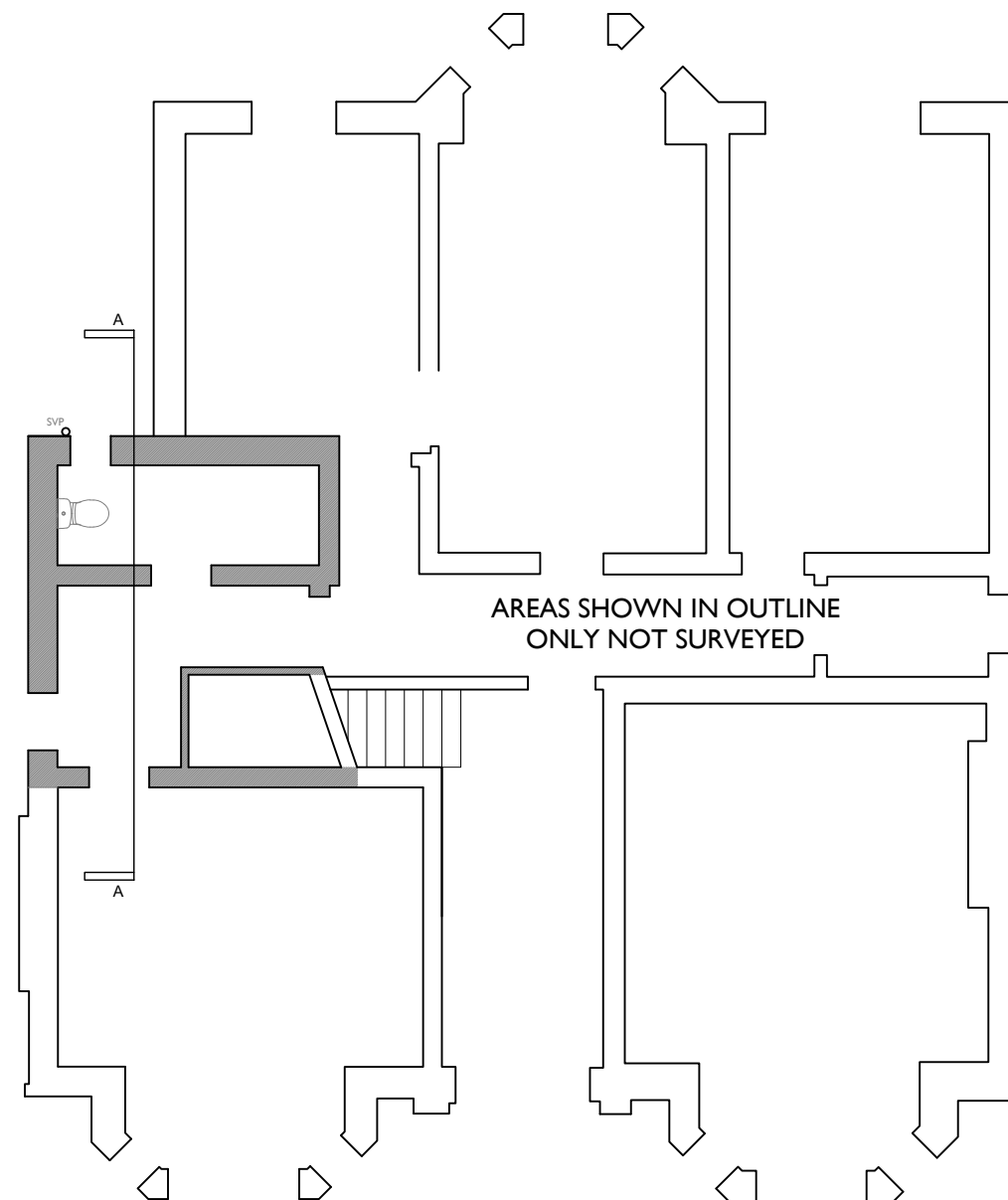
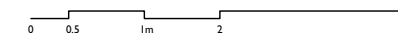


Lower Ground Floor



Upper Ground Floor



Notes:

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**NOT FOR  
CONSTRUCTION**

Revisions:	
T1	Tender Issue - Draft

Dwg Title: Lower Ground and Ground Floor Plans as existing

Address:

34a Belsize Park Gardens  
London  
NW3

Scale: 1:100@A3 1:50@A1

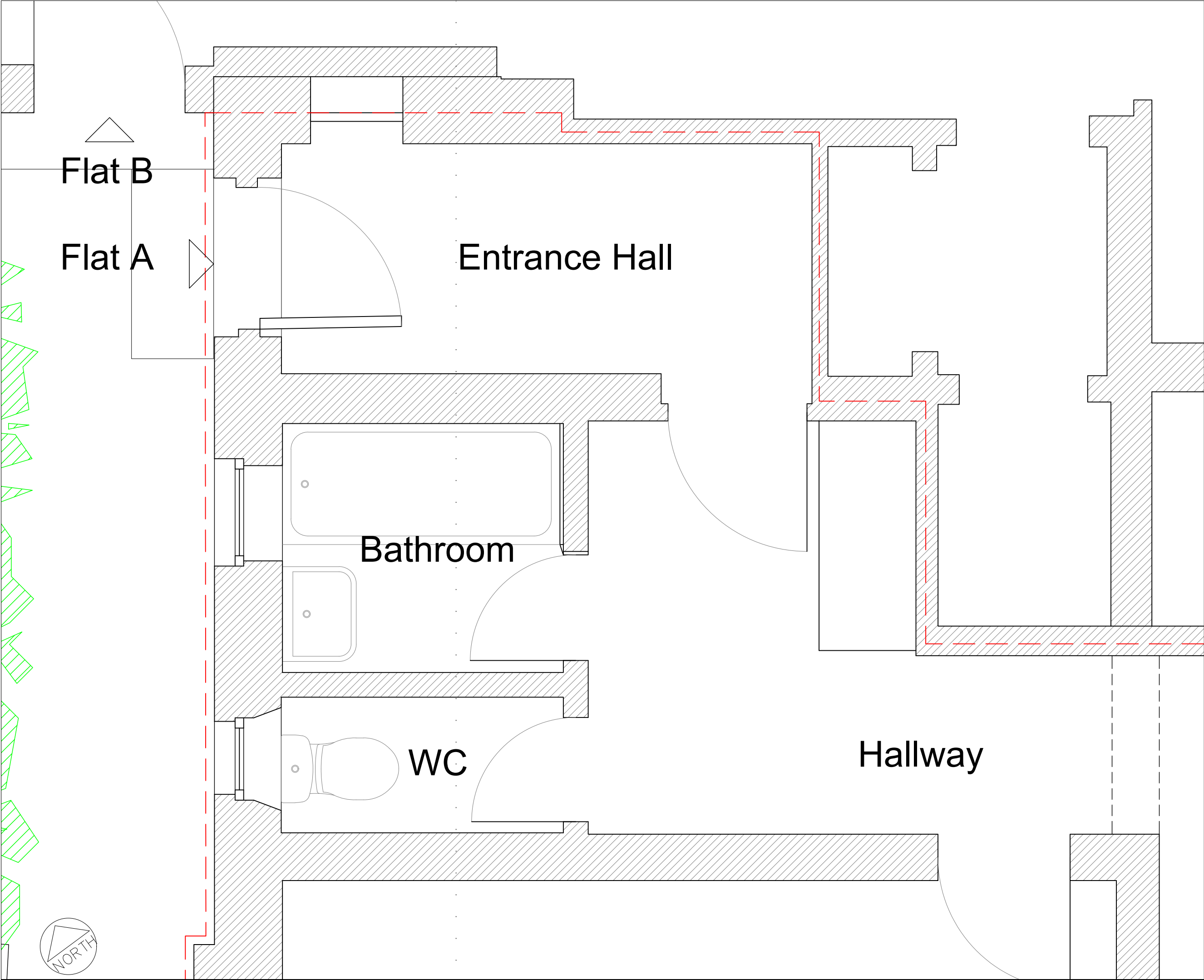
Job No: 18013

Drawing No: E-100	Rev: T1
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Drawn by: JOH Checked: ROH

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London  
NW5 2XD  
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- Notes:
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**NOT FOR  
CONSTRUCTION**

Revisions:	
T1	Tender Draft

Dwg Title: Bathroom and Hallway  
Floor Plan as Existing

Address:

34a Belsize Park Gardens  
London  
NW3

Scale: 1:20@A3 1:10@A1

Job No: 18013

Drawing No: E-101	Rev: T1
-------------------	---------

Drawn by: JOH Checked: ROH

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**BUILDERS/MANUFACTURERS MUST NOT SCALE FROM ANY PART OF THIS DRAWING.**
4. This drawing remains the property of Format Extend Limited and is protected by copyright.
5. Cavity Wall Construction (unless specified differently in details): external leaf of 102.5mm London stocks brick or 16mm synthetic render on 100mm concrete block with 50mm clear cavity, 60mm Kingspan Kooltherm K8 cavity board against inner leaf and inner leaf of 100mm dense concrete block with 15mm plaster finish.
6. Cavity wall to be joined to retained structure with ancon wall starter ties and 20mm movement joint of flexcell with compriband to outer edge.
7. Stud walls to be 70x50mm timber or 70mm metal 'C' studs at 400mm cc with full fill Rockwool batts between studs with 12.5mm plaster board and 3mm skim to both sides
8. Damp proof course to be minimum of 150mm above adjacent ground level and have cavity trays and damp proof membrane lapped in. Blue engineering brick to be used below DPC level.
9. All structural members (footings, beams, padstones, joists, rafters etc.) to be to engineer's specification.
10. Concealed structural members to be provided with 60minutes fire protection e.g 1x 15mm Fireline plasterboard or 2 x 12.5mm plasterboard.
11. Exposed structural steelwork to be painted with intumescent paint to provide 60 minutes protection.
12. All stud walls to provide minimum 30min fire protection e.g. 12.5mm plasterboard and 3mm skim to both sides upto 2500mm height, 15mm PB and skim upto 2800mm and 2 x 12.5mm PB and skim upto 3000mm.
13. Trickle vents to all windows to provide whole dwelling ventilation rate of not less than that shown in table 5.1b of Approved Document F.
14. All works to be carried out in accordance with all relevant sections of building regulations, British and European Standards.

Job No: 18013

Address:  
34a Belsize Park Gardens  
Belsize Park  
London  
NW3

Dwg Title: Structural Layouts  
Sections as Existing

Drawing No: E-200 Rev: T1

Drawn by: JOH Checked: ROH

Scale: 1:100@A3 1:50@A1

Revisions:

T1 Tender Issue 1 Draft

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**FORMAT**

**NOT FOR CONSTRUCTION**

# Side Elevation of Flat A

- Notes:
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  - 2. Any discrepancies between this and any other relevant drawing must be brought to the attention of the Format project coordinator immediately.
  - 3. Only written dimensions are to be used. Do not scale from any part of this drawing.
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Revisions:	
T1	Tender Issue 1 - Draft

Dwg Title: Flat A Detailed Elevation as Existing

Address:

34a Belsize Park Gardens  
London  
NW3

Scale: 1:20@A3 1:10@A1

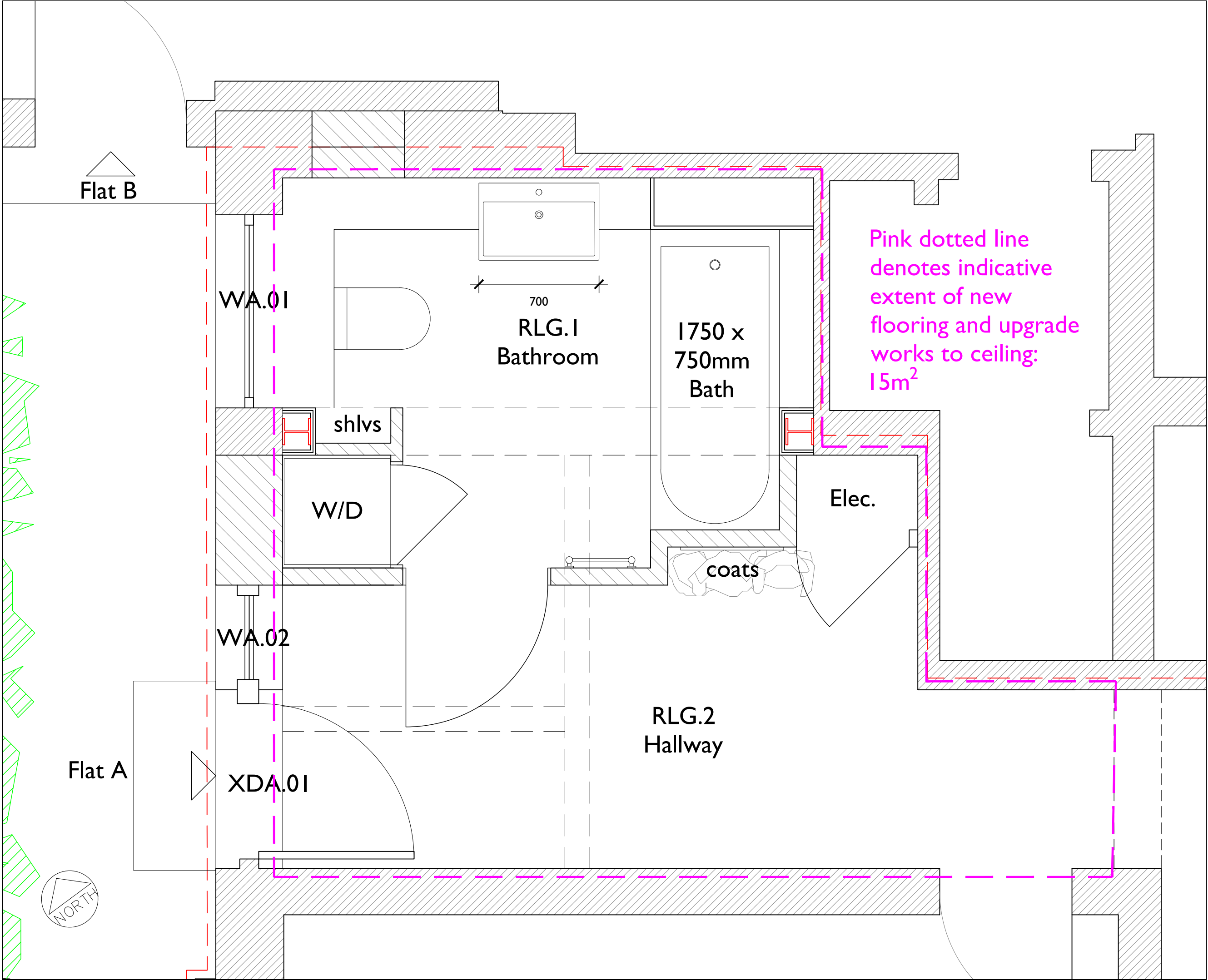
Job No: 18013

Drawing No: E-201	Rev: T1
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Drawn by: JOH	Checked: ROH
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- Notes:
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Revisions:	
A	
B	
C	
D	

Dwg Title: Flat A - Hallway and Bathroom Floor Plan as Proposed

Address:

34a Belsize Park Gardens  
London  
NW3

Scale: 1:20@A3 1:10@A1

Job No: 18013

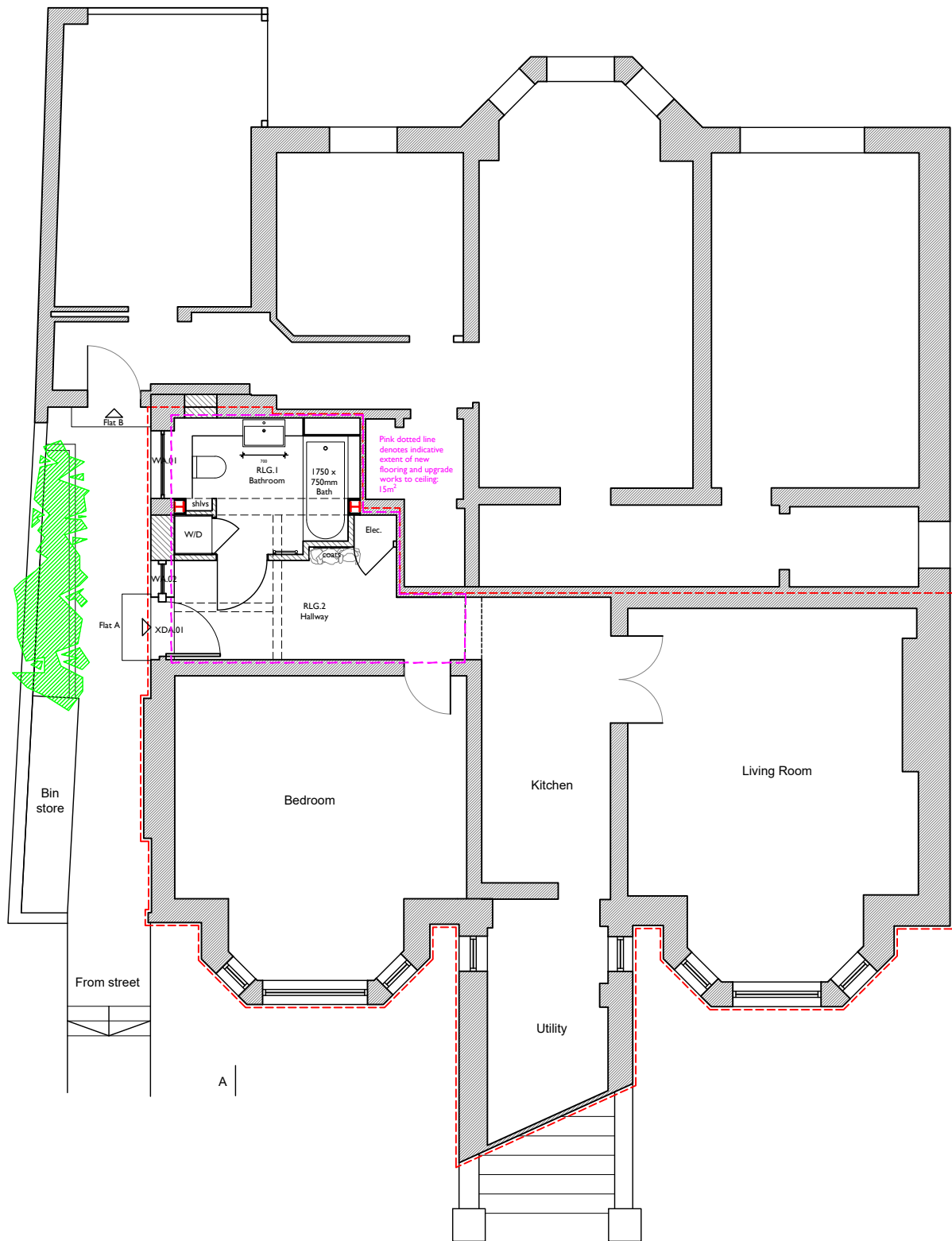
Drawing No: P100	Rev: -
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Drawn by: JOH	Checked: ROH
---------------	--------------

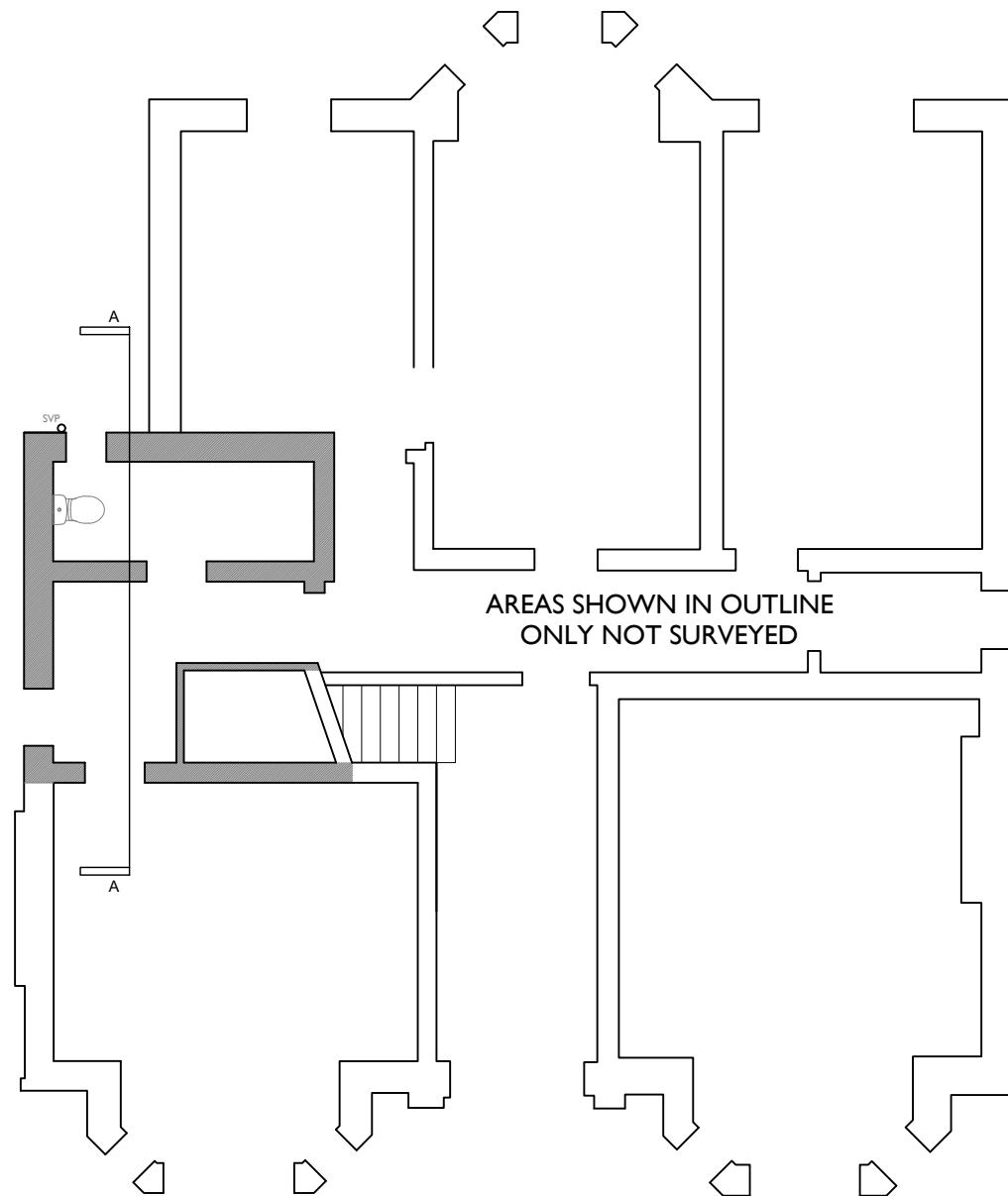
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London  
NW5 2XD  
Tel: 0207 372 7576  
E: info@formatextend.com



A

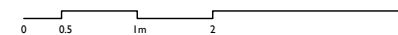


Lower Ground Floor



Upper Ground Floor

AREAS SHOWN IN OUTLINE  
ONLY NOT SURVEYED



Notes:

1. This drawing to be read in conjunction with all other relevant architectural structural and other consultants drawings and specifications.
2. Any discrepancies between this and any other relevant drawing must be brought to the attention of the Format project coordinator immediately.
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Revisions:

A	
B	
C	
D	

Dwg Title: Lower Ground Floor Plan  
as Proposed option 4

Address:

34a Belsize Park Gardens  
London  
NW3

Scale: 1:100@A3 1:50@A1

Job No: 18013

Drawing No: P101	Rev: -
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Drawn by: JOH	Checked: ROH
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Side Elevation of Flat A

WA.01

WA.02

XDA.01

34a

Wall re-rendered and painted to match existing

New factory finished white painted softwood timber obscured double glazed window with opening top casement with cast-stone cill

New factory finished painted softwood timber 6 panel front door with double glazed top-light panels

New factory finished white painted softwood timber obscured double glazed fixed side light with cast-stone cill

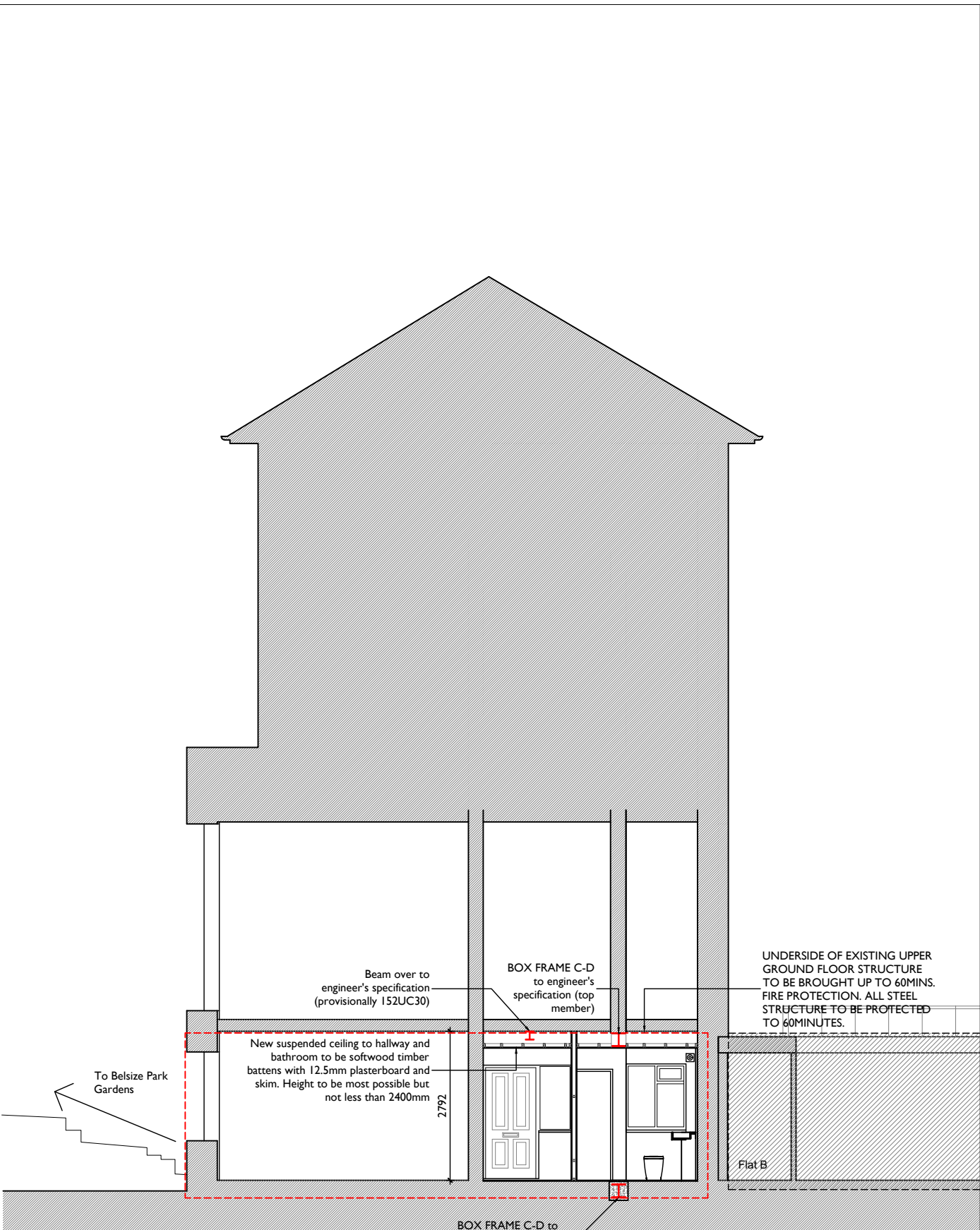
1. This drawing to be read in conjunction with all other relevant architectural structural and other consultants drawings and specifications.
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Side Elevation of Flat A

NORTH-WEST ELEVATION



SECTION A-A

60 MINUTES FIRE PROTECTION MUST BE SUPPLIED TO ALL ALL STRUCTURAL ELEMENTS

60 MINUTES FIRE SEPARATION MUST BE SUPPLIED TO CEILINGS AND WALLS WHICH PROVIDE COMPARTMENTATION FROM ADJOINING APARTMENTS. ALL SERVICE PENETRATIONS MUST BE FIRE STOPPED.

0 0.5 1m 2 5

- Notes:
1. This drawing to be read in conjunction with all other relevant architectural structural and other consultants drawings and specifications.
  2. Any discrepancies between this and any other relevant drawing must be brought to the attention of the Format project coordinator immediately.
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Revisions:
T Tender Issue I - Draft

Dwg Title: Elevation and Section as Proposed

Address:

34a Belsize Park Gardens  
London  
NW3

Scale: 1:100@A3 1:50@A1

Job No: 18013

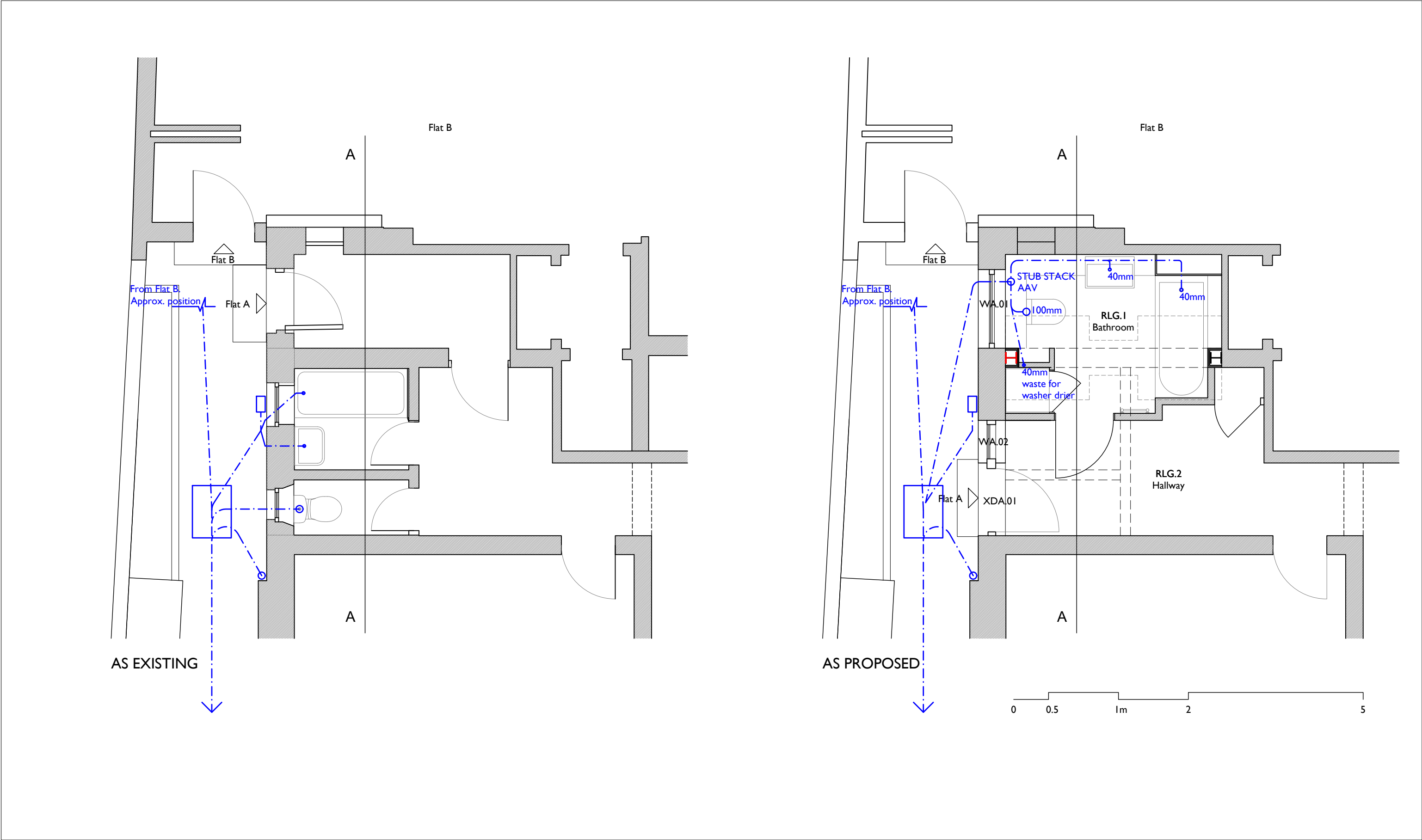
Drawing No: P-201	Rev: T1
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Drawn by: JOH Checked: ROH

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5. Cavity Wall Construction (unless specified differently in details): external leaf of 102.5mm London stocks brick or 16mm synthetic render on 100mm concrete block with 50mm clear cavity, 60mm Kingspan Kooltherm K8 cavity board against inner leaf and inner leaf of 100mm dense concrete block with 15mm plaster finish.
6. Cavity wall to be joined to retained structure with ancon wall starter ties and 20mm movement joint of flexcell with compriband to outer edge.
7. Stud walls to be 70x50mm timber or 70mm metal 'C' studs at 400mm cc with full fill Rockwool batts between studs with 12.5mm plaster board and 3mm skim to both sides
8. Damp proof course to be minimum of 150mm above adjacent ground level and have cavity trays and damp proof membrane lapped in. Blue engineering brick to be used below DPC level.
9. All structural members (footings, beams, padstones, joists, rafters etc.) to be to engineer's specification.
10. Concealed structural members to be provided with 60minutes fire protection e.g 1x 15mm Fireline plasterboard or 2 x 12.5mm plasterboard.
11. Exposed structural steelwork to be painted with intumescent paint to provide 60 minutes protection.
12. All stud walls to provide minimum 30min fire protection e.g. 12.5mm plasterboard and 3mm skim to both sides upto 2500mm height, 15mm PB and skim upto 2800mm and 2 x 12.5mm PB and skim upto 3000mm.
13. Trickle vents to all windows to provide whole dwelling ventilation rate of not less than that shown in table 5.1b of Approved Document F.
14. All works to be carried out in accordance with all relevant sections of building regulations, British and European Standards.

Job No: 18013

Address:  
34a Belsize Park Gardens  
Belsize Park  
London  
NW3

Dwg Title: Drainage Layouts  
Plans as Exst. and Prop.

Drawing No: DR100 Rev: T1

Drawn by: JOH Checked: ROH

Scale: 1:50@A3 1:25@A1

Revisions:

T1 Tender Issue 1 - draft

C

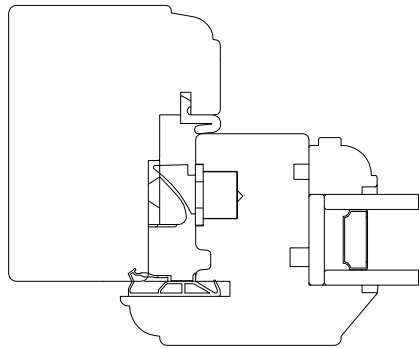
D

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NW5 2XD  
Tel: 0207 372 7576  
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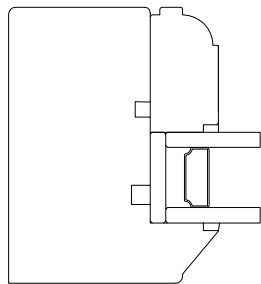
**FORMAT**

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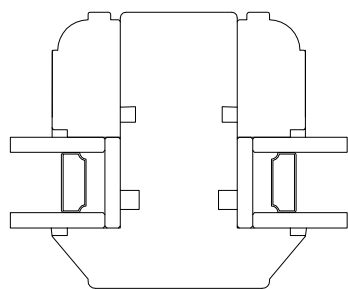
A



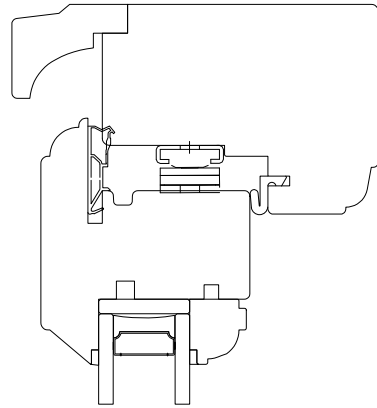
B



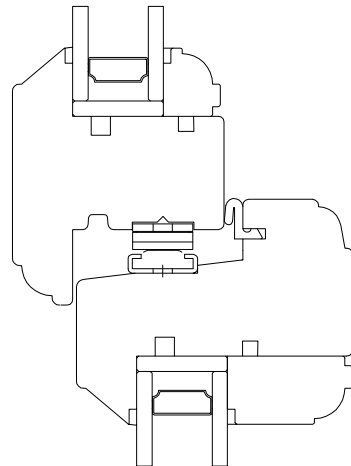
C



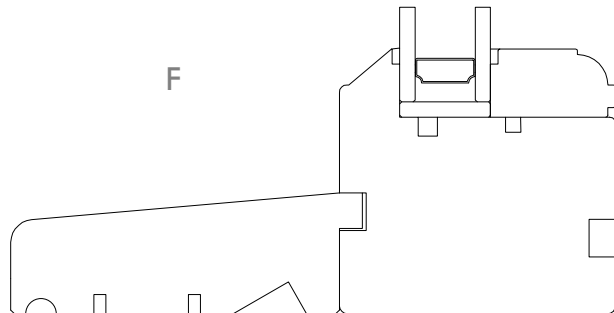
D



E



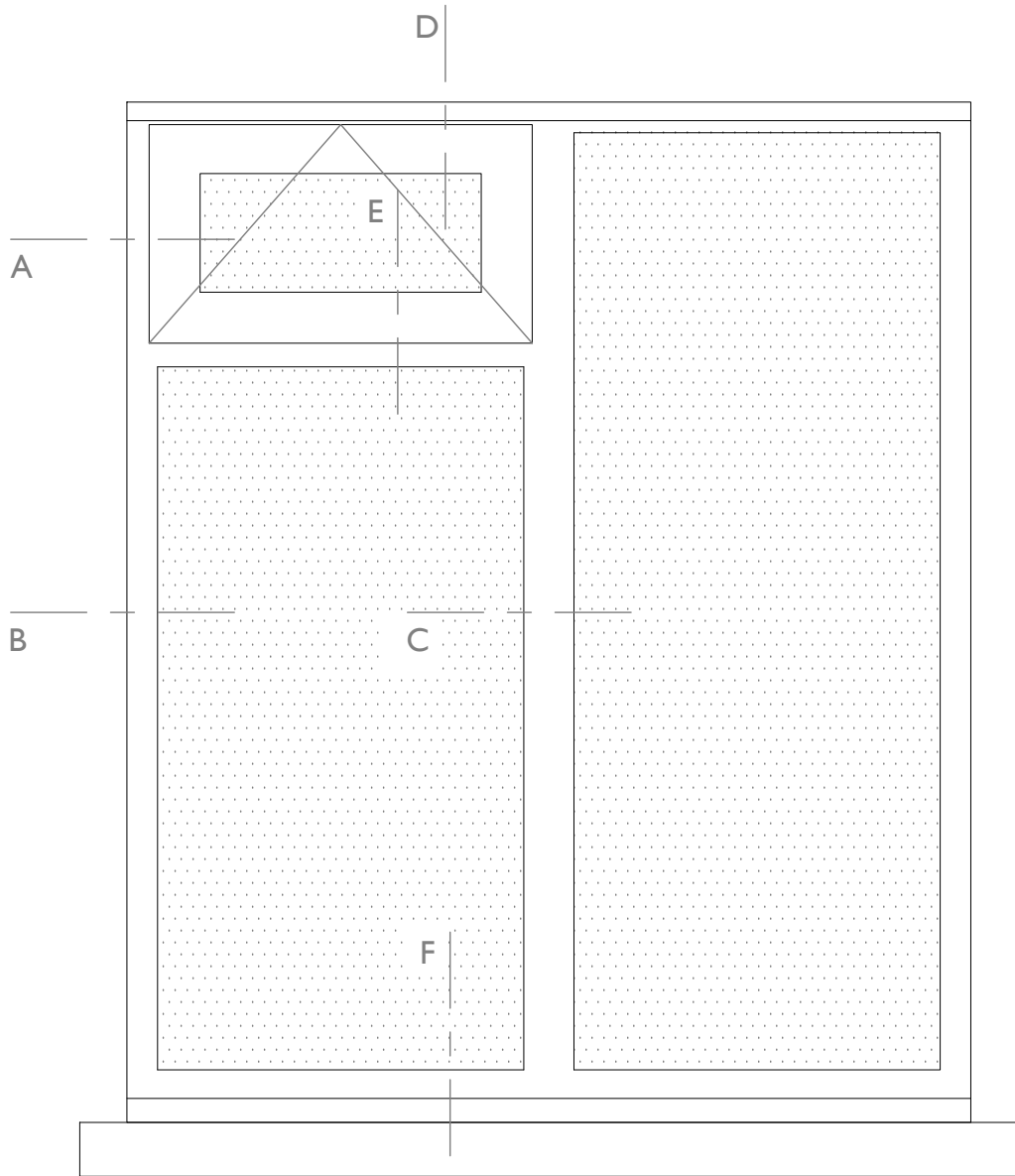
F



Factory finished white painted  
softwood timber obscured double  
glazed window with top hung  
opening top casement and 2no.  
fixed panes

1:1@A1 / 1:2@A3

1:5 @A1 / 1:10@A3



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Revisions:	
T1	Tender Issue 1 - Draft

Dwg Title: WA.01 Window Details

Address:  
  
34a Belsize Park Gardens  
London  
NW3

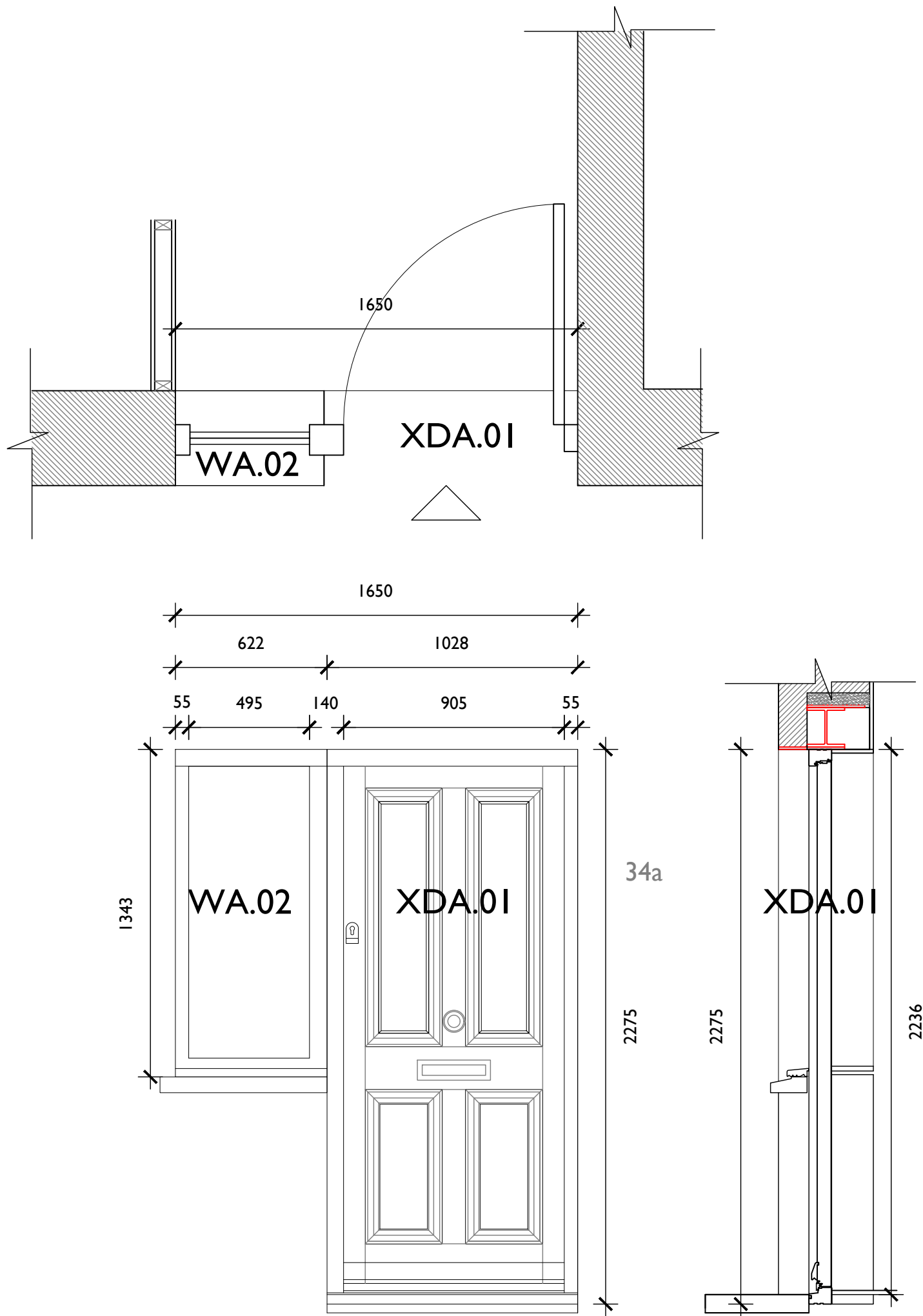
Scale: AS SHOWN  
  
Job No: 18013

Drawing No: WA.01	Rev: T1
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Drawn by: JOH    Checked: ROH

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4. This drawing remains the property of Format Extend Limited and is protected by copyright.
5. New walls to be built in size matched brick work to full thickness of wall and keyed into existing and finished externally with 15mm sand and cement render.
6. Stud walls to be 70x50mm timber or 70mm metal 'C' studs at 400mm cc with full fill Rockwool batts between studs with 12.5mm plaster board and 3mm skim to both sides
7. Damp proof course to be minimum of 150mm above adjacent ground level and have damp proof membrane lapped in. Blue engineering brick to be used below DPC level.

8. All structural members (footings, beams, columns, padstones, joists, rafters etc.) to be to engineer's specification.
9. Concealed structural members to be provided with 60minutes fire protection e.g 1x 15mm Fireline plasterboard or 2 x 12.5mm plasterboard.
10. Exposed structural steelwork to be enclosed in 2x 12.5mm plasterboard joints filled and taped to provide 60 minutes protection.
11. All stud walls to provide minimum 30min fire protection e.g. 12.5mm plasterboard and 3mm skim to both sides upto 2500mm height, 15mm PB and skim upto 2800mm and 2 x 12.5mm PB and skim upto 3000mm.
12. Trickle vents to all windows to provide whole dwelling ventilation rate of not less than that shown in table 5.1b of Approved Document F.
13. All works to be carried out in accordance with all relevant sections of building regulations, British and European Standards.

Dwg Title: XDA.01 and WA.02 configuration

Drawing No: XDA.01 Rev: T1

Drawn by: JOH Checked: ROH

Scale: 1:20@A3 1:10@A1

Revisions:

Job No: 18013

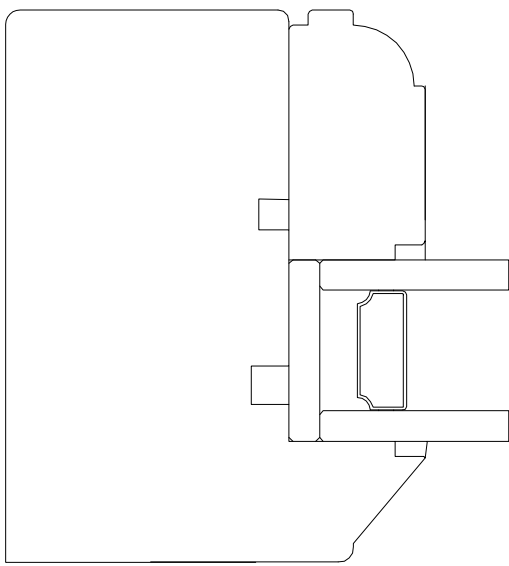
Address:  
34a Belsize Park Gardens  
London  
NW5 4LH

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23 Montpelier Grove  
London  
NW5 2XD

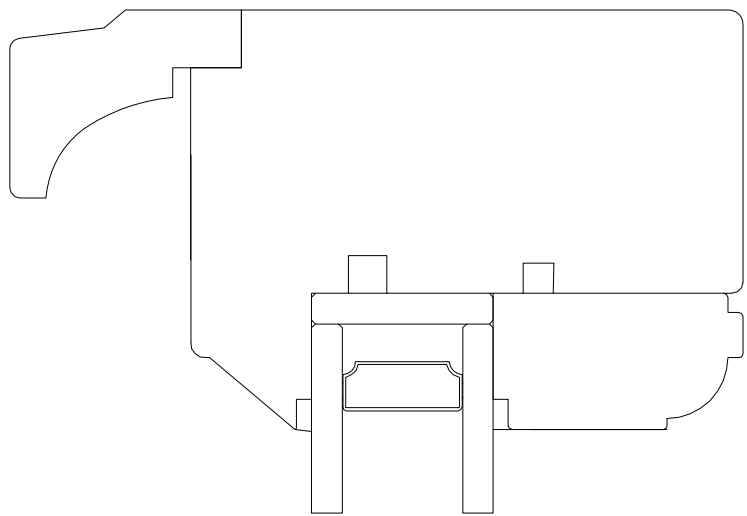
Tel: 0207 372 7576  
E: info@formatextend.com

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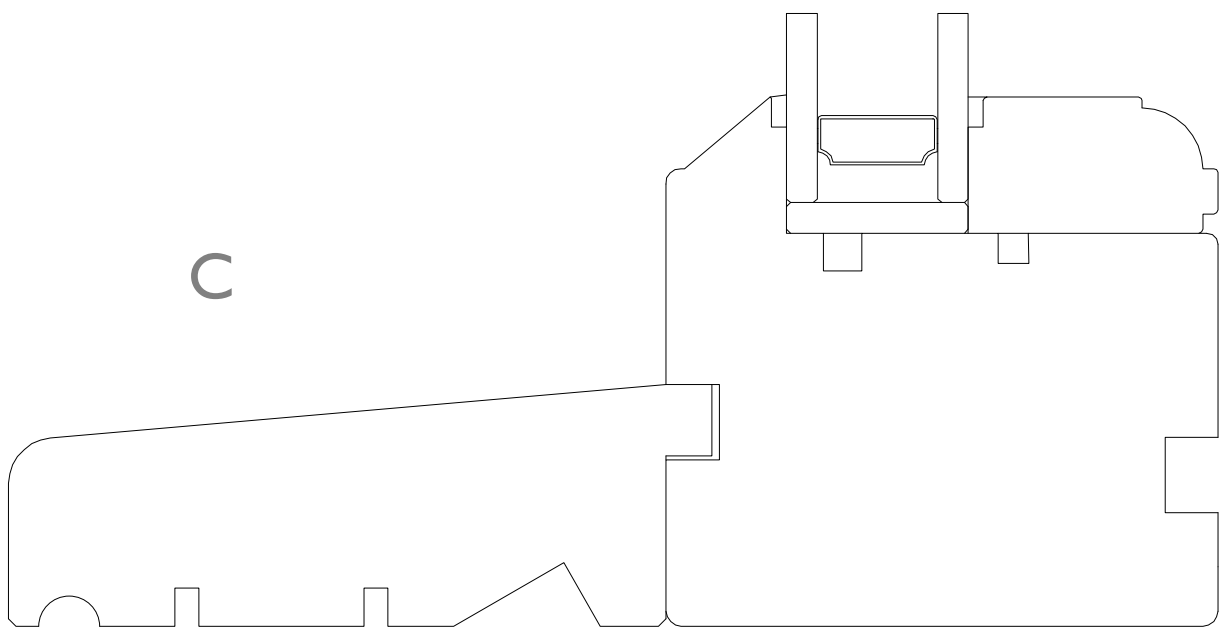
A



B



C



Factory finished white painted softwood  
timber obscured double glazed fixed side  
light

1:1@A1 / 1:2@A3

B

A

C

1:5 @A1 / 1:10@A3

- Notes:
1. This drawing to be read in conjunction with all other relevant architectural structural and other consultants drawings and specifications.
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Revisions:  
T1 Tender Issue 1 - Draft

Dwg Title: WA.02 Window Details

Address:  
  
34a Belsize Park Gardens  
London  
NW3

Scale: AS SHOWN

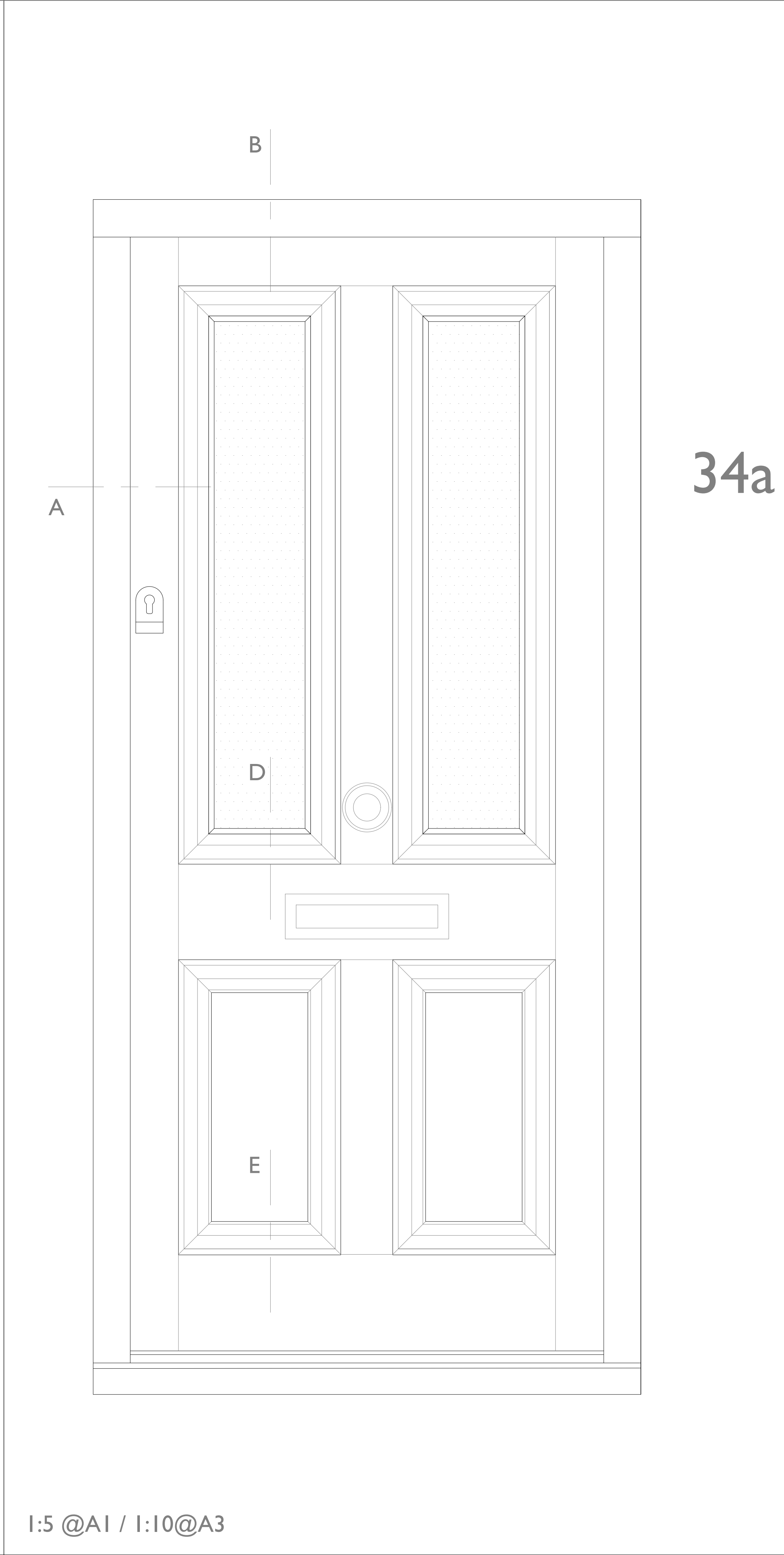
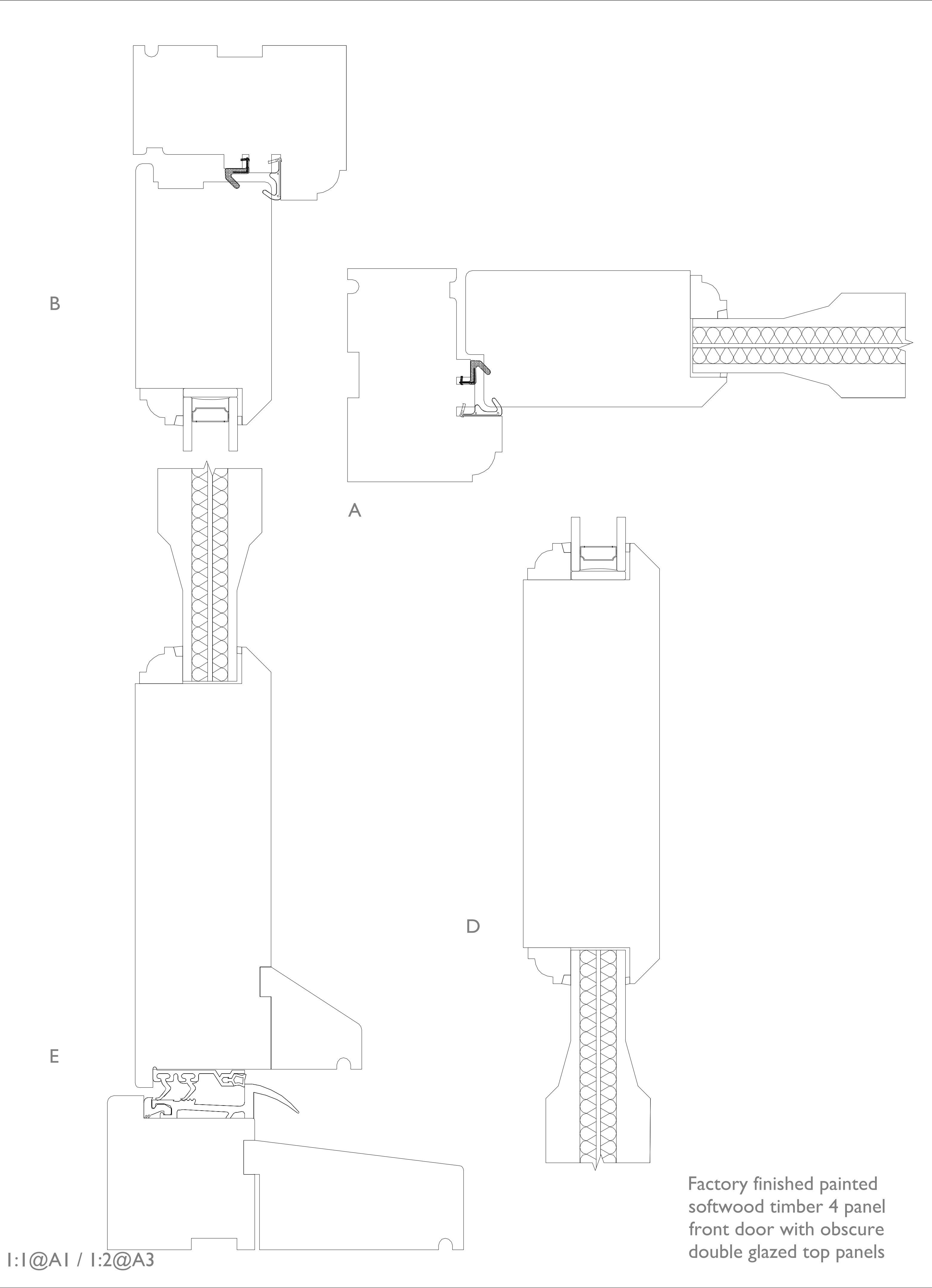
Job No: 18013

Drawing No: WA.02	Rev: T1
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Drawn by: JOH	Checked: ROH
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Revisions:	
T1	Tender Issue 1 - Draft

Dwg Title: Front Door Details

Address:

34a Belsize Park Gardens  
London  
NW3

Scale: AS SHOWN

Job No: 18013

Drawing No: XDA.02	Rev: T1
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Drawn by: JOH Checked: ROH

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