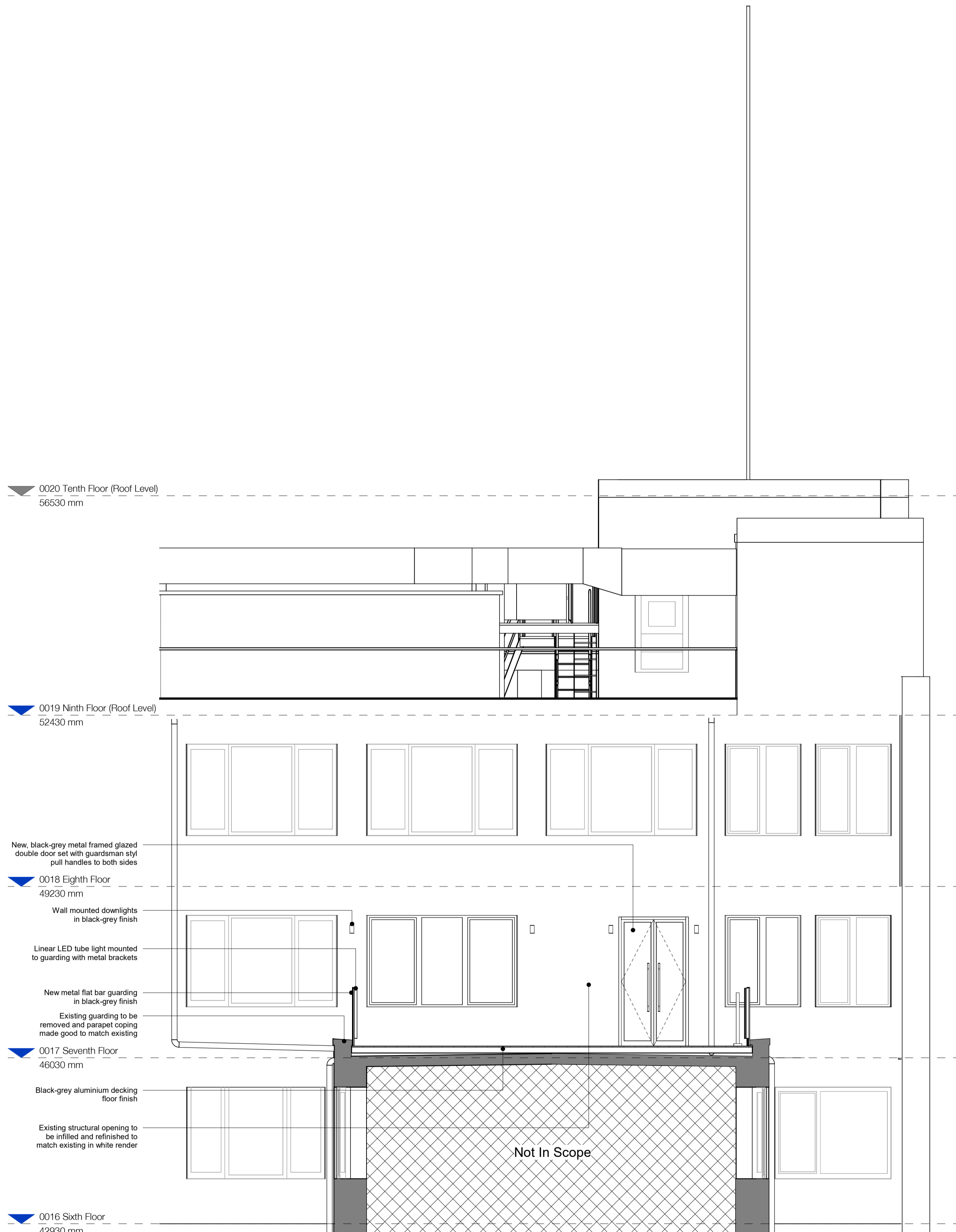
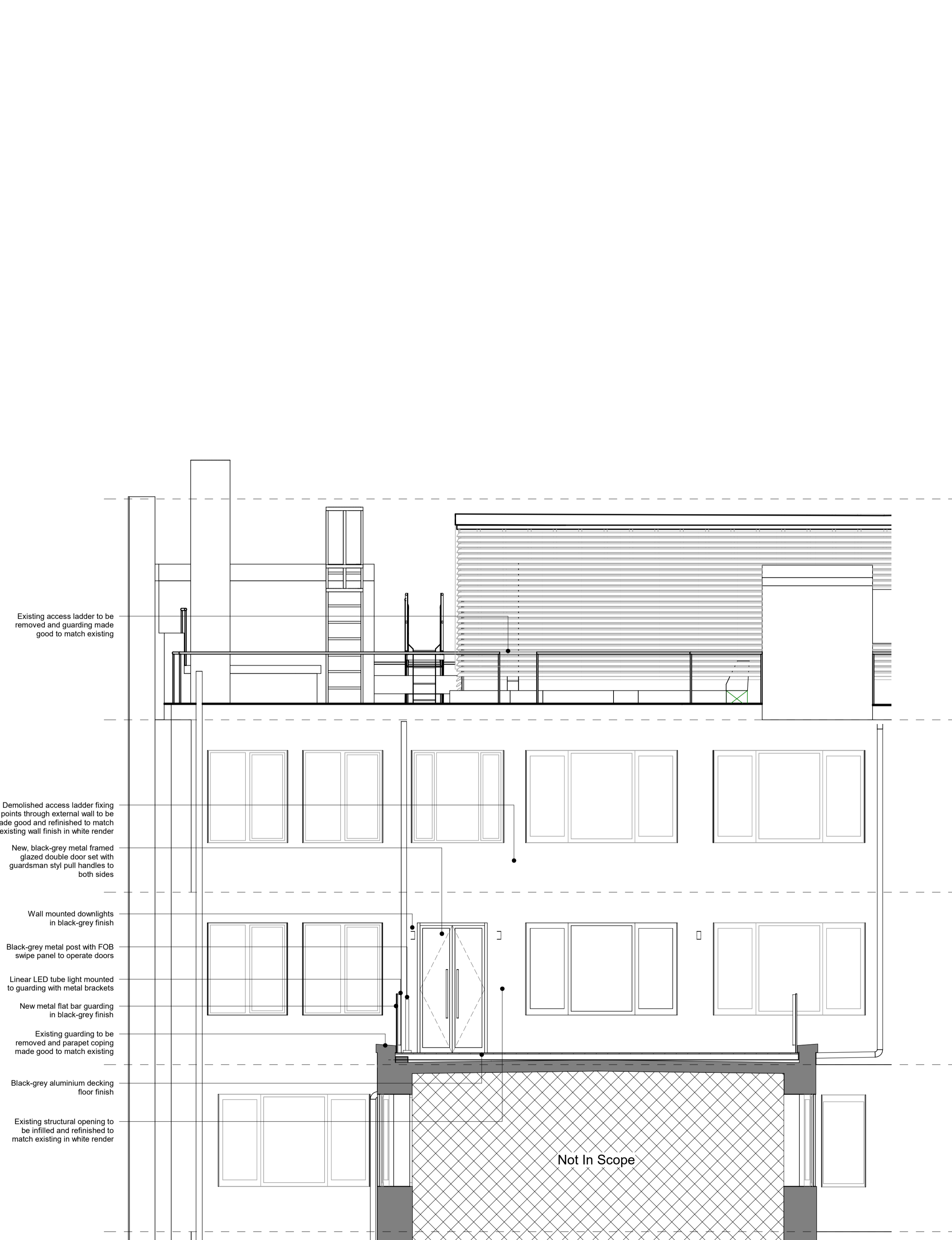


17/12/2022
 C:\Users\p\Documents\Projects\HUT\0412 - Proposed Seventh Floor Terrace\0412 - Proposed Seventh Floor Terrace\A - Proposed Seventh Floor Terrace Sections\0412 - Proposed Seventh Floor Terrace Sections.dwg
 17/12/2022



1. P0412 - Proposed Seventh Floor Terrace Section 01

Scale: 1 : 50



2. P0412 - Proposed Seventh Floor Terrace Section 02

Scale: 1 : 50

PLANNING NOTES

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.

The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others

Dimensions and setting out - Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

Areas - the areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

REFERENCE KEY

- Site Boundary
 - Party Wall Line
 - Existing Walls
 - Demolished Walls
 - Proposed Walls
 - Room Details
- 09.01
TYPICAL OFFICE
100sqm
1000sqft



Rev	Date	Description	Author	Checker
0	06.12.22	DRAFT - 7th Floor Terrace Planning Application	SA	LS
A	21.12.22	Submission - 7th Floor Terrace Planning Application	SA	LS

PLANNING

Project Number: H582
Project Name: Euston House

Drawing Name: Proposed Seventh Floor Terrace Sections

Scale at A1 / A3: 1:50 / 1:100

Drawing Number: H582 - HUT - ZZ - 17 - DR - A - P0412
Revision: - A