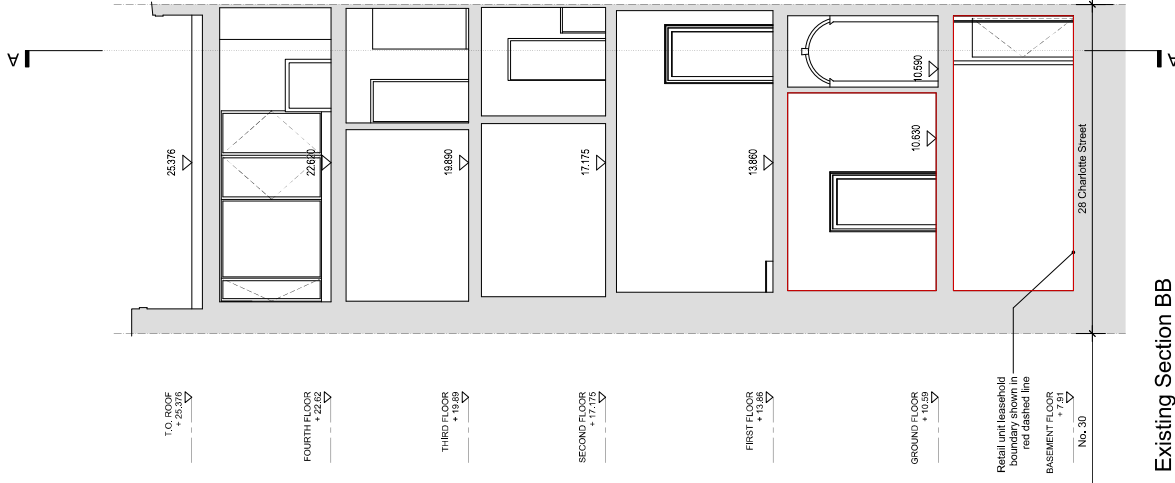
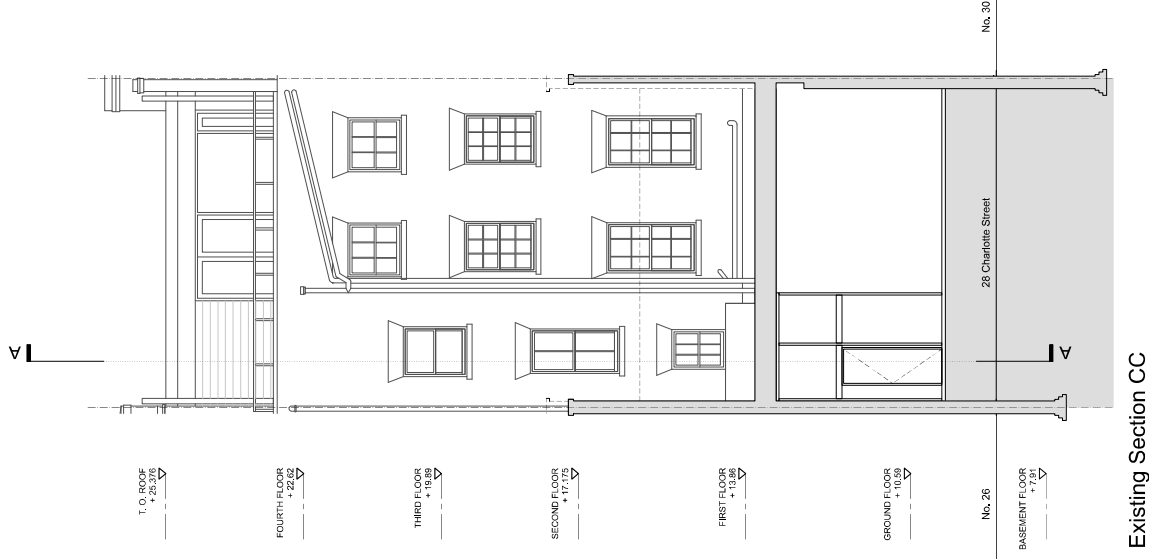


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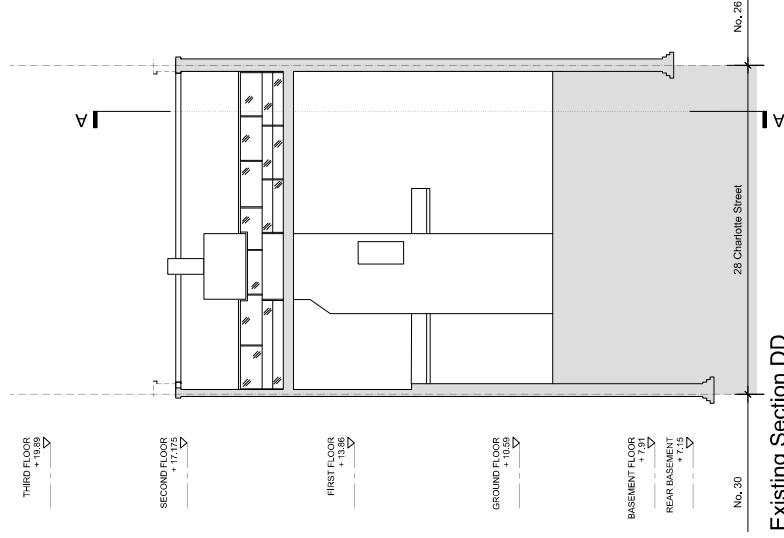
--- Leasehold retail unit boundary (outside of application)



Existing Section BB



Existing Section CC



Existing Section DD

REVISION:	DATE:	REVISION:
Project	28 Charlotte Street	
Drawing	Existing Section BB CC & DD	
Drawing No.	28CS(00)/A06	

1st Floor: 28 Charlotte Street
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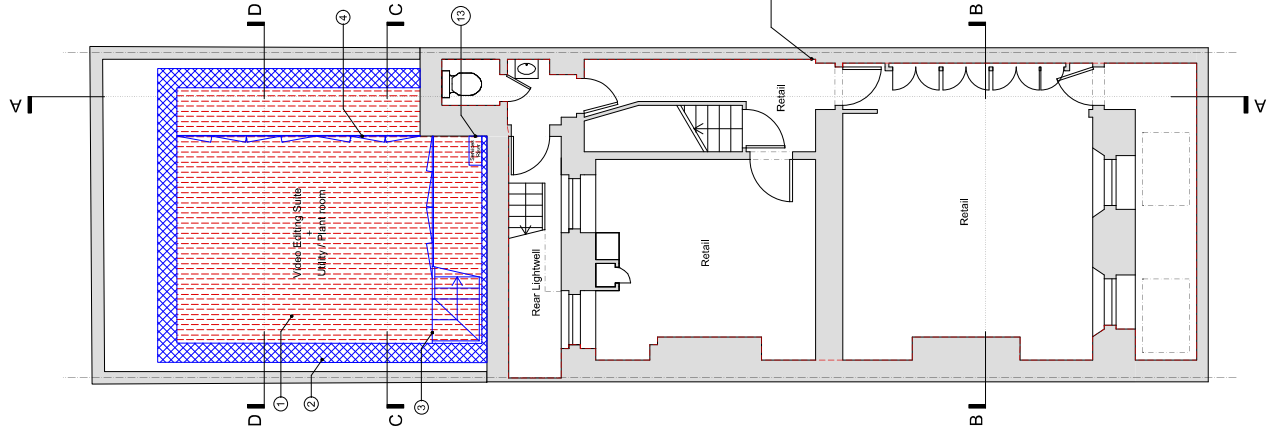
Job No. 28CS Date 03.02.20 Scale 1:100@A3 1:50@A1

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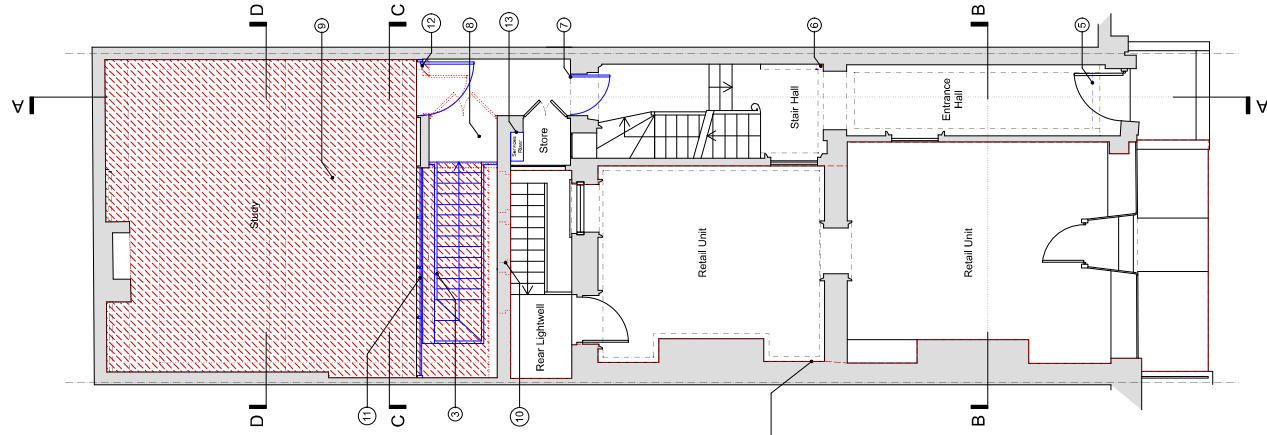
APPENDIX B
DESIGN ALTERATION DRAWINGS

KEY

1. Made ground within existing historic walls to be removed and reinstated as new concrete walls of set form original basement walls.
2. New basement mass concrete wall and doors, built within existing historic walls, without undermining existing foundations.
3. New basement stairs with plant enclosure underneath.
4. Plant enclosure on raised basement slab step.
5. Corridor to be reinstated to match adjacent existing historic profile.
6. Removal of corner service boxes, existing cornice to be reinstated to missing areas to match existing historic cornice.
7. New timber panelled door to match historic detailing of main dwelling, reinstated within original doorway.
8. Non original existing cupboard doors and rear brick infill to be removed for access to new basement stairs.
9. Existing floor structure to be removed for basement excavation and rebuilt with new timber floor and void to new stair area.
10. New clerestory windows formed into existing masonry wall (shown dashed above).
11. New timber frame glazed screen with vertical timber framing to match rhythm of retained existing fanlight.
12. Existing doorway widened to match partition rhythm. Existing timber framing retained.
13. New services riser to connect basement plant space to the main dwelling.



Basement (-1) Floor



Ground Floor

KEY

- Area of ground excavation
- Area of existing element removed
- Existing element removed
- Area of new floor structure
- New partition/wall
- New element
- Existing wall/building fabric
- Existing door
- Existing window
- New door
- New window
- Leasehold retail unit boundary (outside of application)

NOTES:

1. All existing plaster and timber features to be retained unless otherwise noted on plan.
2. All existing windows and doors to be retained unless otherwise noted on plan.



Project
1st Floor, 59 Charlotte Street

Drawing
Alteration B-1 & Ground Floor, Floor Plans

Drawing No.
28CS(10)A01

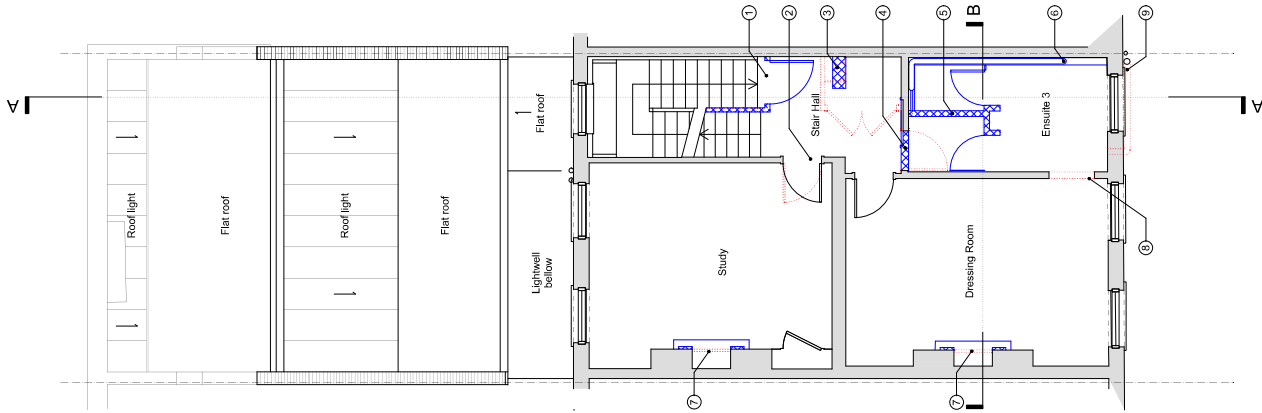
24 Chiswell Place
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Job No.
28CS

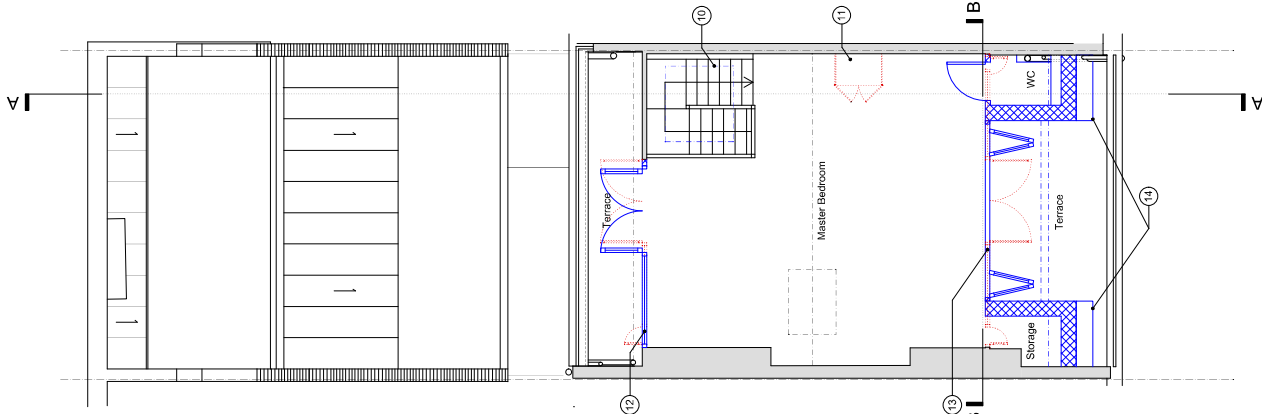
Date
13.03.20

Scale
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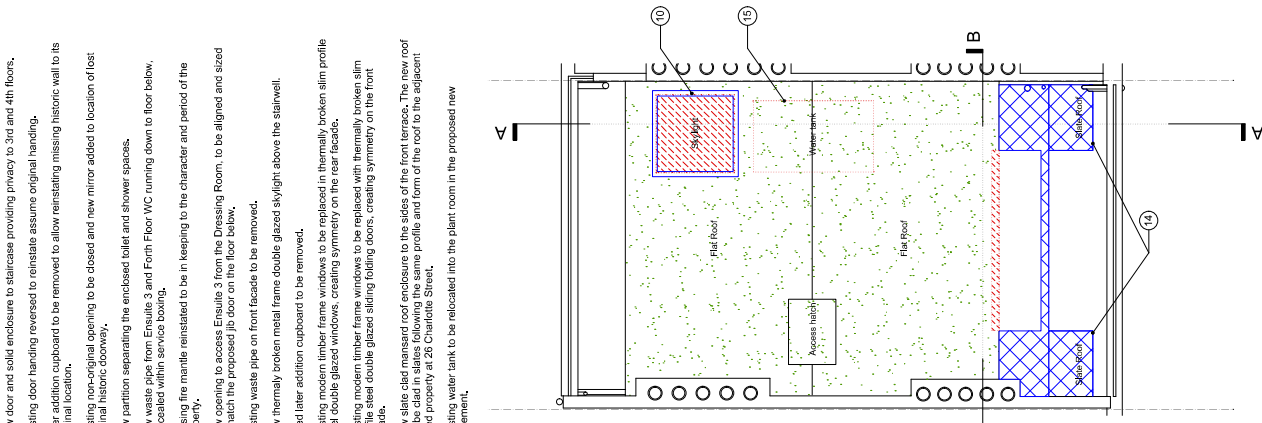
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Third Floor



Fourth Floor

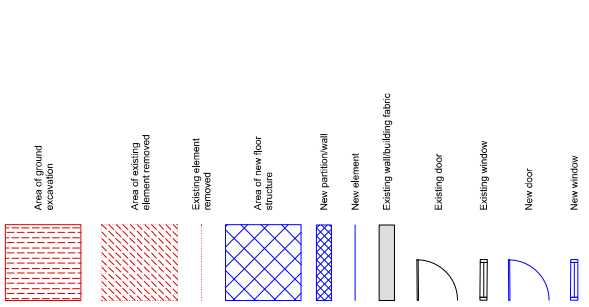


Roof Plan

KEY

1. New door and solid enclosure to staircase providing privacy to 3rd and 4th floors.
2. Existing door handling reversed to reinstatement original handing.
3. Later addition cupboard to be removed to allow reinstating missing historic wall to its original location.
4. Existing non-original opening to be closed and new mirror added to location of lost original historic doorway.
5. New partition separating the enclosed toilet and shower spaces.
6. New waste pipe from Ensuite 3 and Forth Floor WC running down to floor below, concealed within service boxing.
7. Missing fire mantle reinstated to be in keeping to the character and period of the property.
8. New opening to access Ensuite 3 from the Dressing Room, to be aligned and sized to match the proposed jib door on the floor below.
9. Existing waste pipe on front facade to be removed.
10. New internally broken metal frame double glazed skylight above the stairwell.
11. Fixed later addition cupboard to be removed.
12. Existing modern timber frame windows to be replaced in thermally broken slim profile steel double glazed windows, creating symmetry on the rear facade.
13. Existing modern timber frame windows to be replaced with thermally broken slim profile steel double glazed sliding folding doors, creating symmetry on the front facade.
14. New slate clad mansard roof enclosure to the sides of the front terrace. The new roof will be clad in slates following the same profile and form of the roof to the adjacent listed property at 26 Charlotte Street.
15. Existing water tank to be relocated into the plant room in the proposed new basement.

KEY



NOTES:

1. All existing plaster and timber features to be retained unless otherwise noted on plan.
2. All existing windows and doors to be retained unless otherwise noted on plan.



Project
28 Charlotte Street
Drawing
Alteration 3rd, 4th, Roof, Floor Plans
Drawing No.
28CS (10)A03

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Date
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1:100@A3
1:50@A1

KEY



Area of ground excavation



Existing structure removed

Existing element removed

New partition/wall

New element

--- Leasehold retail unit boundary (outside of application)

KEY

1. Existing water tank to be relocated into the new plant room in the basement.

2. New slate clad mansard roof enclosure to the sides of the existing roof structure, following the same profile and form of the roof to the adjacent listed property at 26 Charlotte Street.

3. Existing modern timber frame windows to be replaced with thermally broken slim profile steel double glazed sliding folding doors, creating symmetry on the front facade.

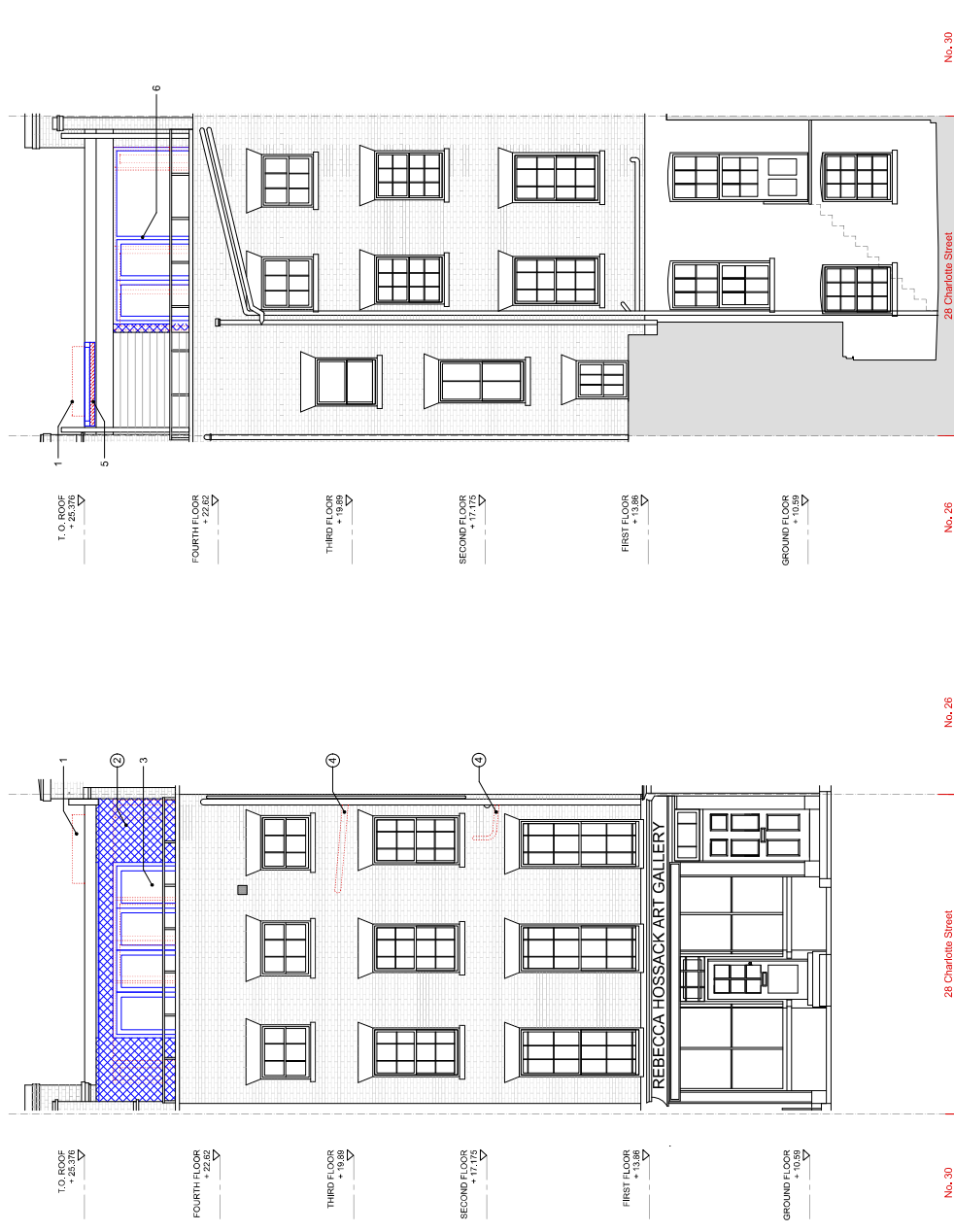
4. Waste pipe from existing bathroom to be removed.

5. New thermally broken metal frame double glazed skylight on top of the stairwell.

6. Existing modern timber frame windows to be replaced with thermally broken metal frame double glazed windows, centred on the front facade opening.

NOTES:

1. All existing plaster and timber features to be retained unless otherwise noted on plan.
2. All existing windows and doors to be retained unless otherwise noted on plan.



No. 30

28 Charlotte Street

No. 26

No. 26

28 Charlotte Street

No. 30

Alterations Front Elevation

Alterations Rear Elevation

Project
28 Charlotte Street

Drawing

Alterations. Front and Rear Elevations

Drawing No.

28CS(10)A04

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Job No. 28CS Date 13.03.20 Scale 1:100@A3 1:50@A1

KEY

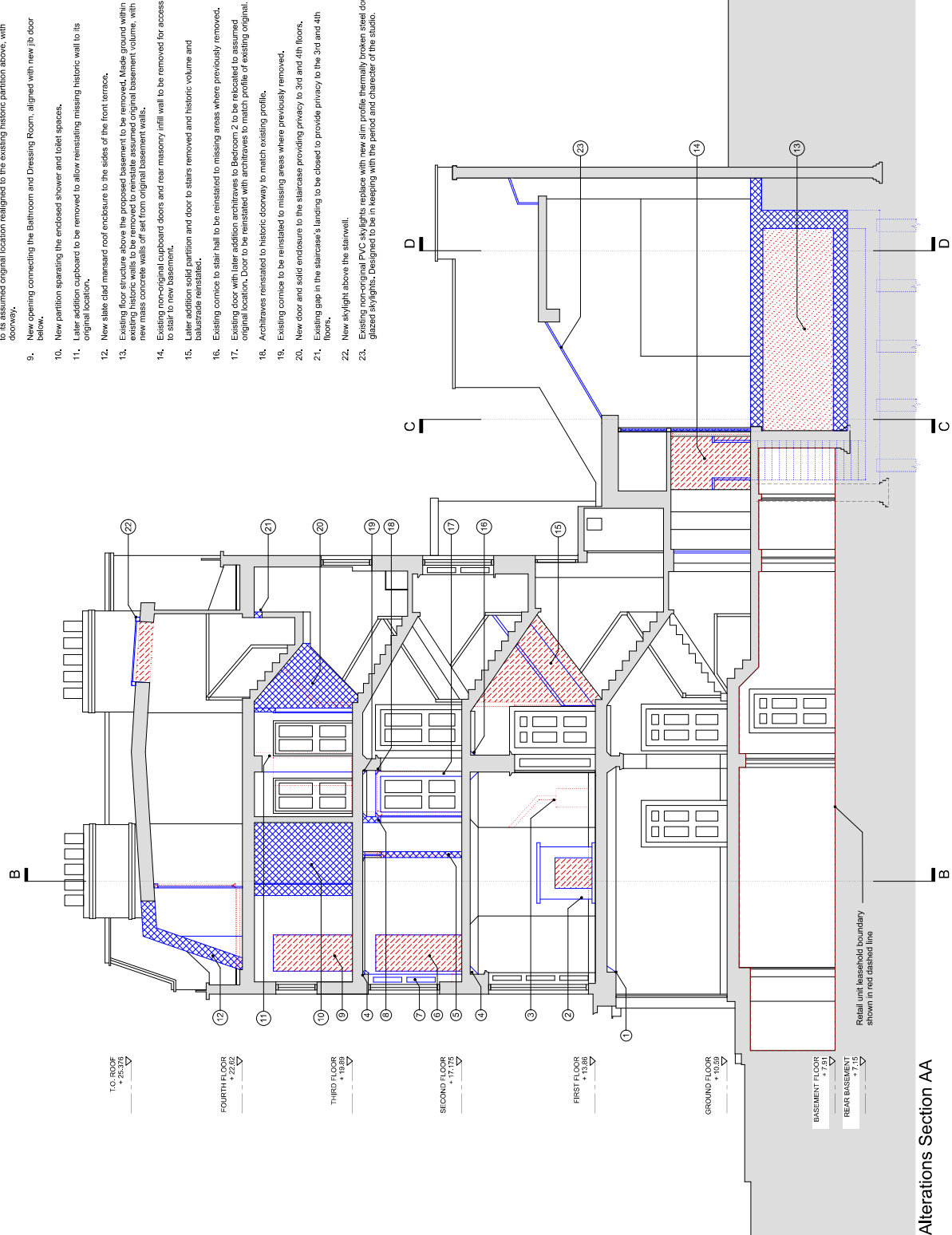
1. Cornice to be reinstated where missing to match existing adjacent profile.
2. Missing fire mantle reinstated to be in keeping to the character and period of the property.
3. Existing non-original stove to be removed.
4. Cornices to be reinstated to be in keeping with the character and period of the property.
5. Existing non-original partition to be rebuilt with a fixed clerestory window above, to allow reading of the assumed original volume.
6. New jib door to Ensuite 2 with planted skirting to match existing adjacent skirting.
7. Missing original window timber panelling and architrave to be reinstated to match existing in Bedroom 2.
8. Later addition cupboard and wall infill to be removed to allow reinstating a timber partition to its assumed original location realigned to the existing historic partition above, with doorway.
9. New opening connecting the Bathroom and Dressing Room, aligned with new jib door below.
10. New partition spanning the enclosed shower and toilet spaces.
11. Later addition cupboard to be removed to allow reinstating missing historic wall to its original location.
12. New slate clad mansard roof enclosure to the sides of the front terrace.
13. Existing floor structure above the proposed basement to be removed. Made ground within existing historic walls to be removed to reinstated assumed original basement volume, with new mass concrete walls off set from original basement walls.
14. Existing non-original cupboard doors and rear masonry infill wall to be removed for access to stair to new basement.
15. Later addition solid partition and door to stairs removed and historic volume and balustrade reinstated.
16. Existing cornice to stair hall to be reinstated to missing areas where previously removed.
17. Existing door with later addition architraves to Bedroom 2 to be rebalanced to assumed original location. Door to be reinstated with architraves to match profile of existing original.
18. Architraves reinstated to historic doorway to match existing profile.
19. Existing cornice to be reinstated to missing areas where previously removed.
20. New door and solid enclosure to the staircase providing privacy to 3rd and 4th floors.
21. Existing gap in the staircase's landing to be closed to provide privacy to the 3rd and 4th floors.
22. New skylight above the stairwell.
23. Existing non-original PVC skylights replace with new slim profile thermally broken steel double glazed skylights. Designed to be in keeping with the period and character of the studio.

KEY

- Area of ground excavation
- Existing structure removed
- Existing element removed
- New partition/wall
- New element
- Leasehold retail unit boundary (outside of application)

NOTES:

1. All existing plaster and timber features to be retained unless otherwise noted on plan.
2. All existing windows and doors to be retained unless otherwise noted on plan.



Project
28 Charlotte Street

Drawing
Alterations, Section AA

Drawing No.
28CS(10)A05

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Alt No. 28CS Date 13.03.20 Scale 1:100@A3 1:50@A1

- KEY**
- 1. Existing cornices retained, reinstated where missing around full perimeter of hall.
 - 2. Missing fireproof massifs retained to be in keeping with the character and period of the property
 - 3. Existing non-original stove to be removed.
 - 4. Cornices to be reinstated to be in keeping with the character and period of the property.
 - 5. Existing non-original partition to be rebuilt with a fixed fireproof window above, to allow reading of the assumed original volume.
 - 6. Existing partition built out to conceal bathroom services
 - 7. New opening to match historic doorway and slightly widened to be centred to the rear room. Opening to be fitted with folding four leaf under panel doors to match existing at first floor.
 - 8. Addition of partition and doorways to create shower and toilet enclosures.
 - 9. Existing modern timber frame windows to be replaced with thermally broken steel slimline double glazed sliding folding windows, centred on the new front facade windows.
 - 10. Existing water tank relocated to basement plant room.
 - 11. Later addition fixed cupboard removed.
 - 12. Made ground within existing historic walls to be removed to reinstatement original basement volume, with new mass concrete walls of set from original basement walls.
 - 13. New basement stairs with plant store underneath
 - 14. New plant enclosure on raised basement slab step
 - 15. Existing floor structure to be removed for basement excavation and result with timber floor and roof for new stair.
 - 16. Three new thermally broken metal frame double glazed fireproof windows formed into existing masonry wall.
 - 17. New glazed partition and store area with vertical timber framing to match rhythm of existing adjacent timber framing.
 - 18. Existing doorway widened to match partition rhythm.
 - 19. Basement slab stepped to not impact the existing basement foundation structure revealed during investigations.
 - 20. Existing non-original PVC skylights replace with new slim profile thermally broken steel double glazed skylights. Designed to be in keeping with the period and character of the street.



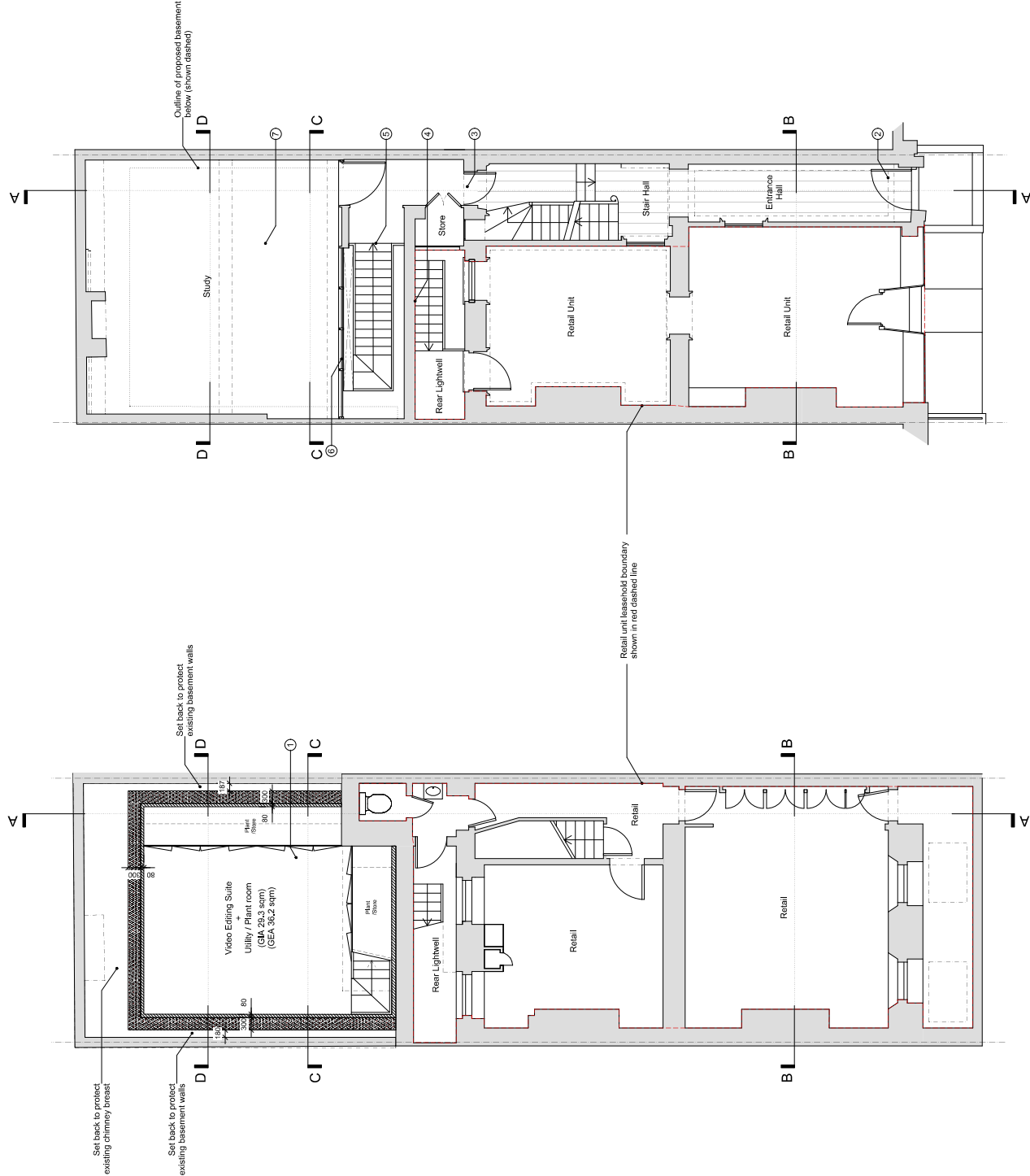
NOTES:

- 1. All existing plaster and timber features to be retained unless otherwise noted on plan.
- 2. All existing windows and doors to be retained unless otherwise noted on plan.

ISSUED:	DATE:	REVISION:
Project	28 Charlotte Street	
Drawing	Alterations Section BB CC & DD	
Drawing No.	28CS(10)A06	
1st Floor: 50 Charlotte Street London W1T 7PE, UK T +44 (0)20 7637 8833 E info@studio-stassano.com www.studio-stassano.com	Date	Scale
Arch No.	28CS	XX.01.20
		1:100@A3 1:50@A1

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APPENDIX C
PROPOSED DESIGN DRAWINGS



Ground Floor

Basement (-1) Floor

KEY

1. New proposed basement:
GEA 36.2 sqm
Proposed based on Criterion 1 of Camden Policy for Basements:
Host Building's Footprint Area: GEA 128.7 sqm
 $128.7 / 2 = 64.35 \text{ sqm} > 36.2 \text{ sqm}$
2. Corridor to be reinstated to match existing adjacent profile.
3. New timber panelled door inserted within original doorway.
4. New decorative window to stairs, formed into existing structural wall, allowing natural light and ventilation to the proposed basement.
5. New stairs to proposed basement.
6. New glazed partition and store area with vertical timber framing to match rhythm of existing adjacent timber framing, allowing natural light to stairs.
7. New timber boarded floor and structure with opening for new basement stair.
--- Leasehold retail unit boundary (outside of application)

NOTES:

1. All existing plaster and timber features to be retained unless otherwise noted on plan.
2. All existing windows and doors to be retained unless otherwise noted on plan.



Issue:	date:	revision:
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Project
28 Charlotte Street

Drawing
Proposed B-1 & Ground, Floor Plans

Drawing No.
28CS(20)A01

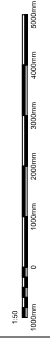
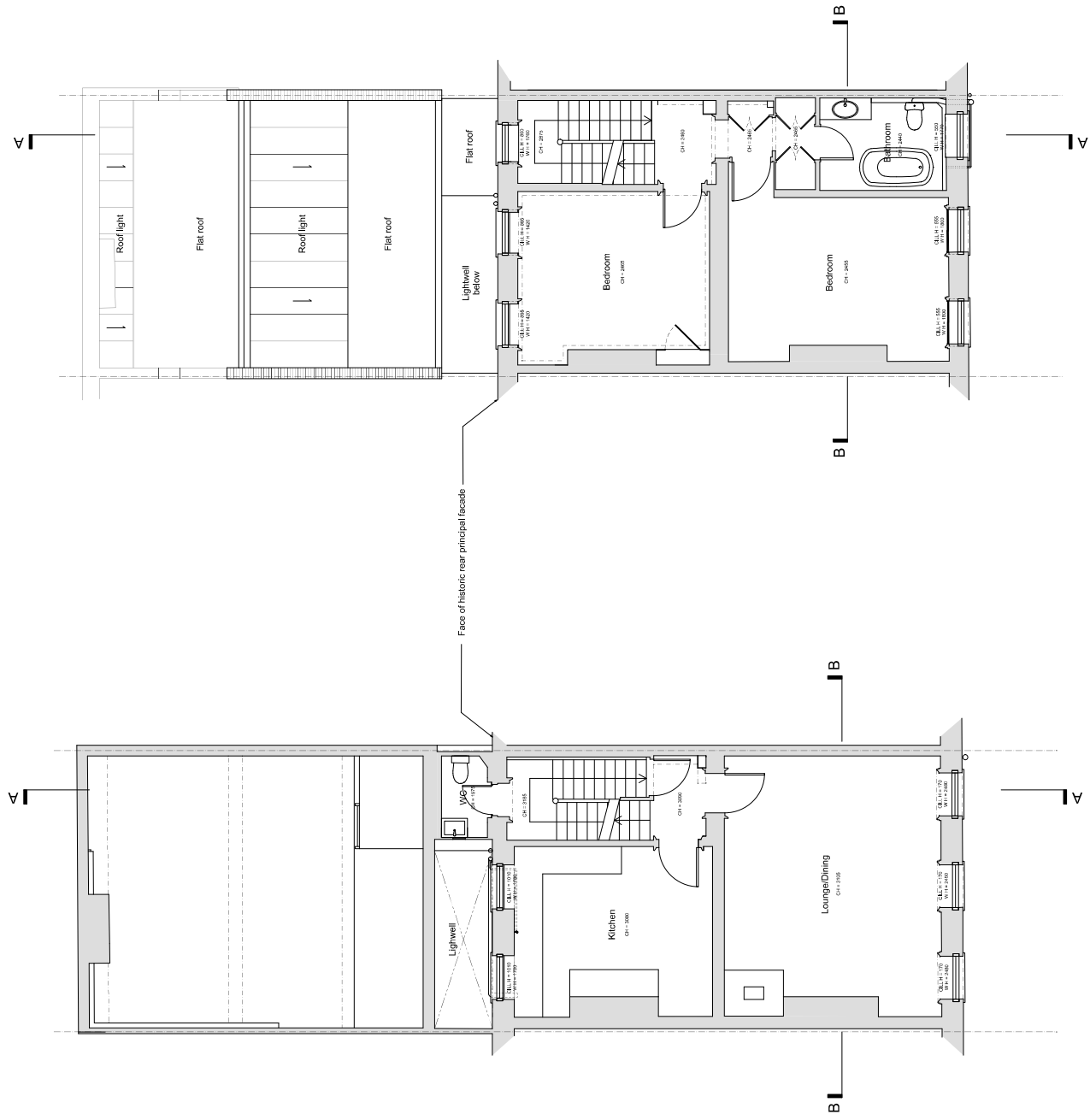
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1:50@A1



ISSUE:	DATE:	REVISION:
Project		
28 Charlotte Street		
Drawing		
Existing 1st & 2nd, Floor Plans		
Drawing No.		
28CS(00)/A02		

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Job No.

28CS

Date

03.02.20

Scale

1:100@A3
1:50@A1

Second Floor

First Floor



KEY

1. New door and solid enclosure to the staircase to provide privacy to 3rd and 4th floors.
2. Missing historic wall reinstated to its original location.
3. Existing non-original opening to be closed. New window to be installed in the existing door, reflecting natural light coming from the stair hall.
4. New enclosed toilet and shower spaces.
5. Missing fire mantels reinstated to be in keeping to the character and period of the property
6. New opening to access Ensuite 3 from the Dressing Room to be aligned and to match dimensions to the proposed J10 door on floor below.
7. Existing modern timber frame windows to be replaced in thermally broken steel siltline double glazed windows creating symmetry to the rear facade and reinstated to the proposed windows to the front facade.
8. New mansard roof enclosure to the sides of the front terrace. The skylight to be aligned with the existing area of the roof to the adjacent listed property at 26 Charlotte Street. The central area of the existing terrace will remain as an open space set within the profile of a traditional mansard roof.
9. New skylight to provide natural light to the stairwell.
10. Existing modern timber windows to be replaced in thermally broken steel siltline double glazed sliding folding windows, creating symmetry on the front facade.

NOTES:

1. All existing glazing and timber features to be retained unless otherwise noted on plan.
2. All existing windows and doors to be retained unless otherwise noted on plan.



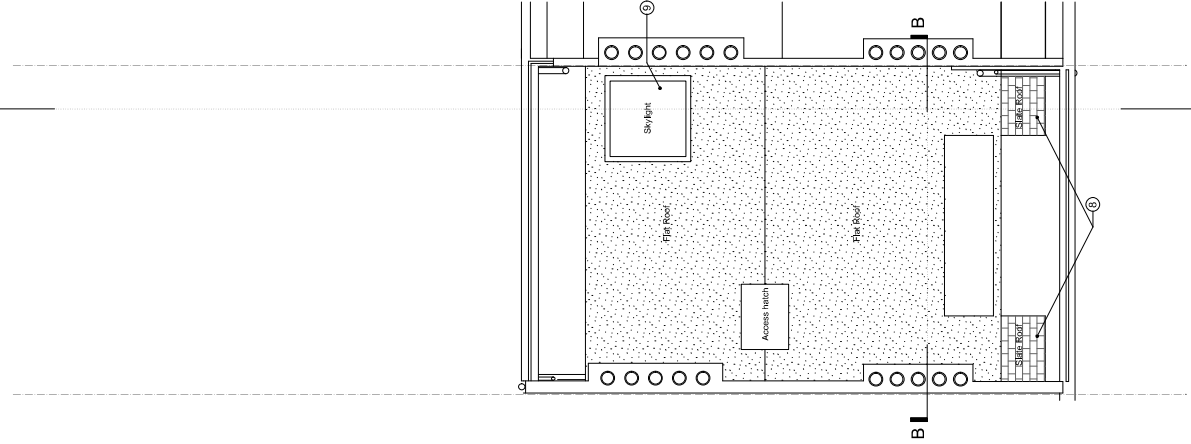
ISSUE:	DATE:	REVISION:
Project		
28 Charlotte Street		
Drawing		
Proposed 3rd, 4th, Roof, Floor Plans		
Drawing No.		
28CS(20)A03		

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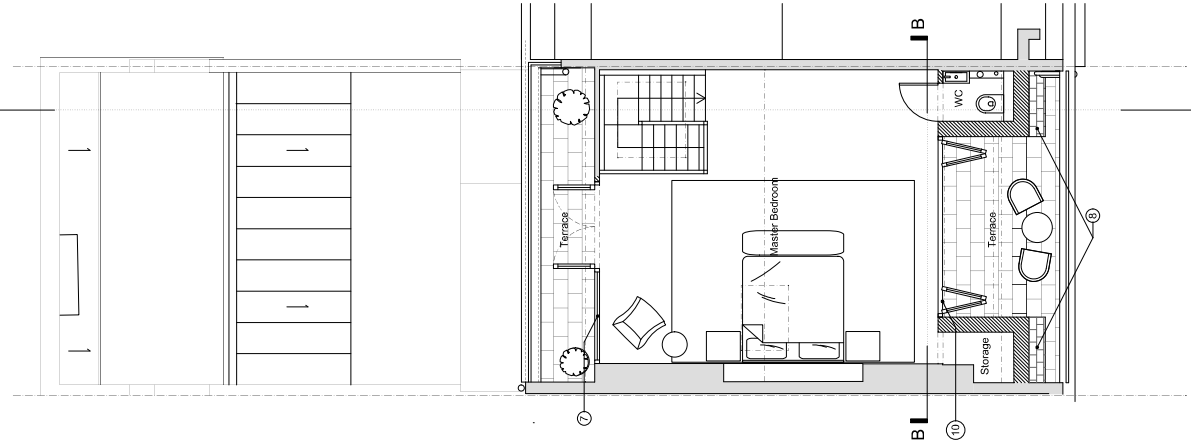
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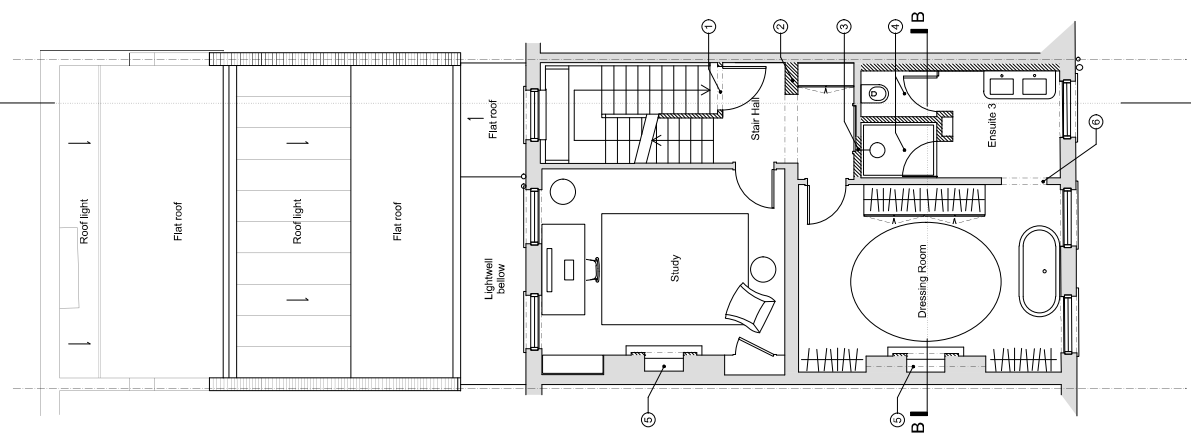
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Roof Plan



Fourth Floor



Third Floor

KEY

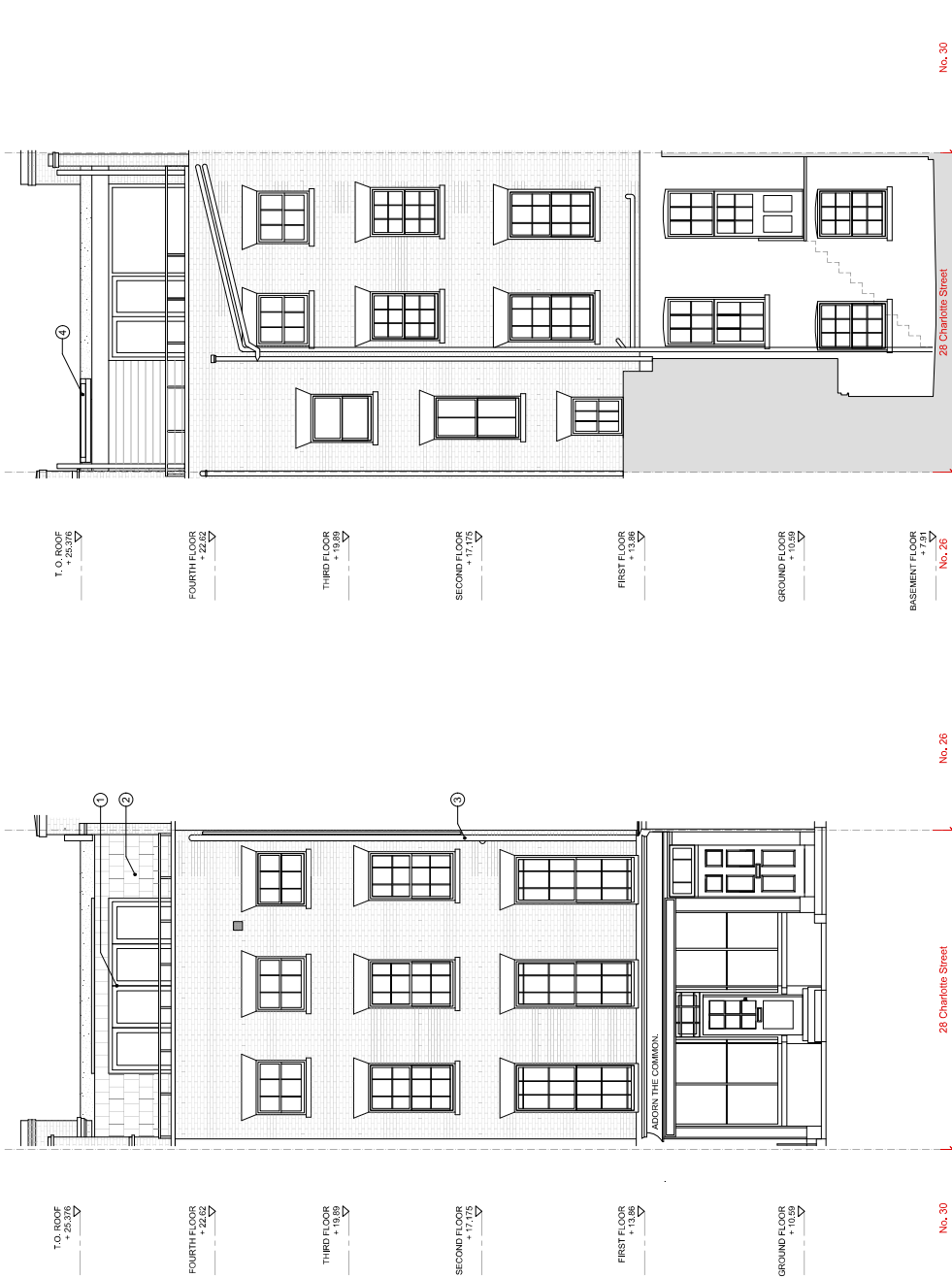
- Existing modern timber windows to be replaced in metal with folding sliding windows, creating symmetry together with the new mansard roof extension.
- New mansard roof enclosure to the sides of the front elevation, creating a symmetrical mansard roof to the same profile and form of the roof to the adjacent listed property at 26 Charlotte Street.
- Existing down pipes from bathrooms to be removed to clean up the look of the front facade.
- New roof light above the stairs

NOTES:

- All existing plaster and timber features to be retained unless otherwise noted on plan.
- All existing windows and doors to be retained unless otherwise noted on plan.

ISSUE:	DATE:	REVISION:
Project	28 Charlotte Street	
Drawing	Proposed Front and Rear Elevations	
Drawing No.	28CS(20)A04	

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Job No. 28CS	Date 20.02.20



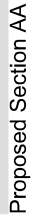
Proposed Front Elevation

Proposed Rear Elevation

1. Living Room: Missing historic cornice and fire mantle reinstated to be in keeping to the character and period of the property.

2. Enslave 2. Missing historic cornice and window trim panelled reveals to be refinished to be kept to the character and period of the property.
3. Existing non-original partition to be rebuilt with a fixed assembly original above, to allow reading of the distinguished original volume.
4. Enslave 3. connected to the Dressing Room, with enclosed toilet and shower spaces.
5. New state clad mansard roof enclosure to the sides of the front terrace, creating serving spaces for the Master Bedroom.
6. New proposed basement: Video Editing Suite, Plant and Utility room.
7. Stairs: historic volume and balustrade reinstated, new stairs and handrails, to be painted to missing areas where previously removed.
8. New door and solid enclosure to the staircase to provide privacy to 3rd and 4th floors.
9. Existing gap in the staircase's landing partition to be closed to provide privacy to the 3rd and 4th floors.
10. New skylight above the stairwell to bring light into the 3rd and 4th floors.
11. New timber boarded floor and structure with opening to new basement stair.
12. New insulated aluminium metal double glazed skylights.

1. All existing plaster and timber features to be retained unless otherwise noted on plan.
2. All existing windows and doors to be retained unless otherwise noted on plan.



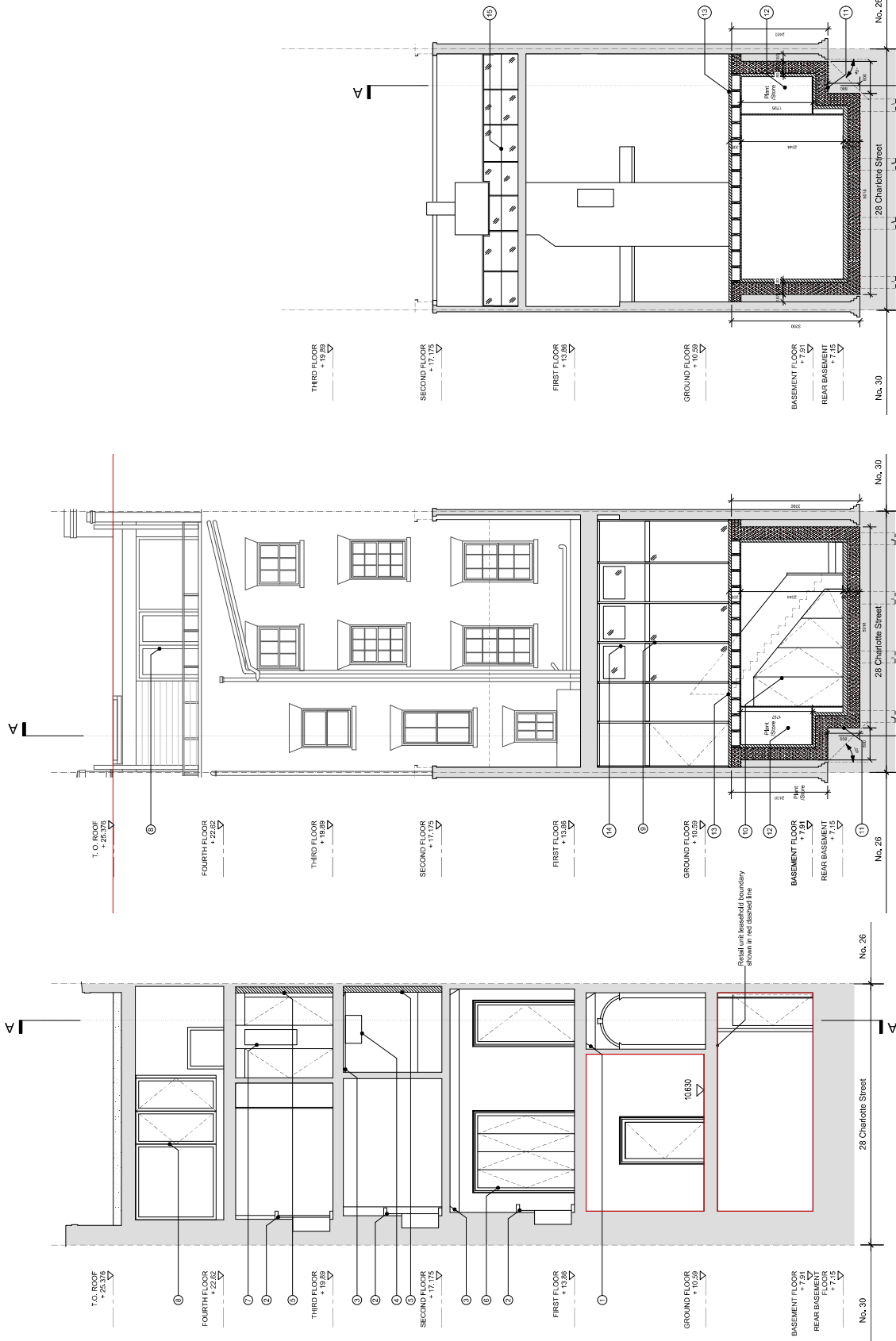
ISSUE:	CAGE:	REVISION:
Project	28 Charlotte Street	
Drawing	Proposed Section AA	
Drawing No.	28CS(20)A05	
24 Chigwell Place London W11 4PE, UK T +44 (0)20 7537 8659 E info@studiosstassano.com www.studiosstassano.com		
date No.	28CS	Scale 1:100@A3 1:50@A1
Date	13.03.20	

KEY

- Existing cornice retained, reinstated where missing around full perimeter of hall.
- Missing fireplace mantile reinstated to be in keeping with the character and period of the property.
- Cornice to be reinstated to be in keeping with the character and period of the property.
- Existing non-original partition to be built with a fixed decorative window above, to allow reading of the assumed original volume.
- Existing partition built out to conceal bathroom services.
- New four leaf door opening to connect Kitchen and Dining room.
- New partition to create enclosed shower and toilet spaces.
- New metal sliding folding doors, creating symmetry on the rear facade.
- New glazed partition and store area with vertical timber framing to match rhythm of existing adjacent timber framing.
- New plant space under stairs
- New concrete basement walls, stepped to protect existing masonry basement walls
- New plant space over raised basement slab step.
- New timber boarded floor and structure with opening for new basement stair.
- New metal frame clerestory windows formed into existing masonry wall.
- New insulated slimline metal double glazed skylights.
- Leasehold retail unit boundary (outside of application)

NOTES:

- All existing plaster and timber features to be retained unless otherwise noted on plan.
- All existing windows and doors to be retained unless otherwise noted on plan.



Proposed Section BB

Proposed Section CC

Proposed Section DD

Project	28 Charlotte Street
Drawing	Proposed Section BB CC & DD
Drawing No.	28CS(20)A06
Job No.	28CS
Date	01.05.22
Scale	1:100@A3 1:50@A1

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