

1 TWISDEN ROAD
PLANNING DESIGN AND ACCESS STATEMENT
CDS127-PL01-DAS

CAMBRIDGE DESIGN
DECEMBER 2022

INTRODUCTION

This design and access statement is written in support of an application submitted to Camden Borough Council for a proposed rear extension at 1 Twisden Road, NW5 1DL.

The extension proposed is a single-storey volume, partially infilling the space between the existing closet wing and boundary wall to Twisden Road, creating a new courtyard between the closet wing, new extension and main rear elevation. The purpose of this extension is to provide an accessible bathroom on the ground floor of the property for the use of the owner-occupiers' disabled son, who is also resident at the property. The existing bathroom accommodation at first floor level is no longer suitable for his needs and the proposed extension will allow these needs to be met safely and with level access.

The information submitted with this application consists of:

- Completed Application Form
- Correct Fee
- Design and Access Statement
- Location Plan
- Proposed Site Plan
- Existing Drawings (Plans, Sections, Elevations)
- Proposed Drawings (Plans, Sections, Elevations)

SITE CONTEXT AND PLANNING HISTORY



Aerial view of 1 Twisden Road (site outlined in red) looking North

1 Twisden Road is an end of terrace house situated on the North side of Twisden Road, a residential street in Dartmouth Park, originally constructed as a loop from Chetwynd Road in the 1870s. No.1 was constructed in 1875 and is typical of the street. The houses are generally Victorian two-storey volumes, constructed from London stock brick, with red-brick detailing (quoins) and white painted timber windows and decorative woodwork (barge-boards). The roofs are slate, with gables projecting up as part of the principal elevation, with white painted ground floor bay windows to the small front gardens (largely hardstanding).

The properties generally have rear gardens, with closet wings and a significant proportion have had some form of minor alteration. These are generally not alterations to the roofline (although some exist), with properties having rooflights added, and/or a variety of ground floor infills and rear extensions. A similar scenario exists with the properties on Chetwynd Road, which back onto those on the North side of Twisden Road. As an end of terrace property, 1 Twisden Road is slightly unusual, with a boundary wall and existing side gate opening onto the pavement, between the closet wing and the return of Twisden Road towards Chetwynd Road. The whole property is therefore visible from the road.

The property is within the Dartmouth Park Conservation Area and is not subject to any Article IV directions relevant to this application. The only prior planning history at 1 Twisden Road is a 2005 tree works application. The proposed extension therefore stands alone as an alteration to the property and has been designed to have as little impact on the main house and its setting as possible.

LOCAL PRECEDENTS AND DEVELOPMENT

As noted above, there are various relevant developments to adjacent properties, most notably, the recent approval of a rear infill extension to 9 Twisden Road (2022/2652/P), and existing rear infills to 5 Twisden Road and 7 Twisden Road.

DESIGN AND POLICY APPROACH

As the property is located within the Dartmouth Park Conservation Area, there are various elements of planning policy to consider in relation to this application. The relevant planning policy beyond the National Planning Policy Framework is the London Plan, the Camden Local Plan (particularly policies D1-D4), CPG Design, CPG Home Improvements amongst others. Key amongst these policy documents is the Dartmouth Park Conservation Area Statement, which considers the conservation area specifically and outlines that development should complement the existing character and form of the local fabric, through scale, appearance and materiality. This application therefore seeks to improve elements that negatively impact the Conservation Area and to retain a high standard of design for new elements, which have been designed to be in keeping with the existing fabric.

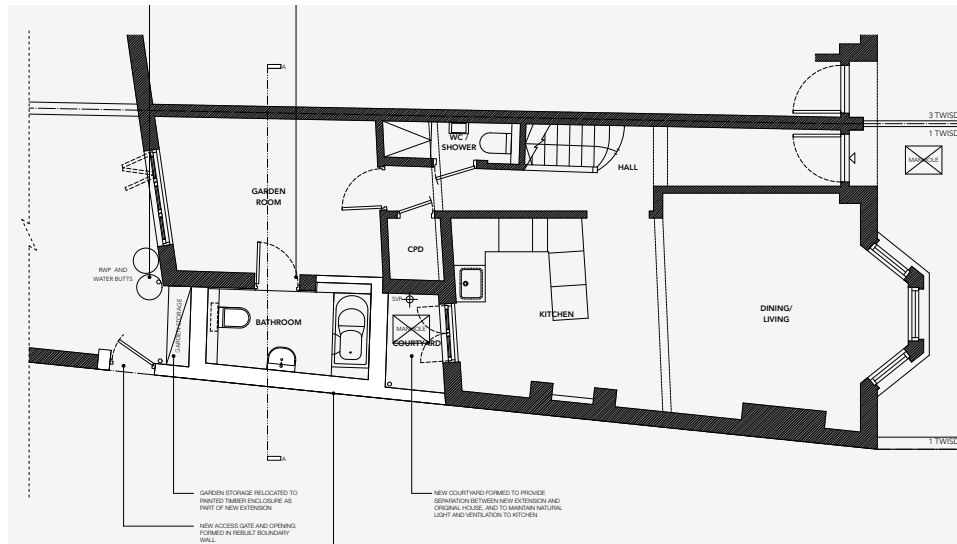
The proposals have an appropriate scale, sub-ordinate to the existing building, separated from the original rear facade (a key element as noted in the Conservation Area statement) and in keeping with similar developments in the surrounding area and on the same street. The materials proposed are to be of high quality and to match or complement the construction of the existing and surrounding buildings. The form of the proposed extension follows the guidance set out in the CPG Home Improvements, to maintain an appropriate scale and has no impact on the amenity of any neighbouring properties.

LAYOUT AND USE

The house is currently a single family owner-occupier dwelling, and would remain in this private residential use.

The proposed rear infill extension would allow a significantly improved internal layout for the use of the owners' disabled son, who is resident within the property with them. The current bathroom is located on the first floor, with a very small shower room at ground level. This current layout does not allow level access to the bathroom and neither bathroom nor shower room has sufficient space for carers to safely and fully assist as needed while the sanitary facilities are in use. The new extension would allow level access to a significantly larger ground floor bathroom, as well as allowing the installation of a walk-in seated bath/shower. This would allow a significant improvement to daily life and the general safe use of the property for the owners and their son.

The new addition would be separated from the existing rear elevation and kitchen window by a small courtyard, maintaining light and natural ventilation to the kitchen/living space. Existing circulation into the garden through the house would be maintained, with the new bathroom ensuite to the existing garden room.

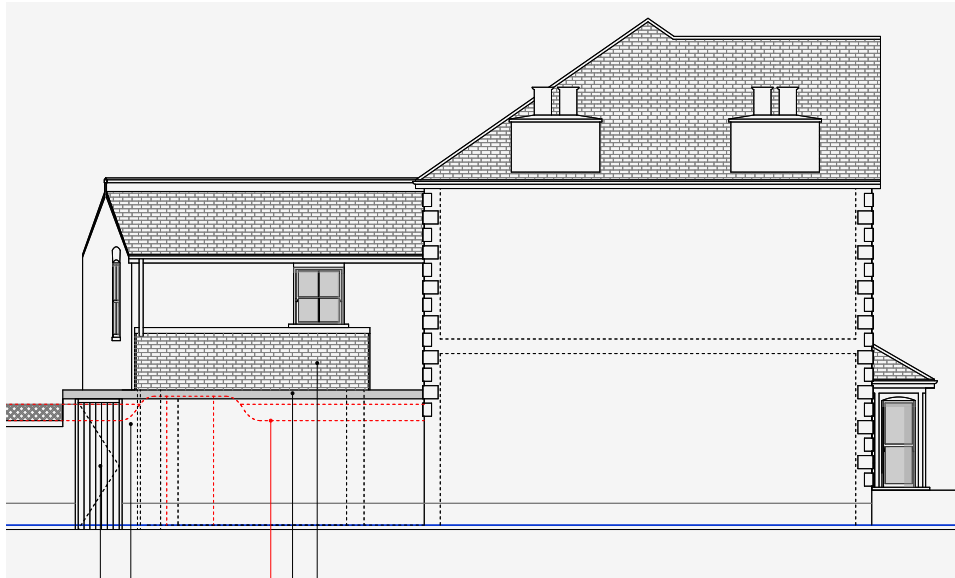


Proposed ground floor plan, showing location of extension and improved bathroom accessibility

ACCESS

The principal access to the property will remain unchanged (no works are proposed to the front of the property). Circulation within the property will remain largely as existing, with access to the rear garden through the existing sliding/folding doors, with level access allowed throughout, including to the new accessible bathroom. As part of the works, it is proposed to rebuild the existing boundary wall and relocate the existing pedestrian side access gate. This will improve the secondary access into the property, as the gate will open directly into the rear garden, rather than the side passage, allowing greater space to manoeuvre, whether pedestrian, wheelchair or bicycle access. The relocation of the gate will have no impact on the external pavement, the gate will open into the garden as the existing does, and there is no infrastructure or street furniture that will clash with the new position of the gate.

SCALE



Proposed side elevation, showing minimal impact of extension and similarity to existing boundary wall and trellis height (in red)

The scale of the proposals have been set out to ensure the extension is sub-ordinate to the main volume of the existing house, to minimise impact on the local context and adjoining street view. The proposals do not adjoin any of the neighbouring properties and will have no impact on the neighbours. The proposed volume has been designed as a single pitched infill, pitching down from the existing closet wing side elevation, towards the existing boundary wall. As part of the works, it is proposed to rebuild part of the the existing boundary wall and side access gate, which are in poor condition, slightly raising the level of the wall (approx. 2 courses above the highest point of the wall and existing trellis) in order to form a box gutter/coping for the new extension, and tie the wall and gate into the overall composition.

Along with the retention of some of the original space as a courtyard between the extension, closet wing, and main house the form of the extension allows the proposals to retain the hierarchy of the original volumes and remain as discreet as possible.

APPEARANCE AND MATERIALITY

The extension will be completed in materials to match and complement the existing building. The walls will be in London stock brick, matching and reusing the bricks from the rebuilt boundary wall, with detailing in the form of header courses to the top of the wall to match the existing. The glazing to the extension is to be painted timber to match the existing, with obscured glazing to provide privacy both in and out of the bathroom. The new gate and the relocated garden storage are to be in painted timber as well, to present a cohesive arrangement, with new and existing elements tied together through their appearance.

The roof of the extension is to be slate to match the existing, with painted timber bargeboards, lead flashings, and with a pressed aluminium box gutter, serving as drainage for the roof as well as a coping for the rebuilt wall. This is to be powder-coated in a tone to match the lead-work, again to contribute to the unified aesthetic sensibility of the existing building and surrounding area.

LANDSCAPE

The proposed extension will occupy the position of existing decking/hardstanding and will have no impact on the remainder of the garden. The extension does not project further than the existing closet wing and the trees in the garden will remain unaffected by the proposals.