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GENERAL NOTES: To be read in conjunction with all other drawings, detail and specifications.

DRAWINGS SUBJECT TO BUILDING CONTROL APPROVAL

CDM REGULATIONS:
The owner must abide by the Construction Design and Management Regulations 1994 which relate to any building works involving more than 500 man hours or longer than 30 days duration. It is the client's responsibility to appoint a Planning Supervisor on all projects that require compliance with CDM regulations.

HEALTH AND SAFETY:
The Contractor is reminded of their liability to ensure due care, attention and consideration is given in regard to safe practice in compliance with the Health and Safety at Work Act 1974.

INCOMING SERVICES:
Establish the position of all incoming services prior to starting work with particular regard to gas and electrical mains.

SITE PREPARATION:
Ground to be prepared for new works by removing all unsuitable material, vegetable matter and tree and shrub roots to a suitable depth to prevent future growth. Seal up, cap off, disconnect and remove existing redundant services as necessary. Reasonable precautions must also be taken to avoid danger to health and safety caused by contaminants and ground gases eg. landfill gases, radon, vapours etc. on or in the ground covered, or to be covered by the building.

EXISTING STRUCTURE:
Existing structure including foundations, beams, walls and lintels carrying new and altered loads are to be exposed and checked for adequacy prior to commencement of work and as required by the Building Control Officer.

Planning

JOB		JOB NO.
Adam Ryan Flat 8, 43 Regents Park Road London NW1 7SY		202109
		DATE
		November 2022
TITLE		
Proposed Terrace Plan		
DRAWING NO.	REVISION	SCALE
GA.01	C	1:50 @ A3
NOTES		
design pomegranate		
Studio 9, Bickerton House, 25 Bickerton Road, London N19 5JT m: 07951 602 021 e: hello@designpomegranate.com w: www.designpomegranate.com bespoke residential architecture		

- KEY:
- 1. Green wall
 - 2. New powder coated aluminium balustrade
 - 3. Openable double glazed window, aluminium powder coated frame.
 - 4. Zinc cladding in colour grey
 - 5. GRP roof covering
 - 6. Existing parapet wall
 - 7. New tiled terrace
 - 8. New roof covering
 - 9. Outline of existing structure, for comparison



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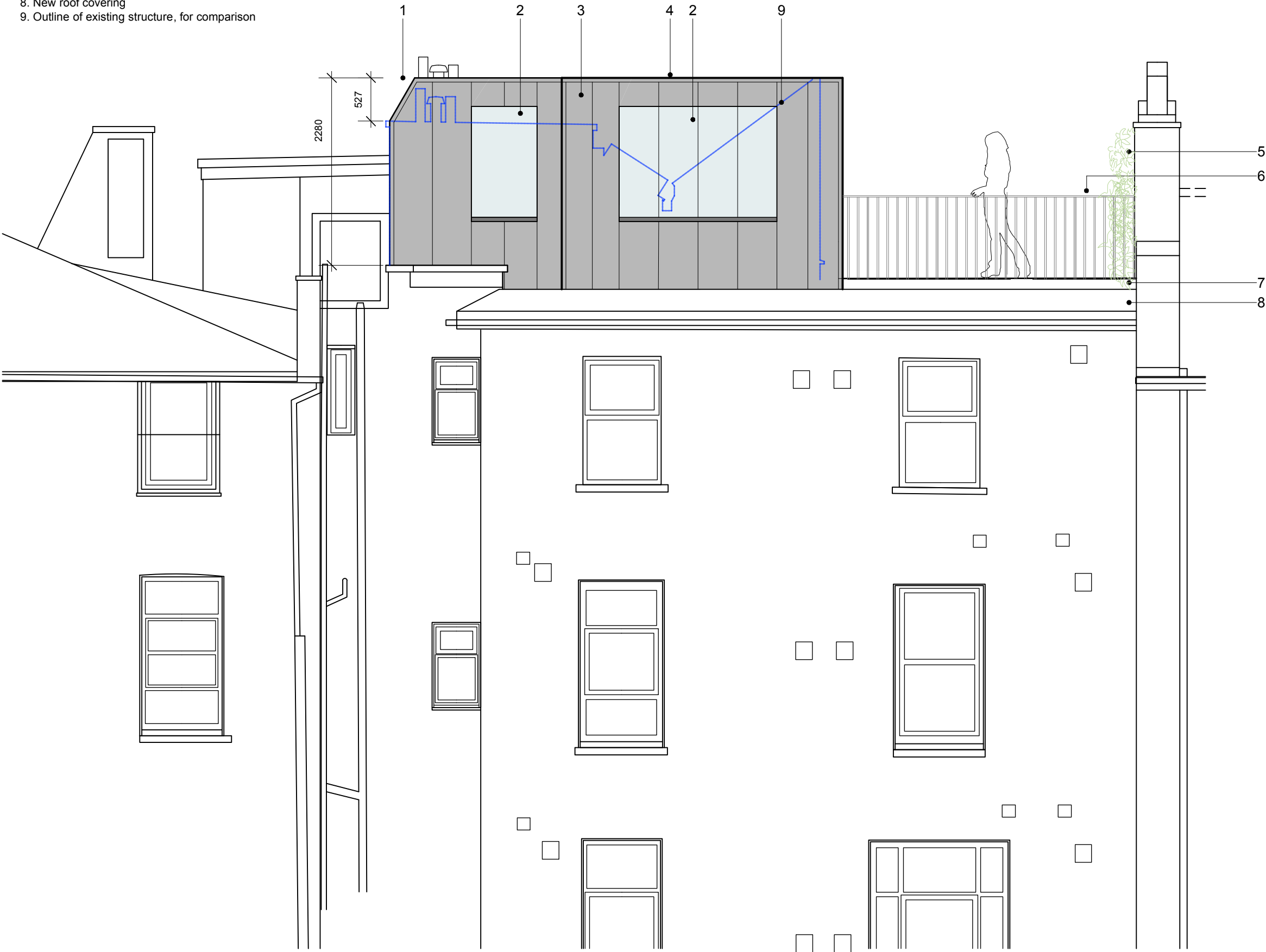
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Planning

JOB		JOB NO.
Adam Ryan Flat 8, 43 Regents Park Road London NW1 7SY		202109
		DATE November 2022
TITLE		
Proposed Front Elevation AA		
DRAWING NO.	REVISION	SCALE
GA.03	C	1:50 @ A3
NOTES		
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- KEY:
- 1. Raised boundary wall
 - 2. Openable double glazed window, aluminium powder coated finish
 - 3. Zinc cladding in colour grey
 - 4. GRP roof covering
 - 5. Green wall
 - 6. New powder coated aluminium balustrade
 - 7. New tiled terrace
 - 8. New roof covering
 - 9. Outline of existing structure, for comparison



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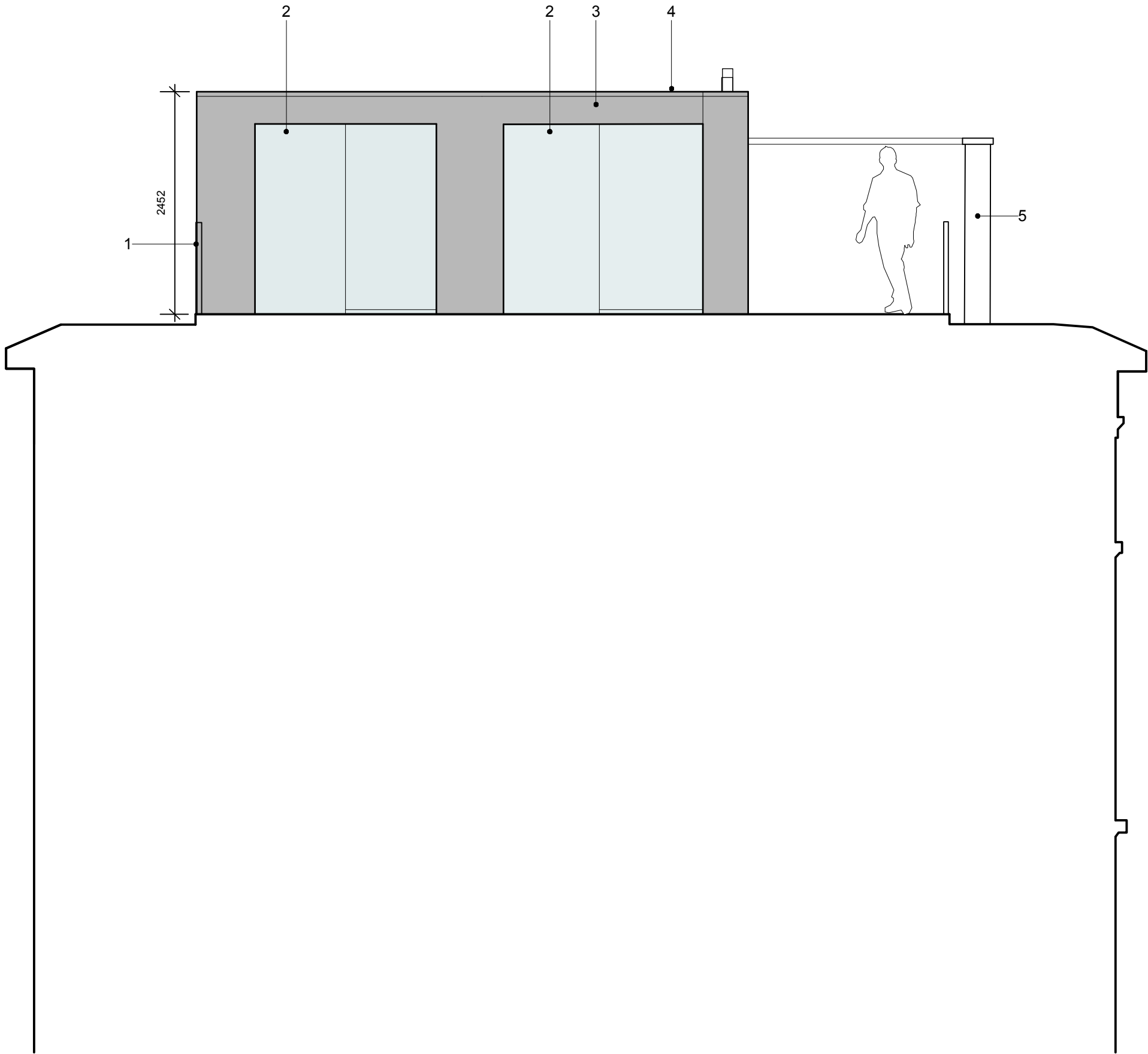
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Planning

JOB		JOB NO.
Adam Ryan Flat 8, 43 Regents Park Road London NW1 7SY		202109
		DATE November 2022
TITLE		
Proposed Rear Elevation BB		
DRAWING NO.	REVISION	SCALE
GA.04	C	1:50 @ A3
NOTES		
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- KEY:
- 1. New powder coated aluminium balustrade
 - 2. Double glazed sliding door, powder coated aluminium frame.
 - 3. Zinc cladding in colour grey
 - 4. GRP roof covering
 - 5. Existing parapet wall



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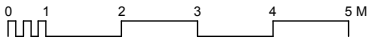
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Planning

JOB		JOB NO.
Adam Ryan Flat 8, 43 Regents Park Road London NW1 7SY		202109
		DATE April 2022
TITLE		
Proposed Elevation CC		
DRAWING NO.	REVISION	SCALE
GA.05	B	1:50 @ A3
NOTES REV B: 20.05.22 Amendment to north wall		
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Planning

JOB		JOB NO.
Adam Ryan Flat 8, 43 Regents Park Road London NW1 7SY		202109
		DATE
		November 2022
TITLE		
Proposed Rear Elevation with Existing Volume Superimposed		
DRAWING NO.	REVISION	SCALE
GA.07	C	1:100 @ A3
NOTES		
design pomegranate		
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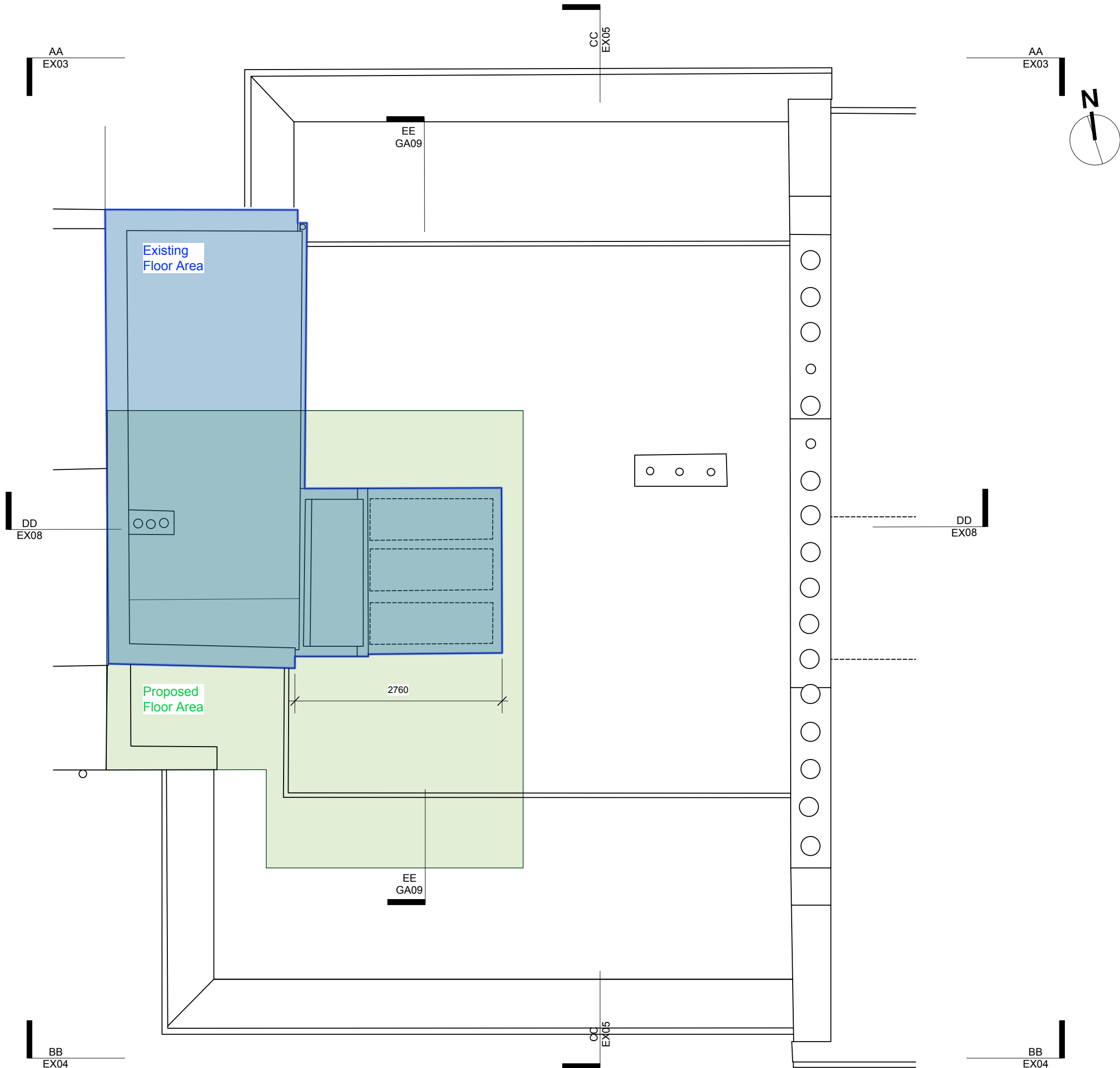
INCOMING SERVICES:
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SITE PREPARATION:
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Planning

JOB		JOB NO.
Adam Ryan Flat 8, 43 Regents Park Road London NW1 7SY		202109
		DATE November 2022
TITLE		
Proposed Front Elevation, with Existing Volume Superimposed		
DRAWING NO.	REVISION	SCALE
GA.06	C	1:100 @ A3
NOTES		
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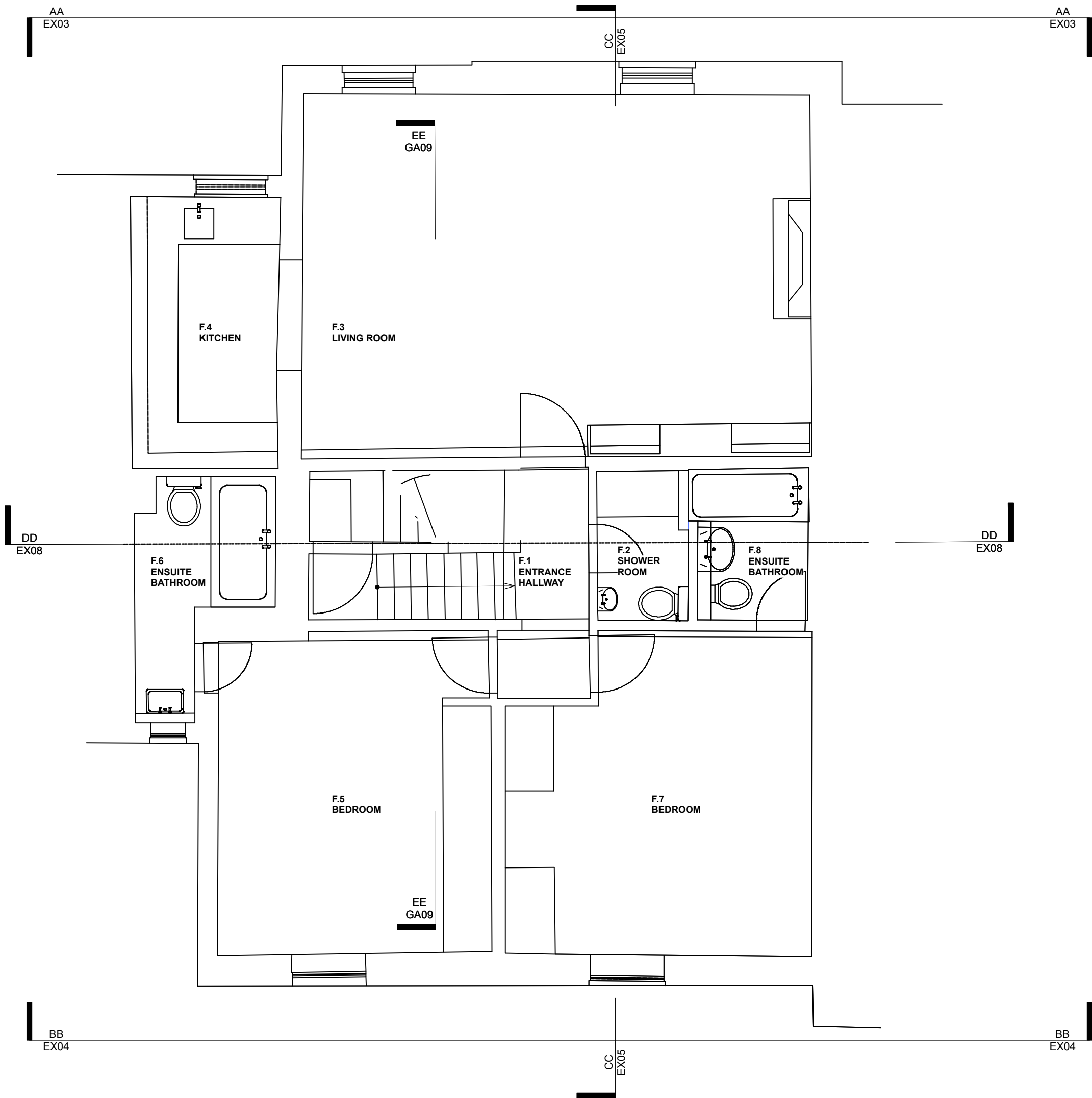
INCOMING SERVICES:
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SITE PREPARATION:
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Planning

JOB		JOB NO.
Adam Ryan Flat 8, 43 Regents Park Road London NW1 7SY		202109
		DATE
		November 2022
TITLE		
Existing Roof Terrace Plan, with Proposed Superimposed		
DRAWING NO.	REVISION	SCALE
EX.01	B	1:50 @ A3
NOTES		
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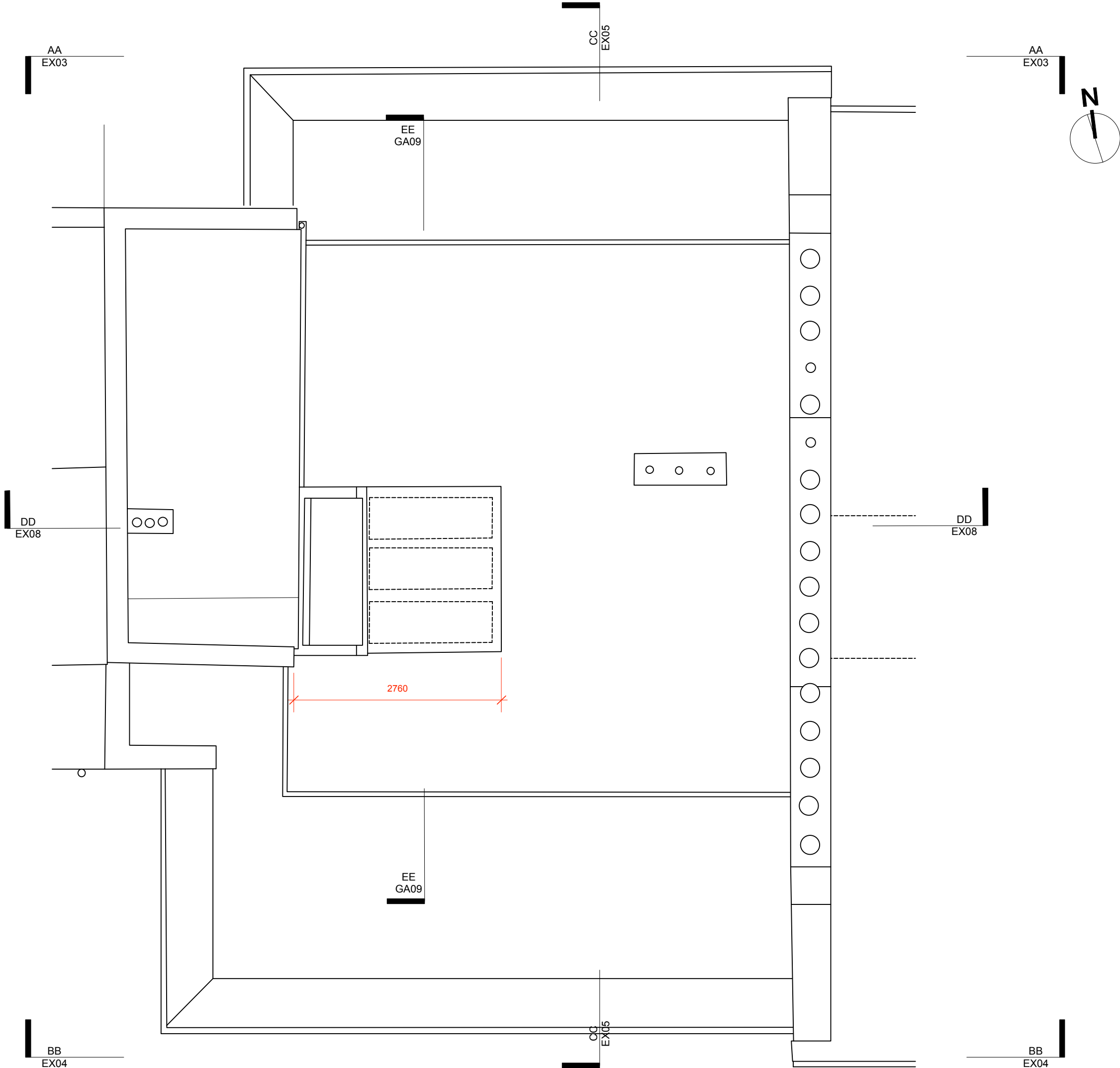
INCOMING SERVICES:
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SITE PREPARATION:
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Planning

JOB Adam Ryan Flat 8, 43 Regents Park Road London NW1 7SY		JOB NO. 202109
		DATE November 2021
TITLE Existing Lower Floor Plan		
DRAWING NO. EX.13	REVISION A	SCALE 1:50 @ A3
NOTES		
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Planning

JOB		JOB NO.
Adam Ryan Flat 8, 43 Regents Park Road London NW1 7SY		202109
		DATE April 2022
TITLE		
Existing Roof Terrace Plan		
DRAWING NO.	REVISION	SCALE
EX.01	A	1:50 @ A3
NOTES		
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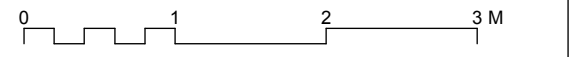
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Planning

JOB		JOB NO.
Adam Ryan Flat 8, 43 Regents Park Road London NW1 7SY		202109
		DATE April 2022
TITLE		
Existing Elevation BB		
DRAWING NO.	REVISION	SCALE
EX.04	A	1:50 @ A3
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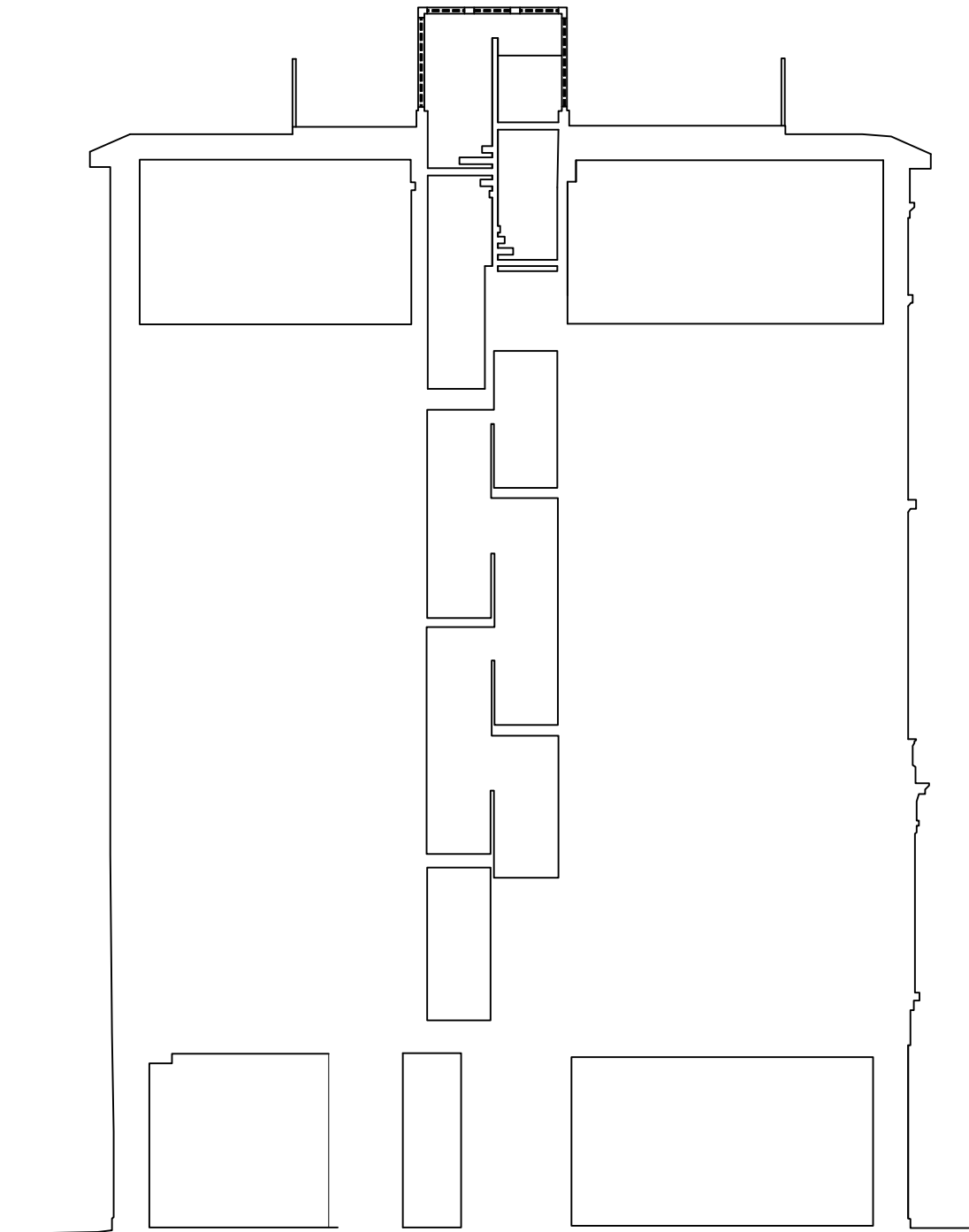
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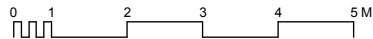
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TITLE		
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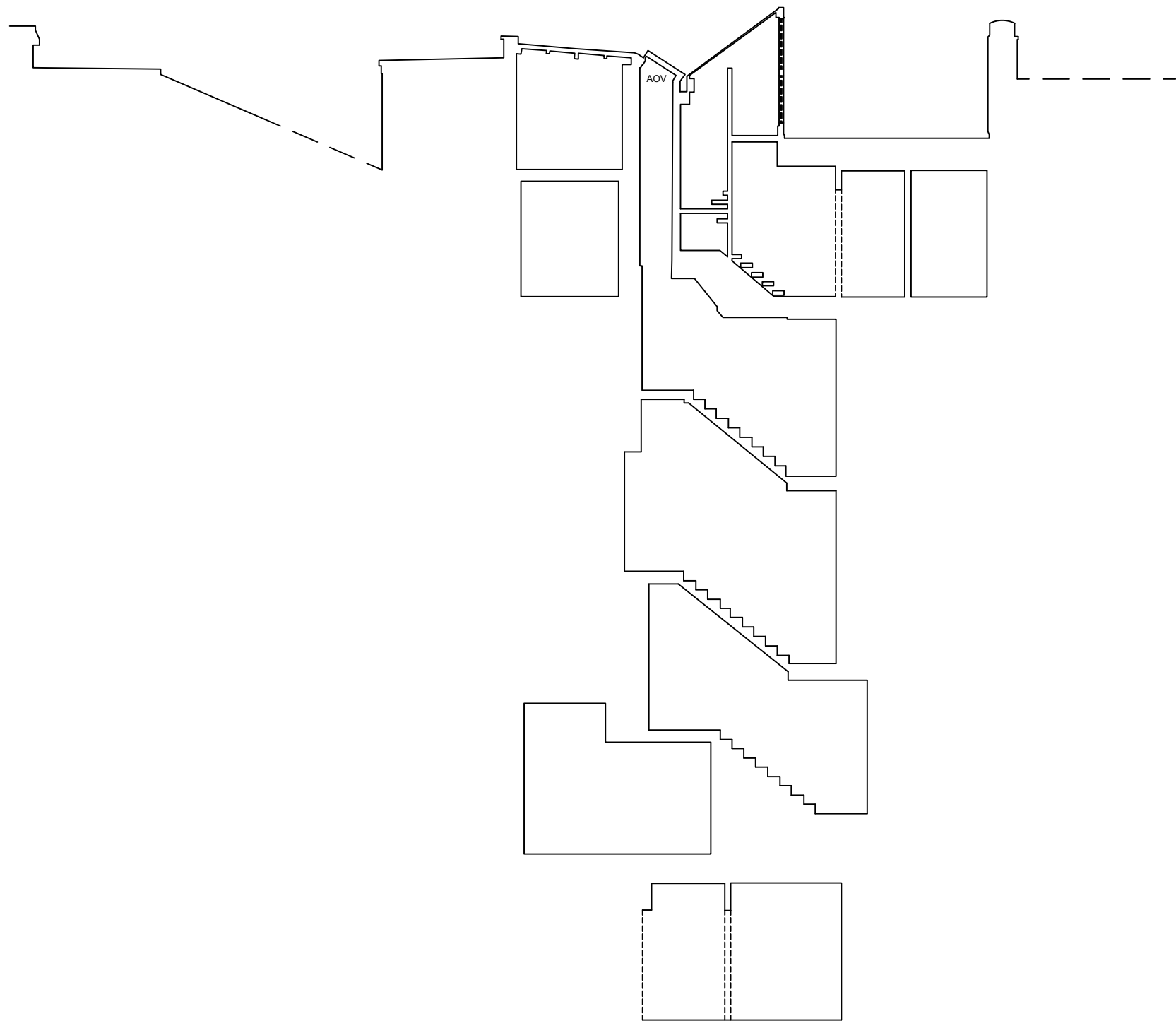
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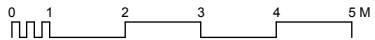
EXISTING STRUCTURE:
Existing structure including foundations, beams, walls and lintels carrying new and altered loads are to be exposed and checked for adequacy prior to commencement of work and as required by the Building Control Officer.

Planning

JOB		JOB NO.
Adam Ryan Flat 8, 43 Regents Park Road London NW1 7SY		202109
		DATE April 2022
TITLE		
Existing Section EE		
DRAWING NO.	REVISION	SCALE
EX.09	A	1:100 @ A3
NOTES		
design pomegranate		
Studio 9, Bickerton House, 25 Bickerton Road, London N19 5JT		
m: 07951 602 021 e: hello@designpomegranate.com		
w: www.designpomegranate.com		
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GENERAL NOTES: To be read in conjunction with all other drawings, detail and specifications.

DRAWINGS SUBJECT TO BUILDING CONTROL APPROVAL

CDM REGULATIONS:
The owner must abide by the Construction Design and Management Regulations 1994 which relate to any building works involving more than 500 man hours or longer than 30 days duration. It is the client's responsibility to appoint a Planning Supervisor on all projects that require compliance with CDM regulations.

HEALTH AND SAFETY:
The Contractor is reminded of their liability to ensure due care, attention and consideration is given in regard to safe practice in compliance with the Health and Safety at Work Act 1974.

INCOMING SERVICES:
Establish the position of all incoming services prior to starting work with particular regard to gas and electrical mains.

SITE PREPARATION:
Ground to be prepared for new works by removing all unsuitable material, vegetable matter and tree and shrub roots to a suitable depth to prevent future growth. Seal up, cap off, disconnect and remove existing redundant services as necessary. Reasonable precautions must also be taken to avoid danger to health and safety caused by contaminants and ground gases eg. landfill gases, radon, vapours etc. on or in the ground covered, or to be covered by the building.

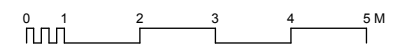
EXISTING STRUCTURE:
Existing structure including foundations, beams, walls and lintels carrying new and altered loads are to be exposed and checked for adequacy prior to commencement of work and as required by the Building Control Officer.

Planning

JOB Adam Ryan Flat 8, 43 Regents Park Road London NW1 7SY		JOB NO. 202109
		DATE April 2022
TITLE Existing Section DD		
DRAWING NO. EX.08	REVISION A	SCALE 1:100 @ A3
NOTES		
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EXISTING STRUCTURE:
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Planning

JOB Adam Ryan Flat 8, 43 Regents Park Road London NW1 7SY		JOB NO. 202109
		DATE April 2022
TITLE Existing Rear Elevation		
DRAWING NO. EX.07	REVISION A	SCALE 1:100 @ A3
NOTES		
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0 1 2 3 4 5 M

GENERAL NOTES: To be read in conjunction with all other drawings, detail and specifications.

DRAWINGS SUBJECT TO BUILDING CONTROL APPROVAL

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SITE PREPARATION:
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EXISTING STRUCTURE:
Existing structure including foundations, beams, walls and lintels carrying new and altered loads are to be exposed and checked for adequacy prior to commencement of work and as required by the Building Control Officer.

Planning

JOB		JOB NO.
Adam Ryan Flat 8, 43 Regents Park Road London NW1 7SY		202109
		DATE
		April 2022
TITLE		
Existing Front Elevation		
DRAWING NO.	REVISION	SCALE
EX.06	A	1:100 @ A3
NOTES		
<div><p>design pomegranate</p><p>Studio 9, Bickerton House, 25 Bickerton Road, London N19 5JT m: 07951 602 021 e: hello@designpomegranate.com w: www.designpomegranate.com</p><p><i>bespoke residential architecture</i></p></div>		