



Ductwork openings through masonry walls using diamond core drill to minimise impact and vibration.

Openings through plaster and stud walls to use appropriate dust containment with full PPE as appropriate - lime and lath plaster may remain in situ following comprehensive recent refurbishment

Note: electrical drawings do not show wireways - ensure existing electrical wiring is detected and routes marked prior to opening up.

Scaffolding requires constant access for residents complete a full engagement exercise with site management to agree on any restriction of full access that arises to ensure residents are removed from risk of noise, dust, falling objects or collision.

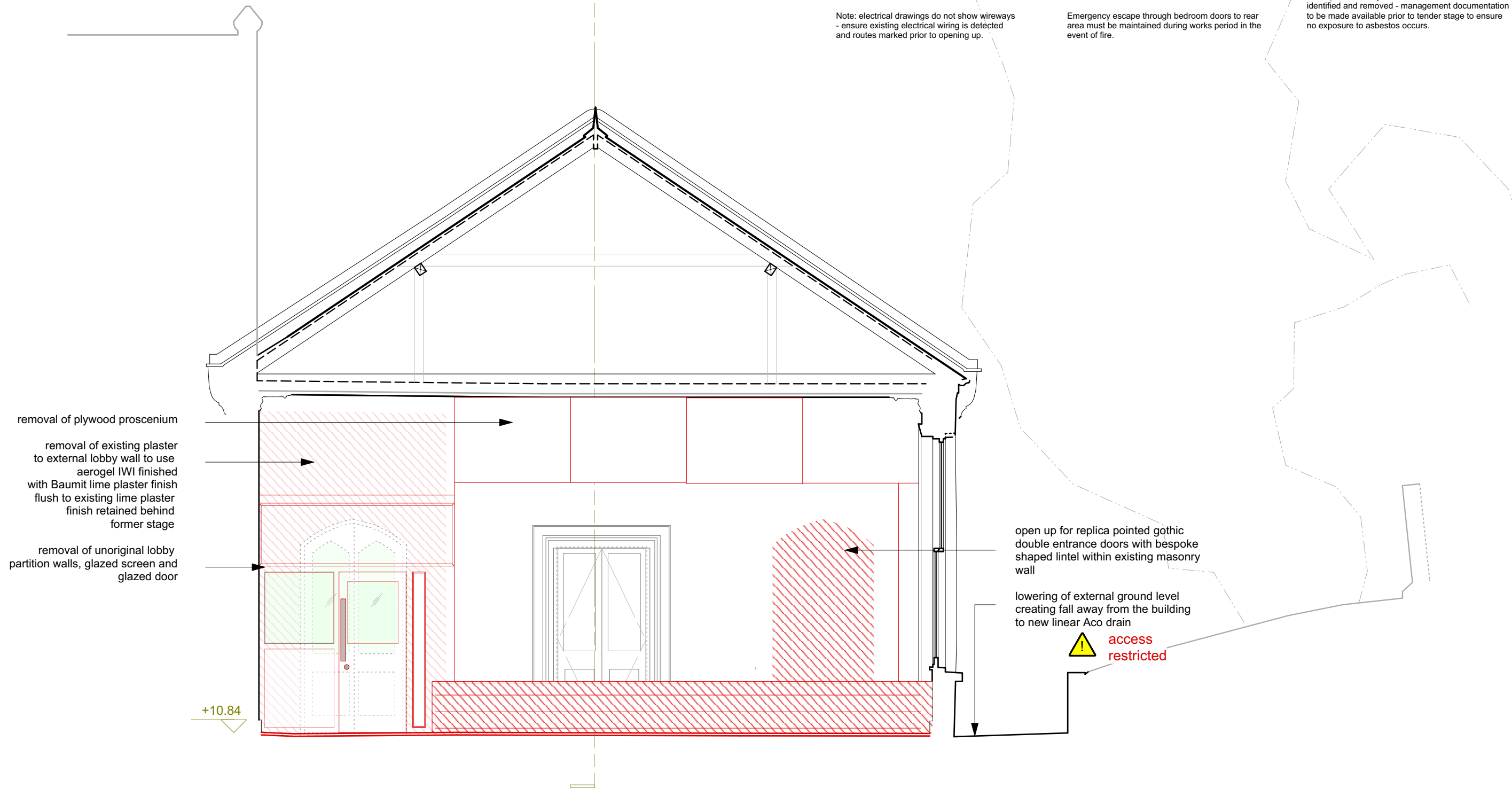
No access to rear areas to be allowed for residents during works to segregate working areas from residential use.

Emergency escape through bedroom doors to rear area must be maintained during works period in the event of fire.

General awareness of potential for lead paint to remain under modern finishes

Services installations within the attic requires secure decking laid over ceiling joists to minimise risk of falling through plaster.

The site has been subject to full refurbishment in the previous 20 years and asbestos has been identified and removed - management documentation to be made available prior to tender stage to ensure no exposure to asbestos occurs.



removal of plywood proscenium

removal of existing plaster to external lobby wall to use aerogel IWI finished with Baunit lime plaster finish flush to existing lime plaster finish retained behind former stage

removal of unoriginal lobby partition walls, glazed screen and glazed door

+10.84

open up for replica pointed gothic double entrance doors with bespoke shaped lintel within existing masonry wall

lowering of external ground level creating fall away from the building to new linear Aco drain

access restricted