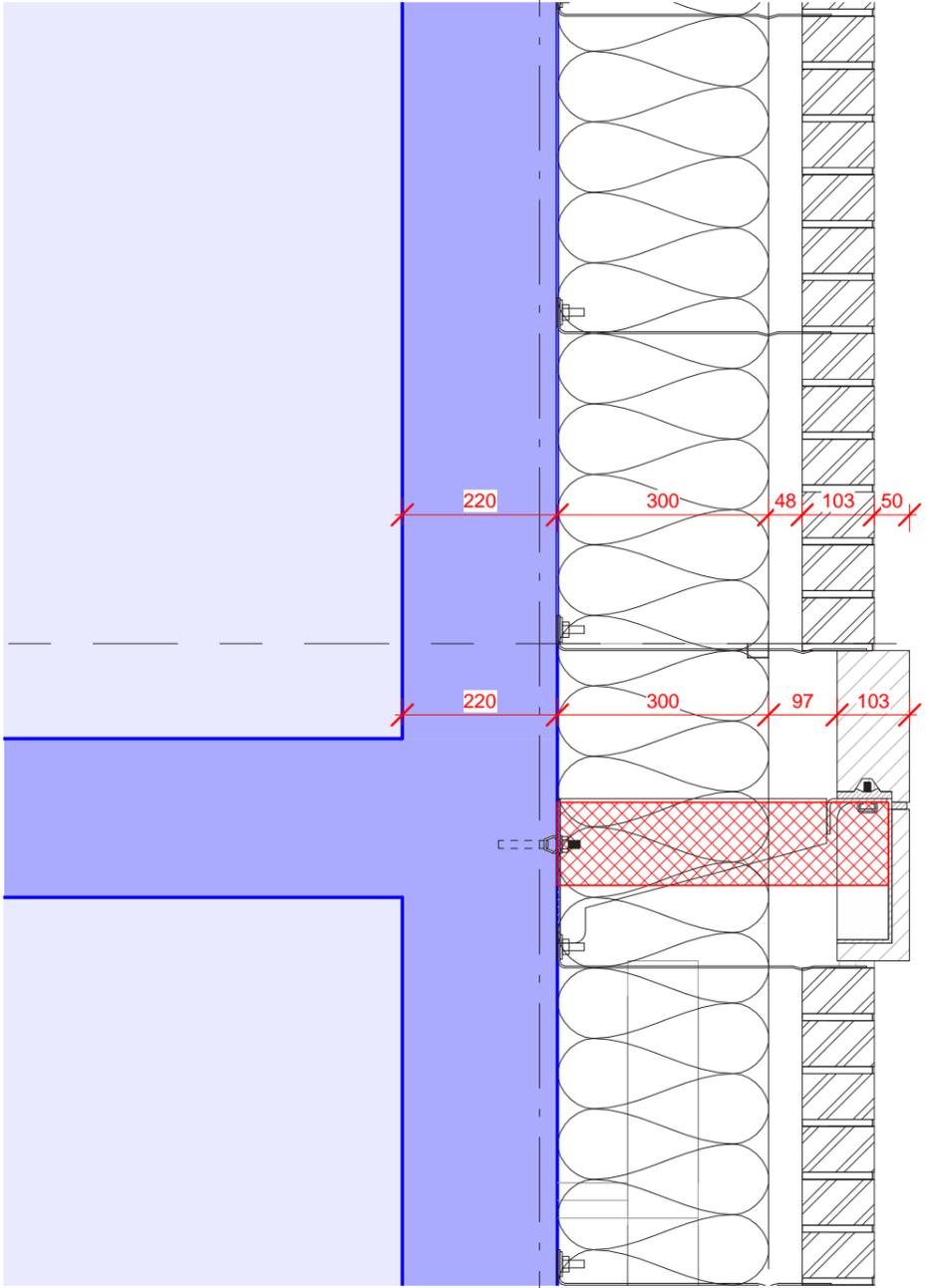
Following technical design and review of brick setting out, 450mm is confirmed as the *minimum* setting out required to provide compliant thermal performance and drainage cavity. To achieve any recessed expression, the recessed build-up will need 450mm, and projections will need more.

To achieve the blind window articulation, and to build to brick dimensions, without losing area to affordable units, this submission proposes that the outer face of the brick envelope be increased by up to 50mm in select locations.



R3

Proposed Detail
Section through brick recess



Appendix A

Brickwork Details | Wall Build-up

Gray's Inn Road Elevation
2022 Proposed S73



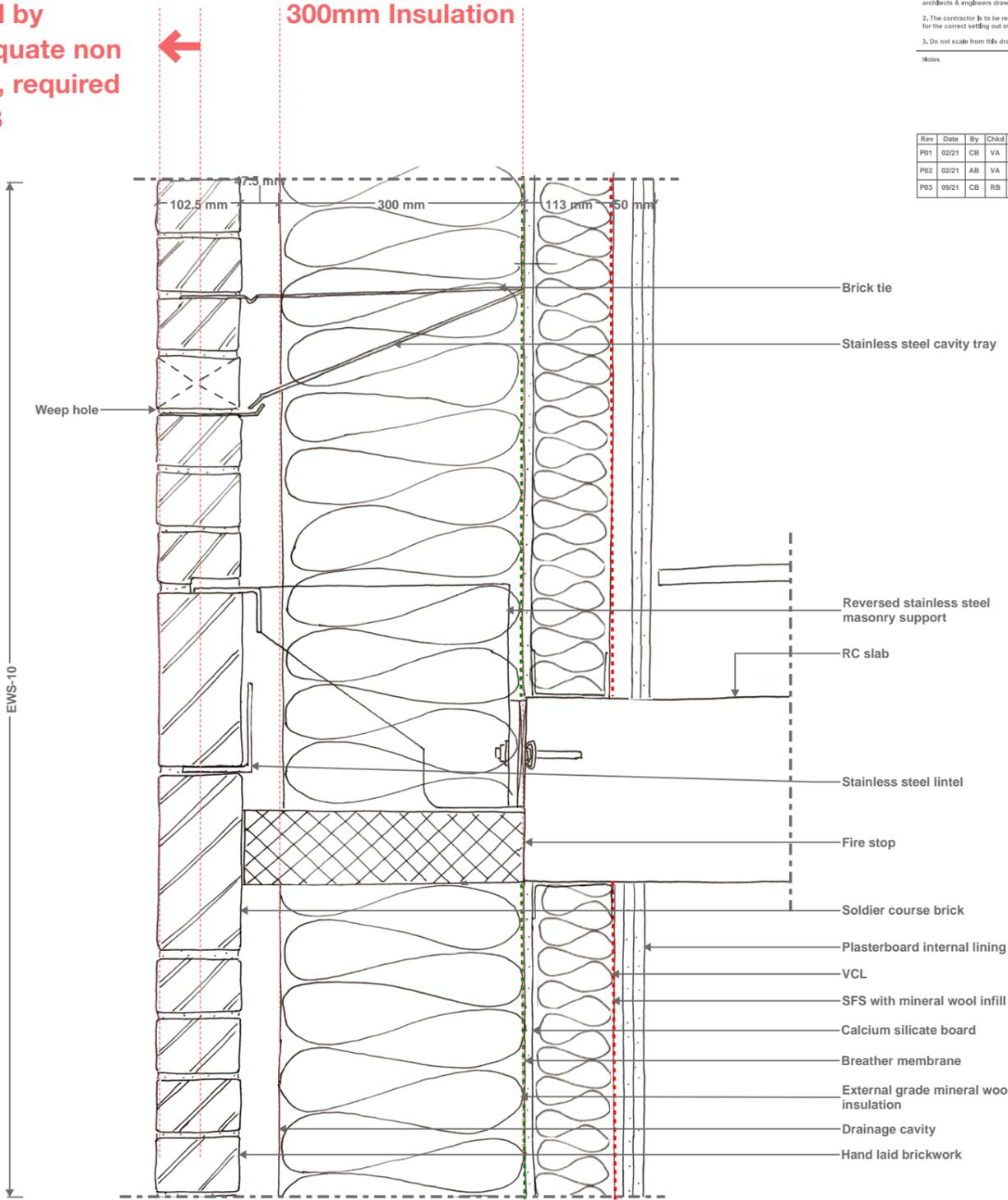
External wall increased by 50mm to allow for adequate non combustible insulation, required by the update to Part B



50mm increase

General Notes
1. This drawing is to be read in conjunction with all relevant architects & engineers drawings & specifications.
2. The contractor is to be responsible for all dimensions & for the correct setting out of the works on site.
3. Do not scale from this drawing.
Notes

Rev	Date	By	Chkd	Description
P01	02/21	CB	VA	S4 - For Stage Approval
P02	02/21	AB	VA	S4 - For Stage Approval
P03	09/21	CB	RB	S4 - For Stage Approval



Detail Section: Insulated Brickwork Piers

Appendix A

Brickwork Details | Wall Build-ups

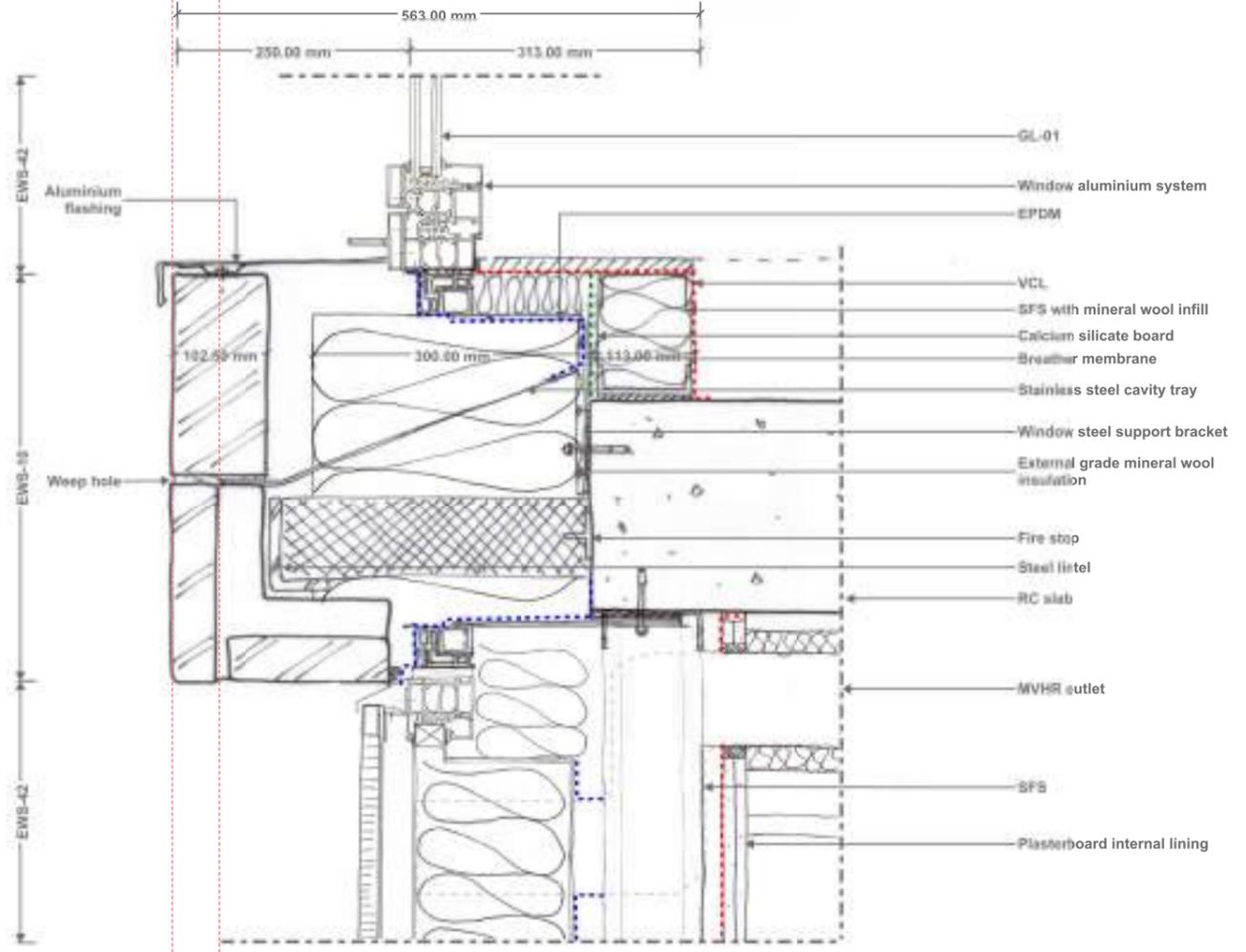
Gray's Inn Road Elevation
2022 Proposed S73



50mm increase

Rev	Date	By	Chkd	Description
P01	02/21	CB	VA	S4 - For Stage Approval
P02	02/21	AB	VA	S4 - For Stage Approval
P03	09/21	CB	RB	S4 - For Stage Approval

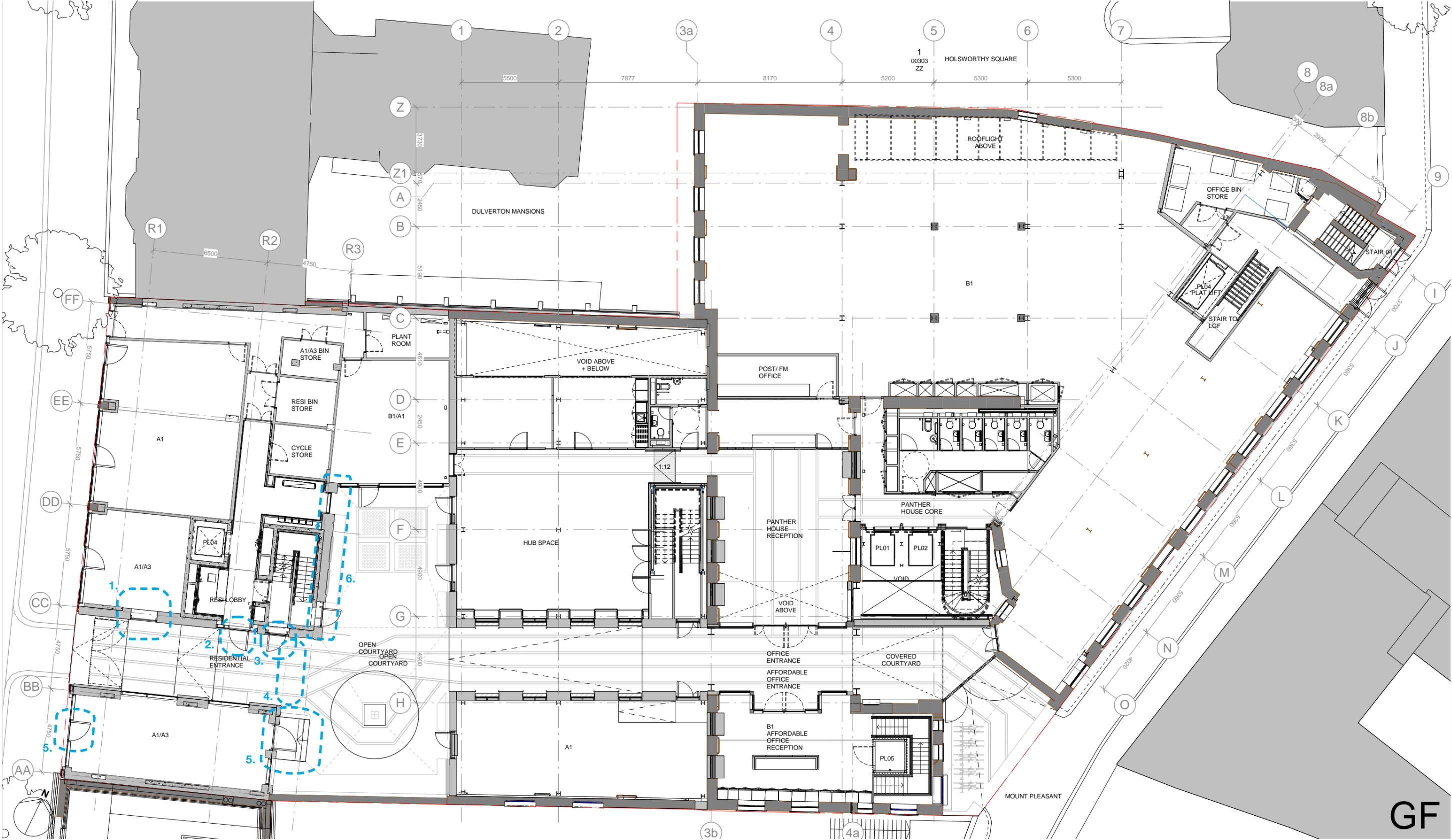
External wall increased by 50mm to allow for adequate non combustible insulation, required by the update to Part B



Detail Section: Soldier Course Lintels

Appendix B

Ground Floor Plan



1. Change of secondary retail door to window
 2. Change of double door to single door
 3. New door for direct egress to outside from escape stair

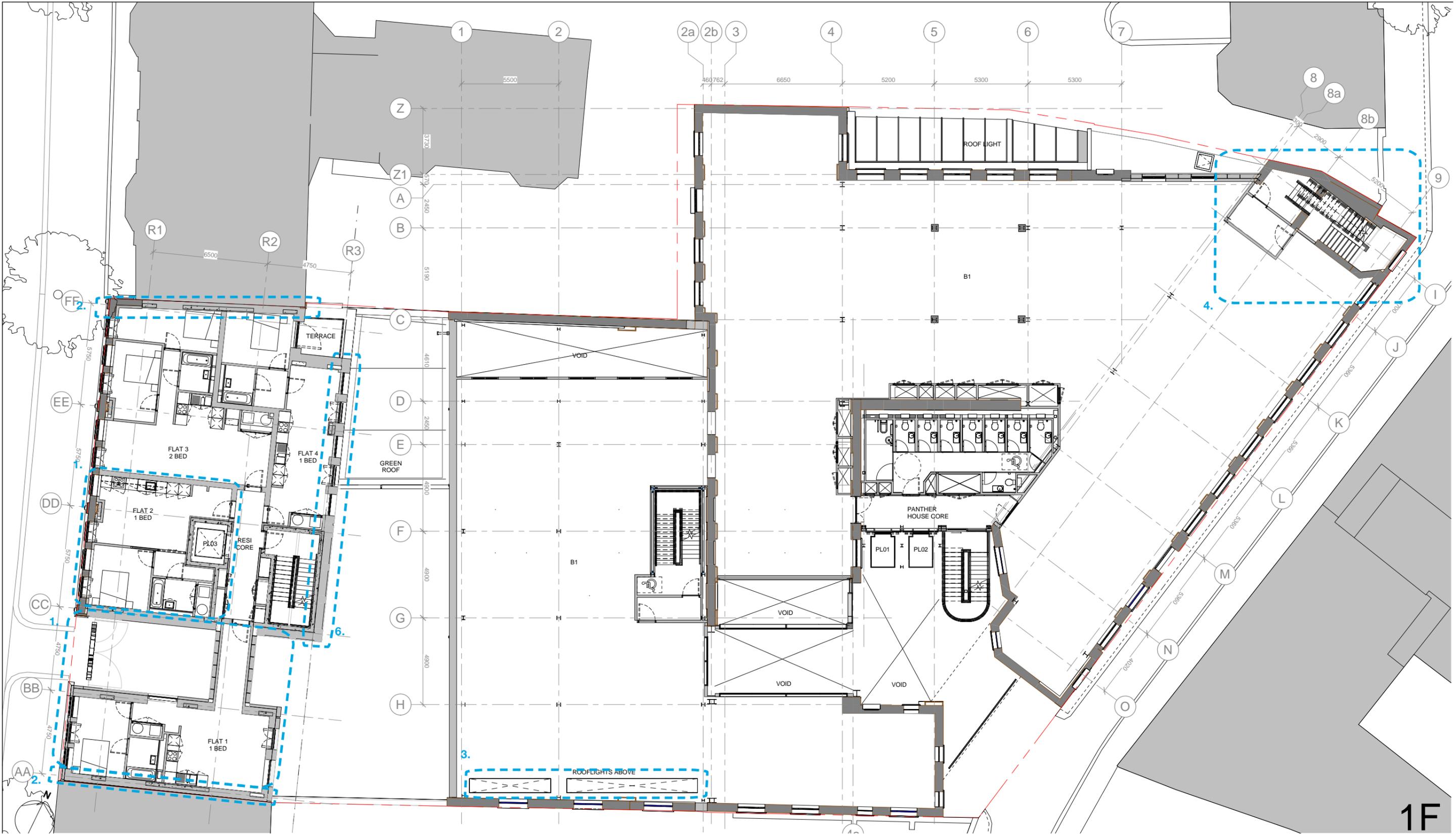
4. Omission of second gate
 5. Level access to Gray's Inn Road primary entrance to retail unit necessitates level change in courtyard to secondary door

6. External wall to rear expanded 50mm as per Appendix A to allow for greater insulation zone.

GF

Appendix B

First Floor Plan



1F

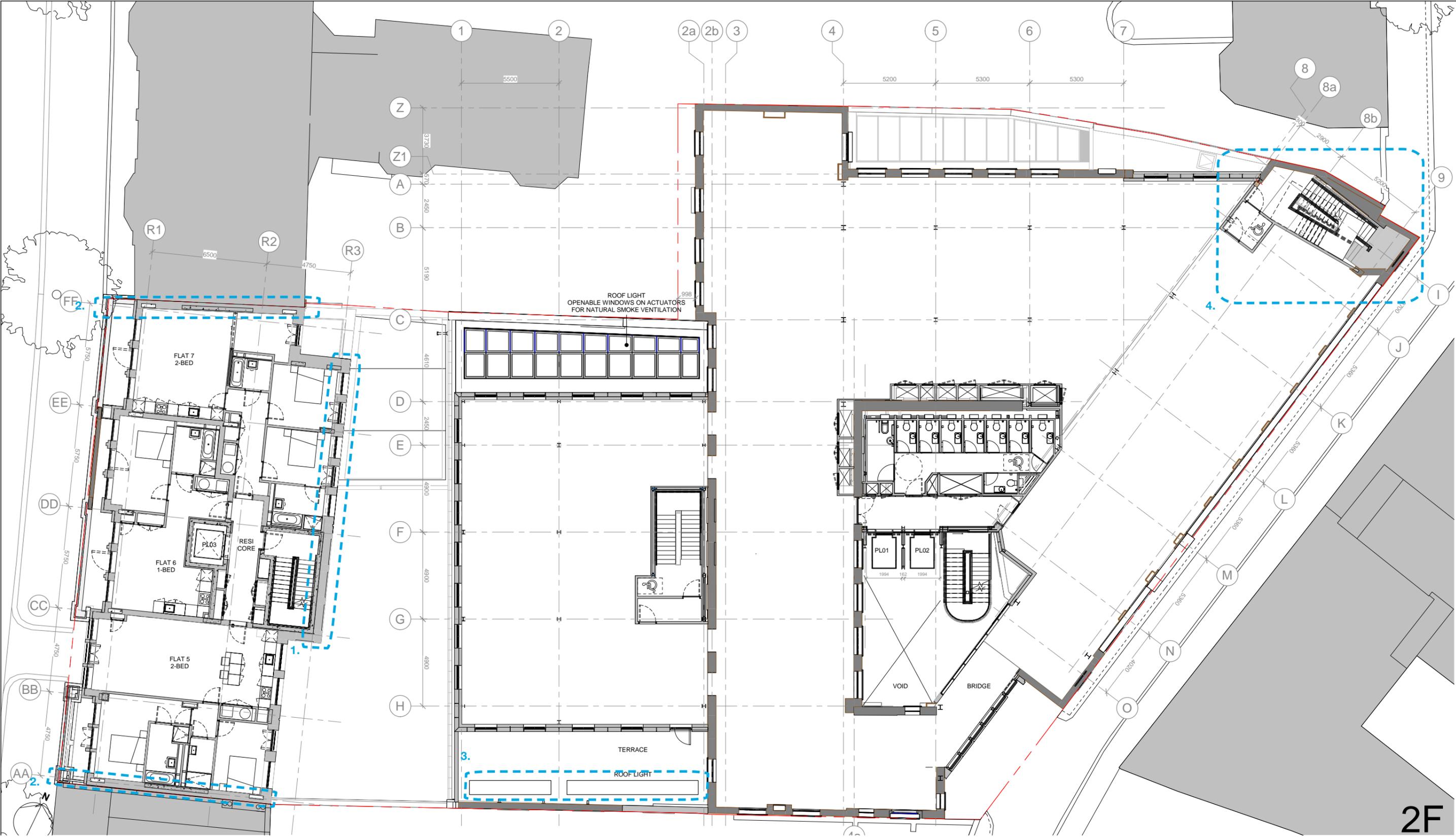
1. Changes to internal layouts of flat 1 and 2 to improve space standards.
 2. Enhanced party wall build-up to meet updated guidance

3. Rooflights changed to square to "wash" the retained existing glazed brickwork.
 4. Design development of NE stair and lobby to reflect existing.

6. External wall to rear expanded 50mm as per Appendix A to allow for greater insulation zone.
 7. Bridge widened to create storage areas for flat 1

Appendix B

Second Floor Plan



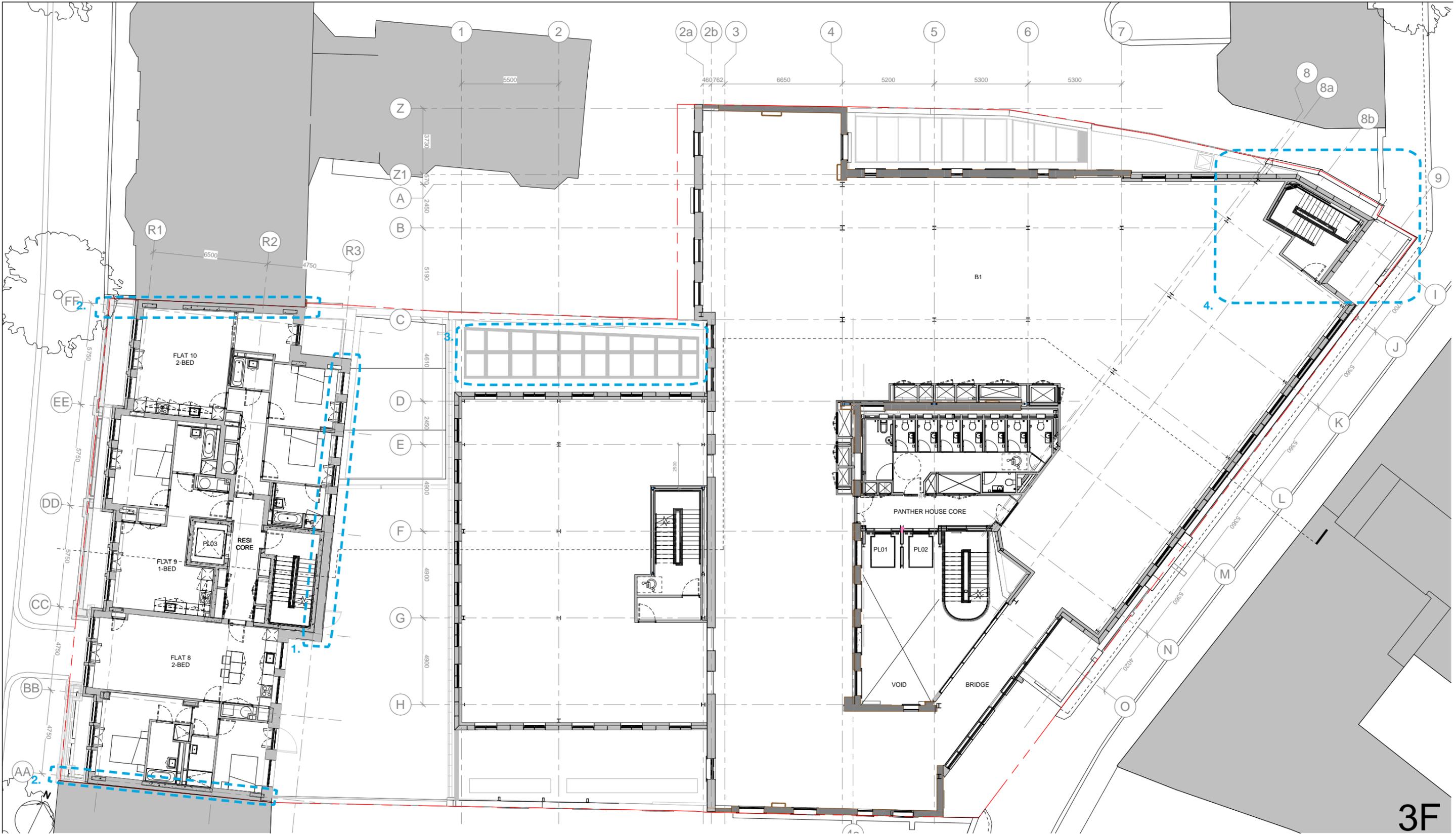
2F

1. External wall to rear expanded 50mm as per Appendix A to allow for greater insulation zone.
 2. Enhanced party wall build-up to meet updated guidance

3. Rooflights changed to square to "wash" the retained existing glazed brickwork.
 4. Design development of NE stair and lobby to reflect existing.

Appendix B

Third Floor Plan



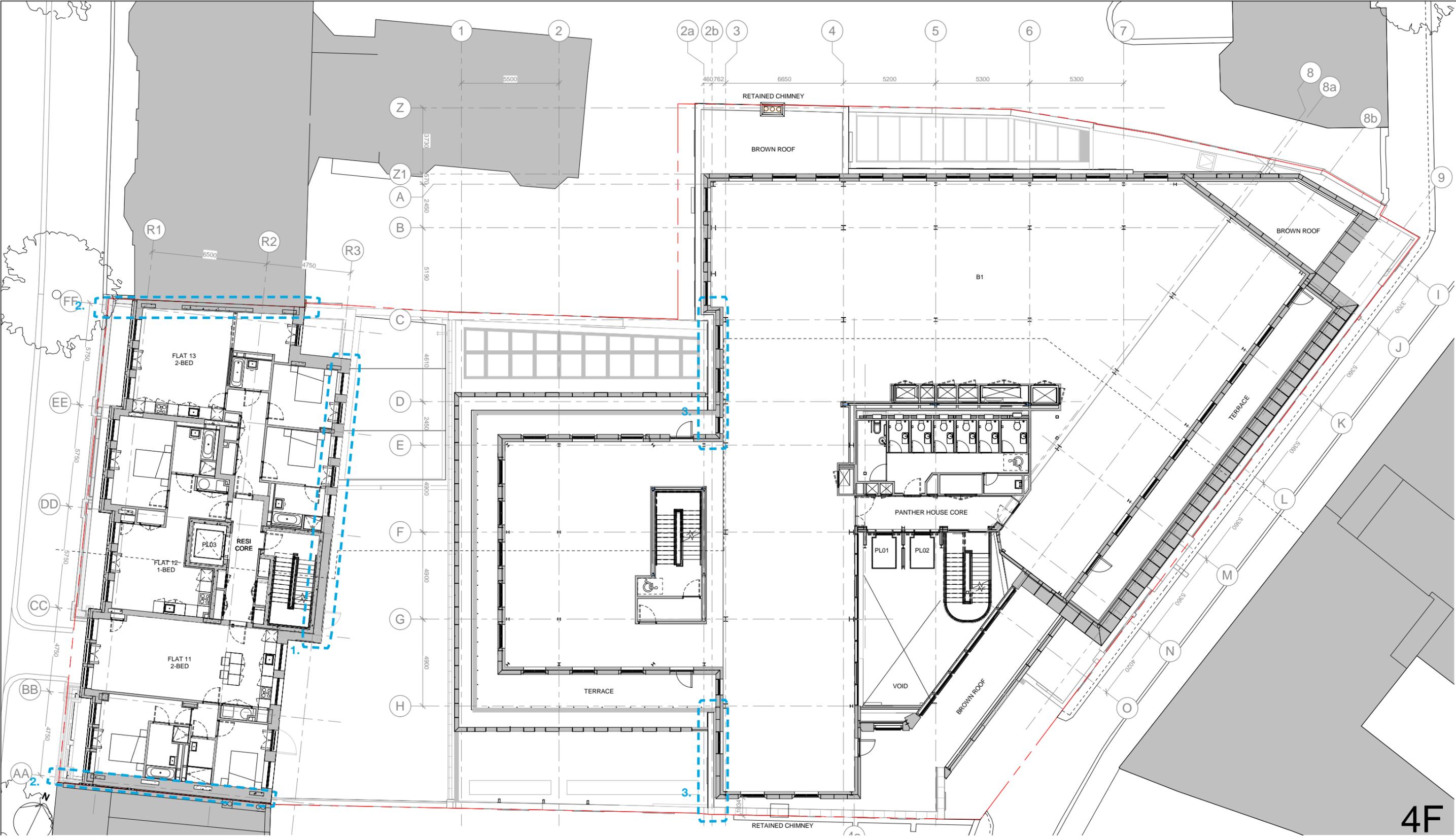
3F

1. External wall to rear expanded 50mm as per Appendix A to allow for greater insulation zone.
 2. Enhanced party wall build-up to meet updated guidance

3. Design development of rooflights to LGF
 4. Design development of NE stair and lobby to reflect existing.

Appendix B

Fourth Floor Plan



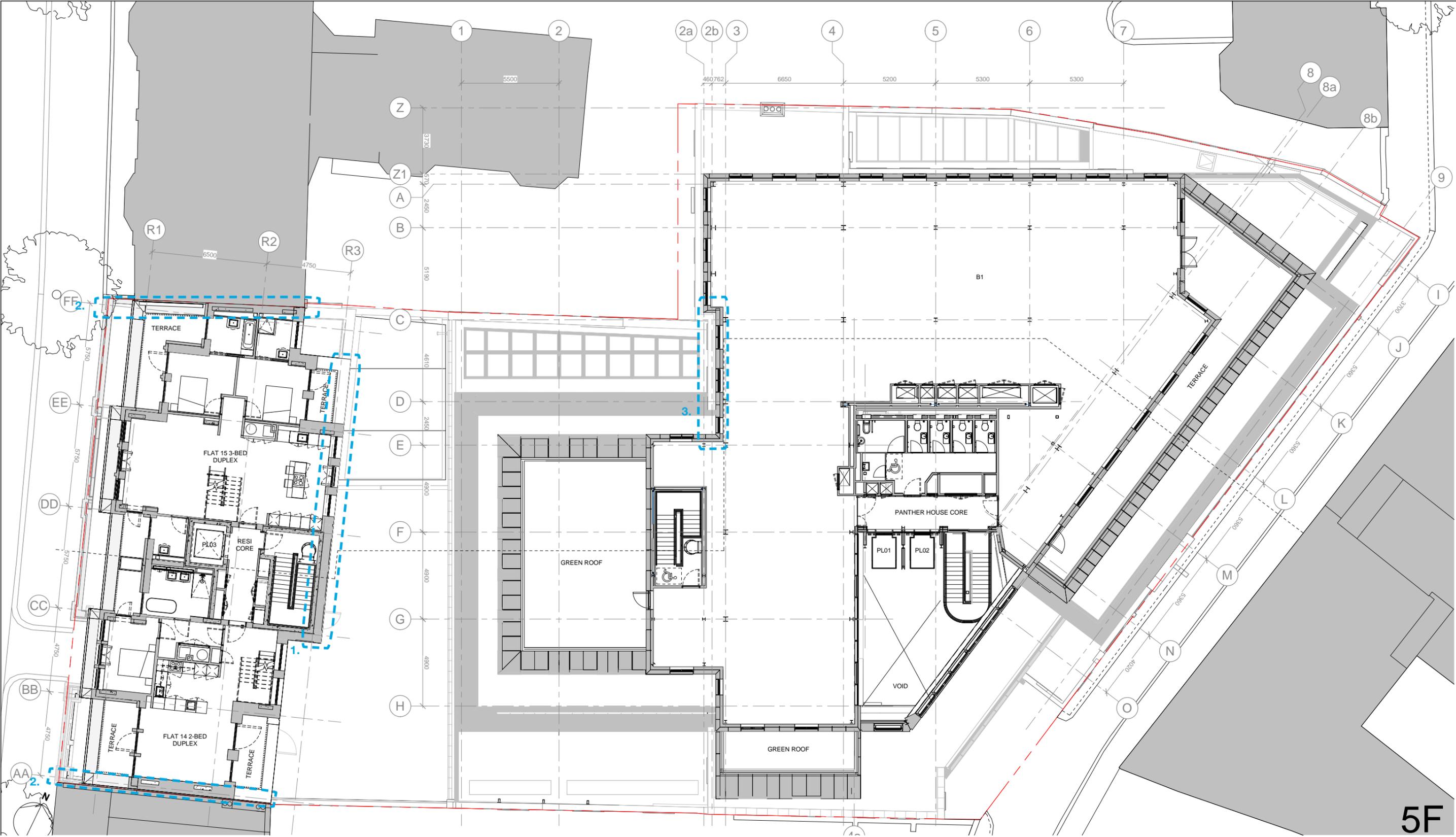
4F

1. External wall to rear expanded 50mm as per Appendix A to allow for greater insulation zone.
 2. Enhanced party wall build-up to meet updated guidance

3. Extension set in from existing facade to allow for better coping detail.

Appendix B

Fifth Floor Plan



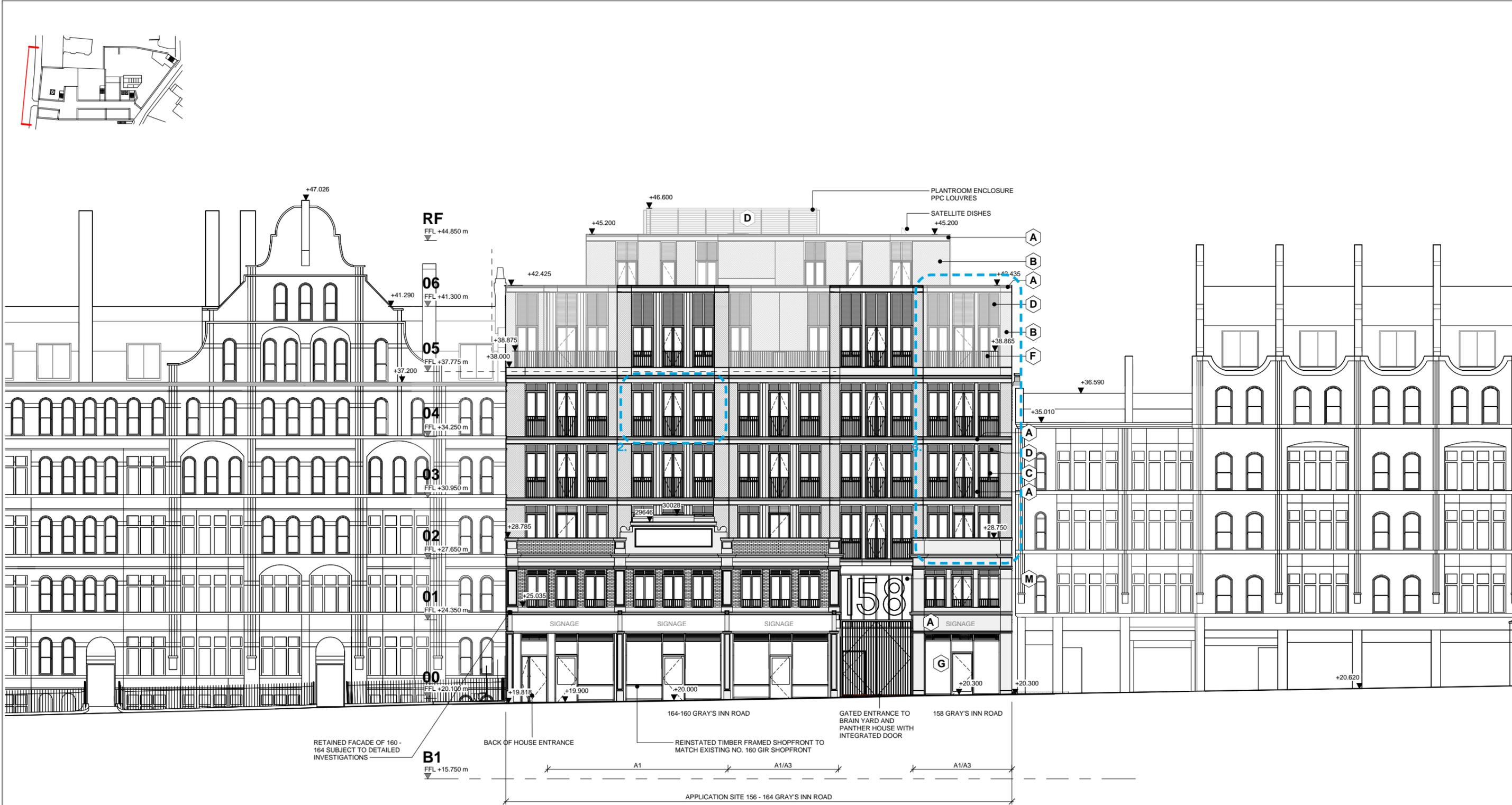
5F

1. External wall to rear expanded 50mm as per Appendix A to allow for greater insulation zone.
 2. Enhanced party wall build-up to meet updated guidance

3. Extension set in from existing facade to allow for better coping detail to level below.

Appendix B

Gray's Inn Road West Elevation

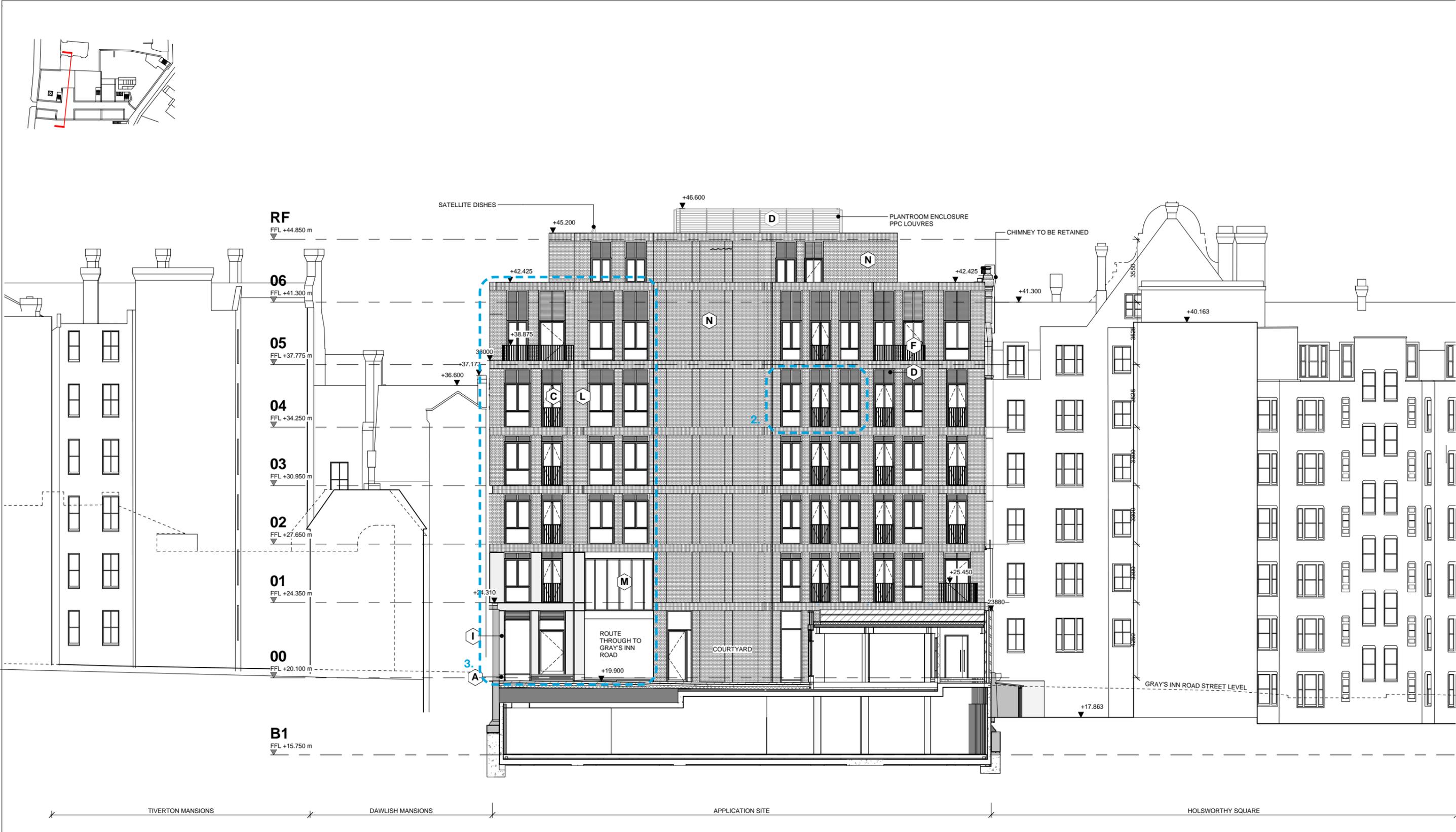


1. Generally: Window setting out has changed to reflect enhanced party wall thickness to meet updated guidance.
 2. Window bay change as described in section 3.a of report

3. Thicker boundary wall to meet insulation requirements. Window bays have shifted to the left 200mm.

Appendix B

Gray's Inn Road East Elevation

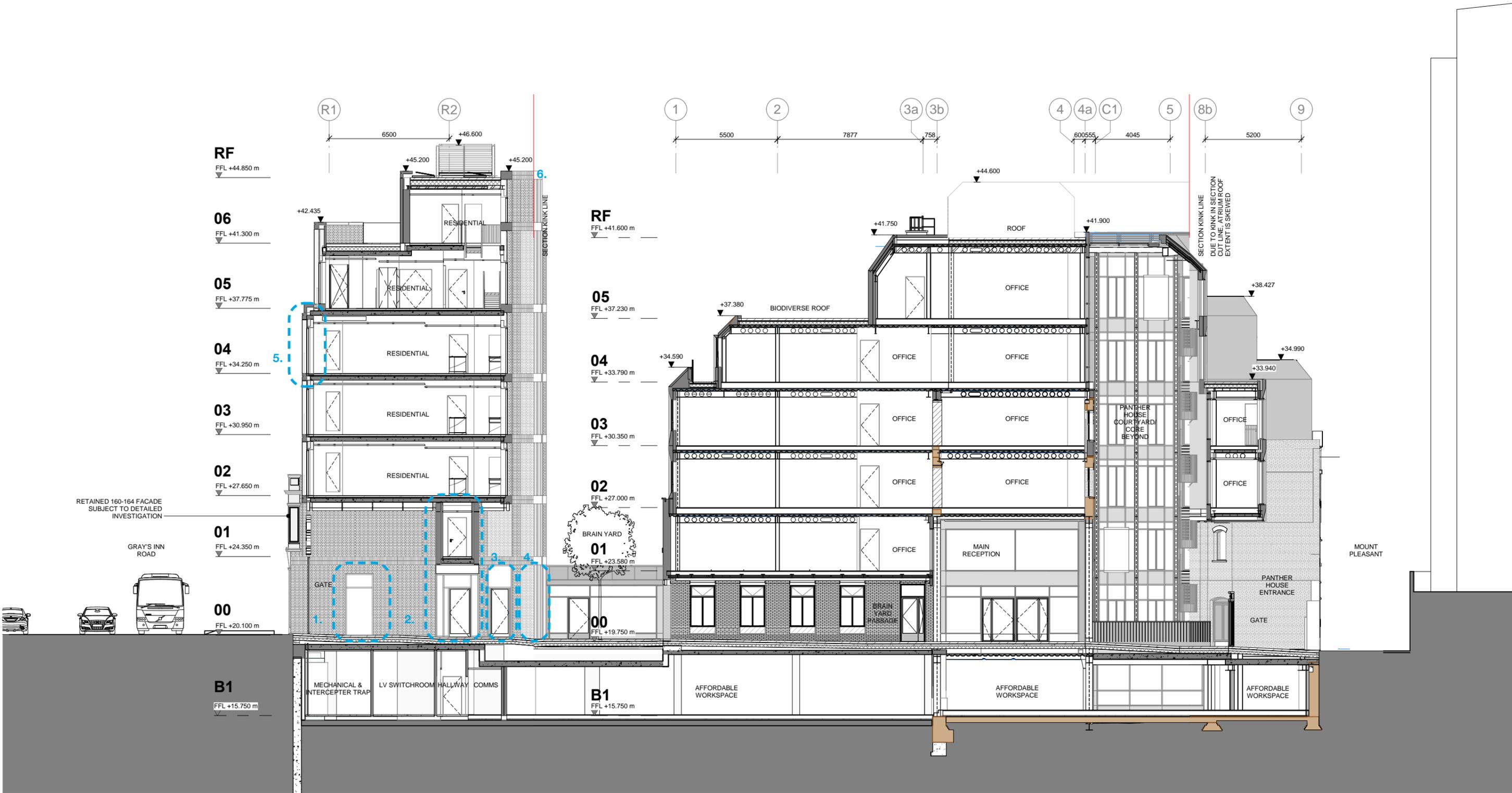


1. Generally: Window setting out has changed to reflect enhanced party wall thickness to meet updated guidance.
 2. Window bay changed to improve internal layout flexibility

3. Change to rhythm of windows to improve internal layouts

Appendix B

Section A - A



1. Retail secondary door changed to window
 2. Bridge widened and alignment to residential entrance door below honoured.

3. Door added to allow residential escape to bypass lobby and allow for direct egress to external areas
 4. Secondary gate omitted

5. Changes to Gray's Inn Road facade bay
 6. Wall Build-ups increased 50mm to meet Part L regulations