

203, Eversholt Street

Camden, London

HERITAGE STATEMENT | SEPTEMBER 2022

On behalf of Akoya Propco 4 Limited



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Section 1

Introduction.

1 | Introduction

NO.203 EVERS Holt, EVERS Holt STREET,

- 1.1 This Heritage Statement has been prepared on behalf of Akoya Propco 4 Limited to assess the potential effects of the Proposed Developments within 203 The Eversholt, Eversholt Street, Camden (henceforth 'the Site') and surrounding heritage assets.
- 1.2 The Site is Grade II listed and located within the Wider Setting Consultation Area (WSCA) of the London View Management Framework (LVMF) Protected Vista from Assessment Point 6A.1 (Blackheath Point to St Paul's Cathedral)
- 1.3 The Site is located on the west side of Eversholt Street, east of the station, and is formed of three buildings, namely 163, 183 and 203 Eversholt Street. In the immediate surroundings there is a mixture of building types, including several heritage assets as well as the substantial rail infrastructure of Euston Station.
- 1.4 A detailed desk-based assessment and fieldwork was initially conducted in early 2022. The site and surroundings have subsequently been visited in March and April 2022 and further desk-based research undertaken to prepare this Heritage Statement.
- 1.5 This report will:
 - Set out the relevant legislative and policy framework within which to understand the potential development of the Site;
 - Provide an analysis of the Site and surrounding area's historic development;
 - Describe the Site and identify relevant designated heritage assets;
 - Appraise the heritage significance of the Site and identify its contribution to the setting and significance of heritage assets; and
 - Assess the potential effects of the Proposed Development on the setting and significance of heritage assets.
- 1.6 The report has been produced by Icen Projects. Specifically, it is authored by Rebecca Mason BA (Hons) MSc MA IHBC; Associate, Hugo Tomassi, BA (Hons), Consultant, with review by Laurie Handcock, MA(Cantab) MSc, IHBC, Director.



Figure 1.1 Site Location
Source: Google Maps

Section 2

Planning, Legislation, Policy & Guidance.

Legislation		National Policy	
2.1	Where any development may have a direct or indirect effect on designated heritage assets, there is a legislative framework to ensure the proposals are considered with due regard for their impact on the historic environment.	National Planning Policy Framework (July 2021) (As amended)	
2.2	Primary legislation under Section 66 (1) of the Planning (Listed Buildings and Conservation Areas Act) 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the Local Planning Authority or Secretary of State, as relevant, shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest that it possesses.	2.3	In July 2018, the government published the updated National Planning Policy Framework (“NPPF”), which was again updated in February, June 2019 and July 2021. This maintains the focus on sustainable development that was established as the core of the previous, 2012, NPPF.
		2.4	This national policy framework encourages intelligent, imaginative and sustainable approaches to managing change. Historic England has defined this approach, which is reflected in the NPPF, as ‘constructive conservation’: defined as ‘a positive and collaborative approach to conservation that focuses on actively managing change...the aim is to recognise and reinforce the historic significance of places, while accommodating the changes necessary to ensure their continued use and enjoyment’ (Constructive Conservation in Practice, Historic England, 2009).
		2.5	Section 12, ‘Achieving well-designed places’, reinforces the importance of good design in achieving sustainable development, by ensuring the creation of inclusive and high quality places. This section of the NPPF affirms, in paragraph 130, the need for new design to function well and add to the quality of the surrounding area, establish a strong sense of place, and respond to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities).
		2.6	The guidance contained within Section 16, ‘Conserving and enhancing the historic environment’, relates to the historic environment, and developments which may have an effect upon it.
		2.7	Heritage Assets are defined in Annex 2 of the NPPF as: ‘A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing).’ Listed buildings and Conservation Areas are both designated heritage assets.
		2.8	“Significance’ is defined as ‘The value of a heritage asset to this and future generations because of its
			heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting. For World Heritage Sites, the cultural value described within each site’s Statement of Outstanding Universal Value forms part of its significance.’
		2.9	The ‘Setting of a heritage asset’ is defined as ‘The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.’
		2.10	Paragraph 192 requires local authorities to maintain or have access to a historic environment record. This should contain up-to-date evidence about the historic environment in their area and be used to assess the significance of heritage assets and the contribution they make to their environment.
		2.11	Paragraph 194 states that, when determining applications, local planning authorities should require applicants to describe the significance of the heritage assets affected and any contribution made by their setting. The level of detail provided should be proportionate to the significance of the asset and sufficient to understand the impact of the proposal on this significance. According to Paragraph 190, local planning authorities are also obliged to identify and assess the significance of any heritage asset that may be affected by a proposal and should take this assessment into account when considering the impact upon the heritage asset.
		2.12	Paragraph 197 emphasises that local planning authorities should take account of: the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation; the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and the desirability of new development making a positive contribution to local character and distinctiveness.
		2.13	Paragraph 199 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation. It emphasises that the weight given to an asset’s conservation should be proportionate to its
		2.14	Paragraph 200 states that any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification.
		2.15	Paragraphs 201 and 202 address the balancing of harm against public benefits. If a balancing exercise is necessary (i.e. if there is any harm to the asset), considerable weight should be applied to the statutory duty where it arises. Proposals that would result in substantial harm or total loss of significance should be refused, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss (as per Paragraph 201). Whereas, Paragraph 202 emphasises that where less than substantial harm will arise as a result of a proposed development, this harm should be weighed against the public benefits of a proposal, including securing its optimum viable use
		2.16	Paragraph 203 is concerned with the effect of an application on a non-designated heritage asset. Significance should be taken into account for applications which directly or indirectly affect non-designated heritage assets and a balanced judgment made regarding the scale of any harm or loss and relative significance.
		2.17	Paragraph 206 encourages opportunities for new development within, and within the setting of, Conservation Areas and World Heritage Sites, to enhance or better reveal their significance. It requires favourable treatment for proposals that preserve those elements of the setting that make a positive contribution to the asset or which better reveal its significance.
		2.18	Paragraph 207 notes that not all elements of Conservation Areas and World Heritage Sites will contribute to their significance, but that, if harm to their significance is caused, decisions should follow the balancing exercise set out in paragraph 201 and 202, as appropriate.

Regional Policy

The London Plan (2021)

2.19 Regional policy for the London area is defined by the London Plan. The New London Plan has now been adopted (March 2021) and deals with design in Chapter 3 Design, and heritage issues in Chapter 7 Heritage and Culture, covering policies HC1 – HC7, London’s Living Spaces and Places – Historic environment and landscapes. Relevant policies are identified below.

Design

- 2.20 Policy D3 ‘Optimising site capacity through the design-led approach’
- This policy identifies a design-led approach as one which ‘optimises the capacity of sites’ while ‘ensuring that development is the most appropriate form and land use for the site’. This includes consideration of both the site’s context and capacity for growth. Higher densities are identified as suitable for well connected places in terms of transport infrastructure, as well as existing high density areas. Incremental densification should be encouraged elsewhere.
- This policy identifies requirements for development, the most relevant to this assessment are included as follows:
- 2.21 ‘1) enhance local context by delivering buildings and spaces that positively respond to local distinctiveness through their layout, orientation, scale, appearance and shape, with due regard to existing and emerging street hierarchy, building types, forms and proportions.’
- 2.22 ‘11) respond to the existing character of a place by identifying the special and valued features and characteristics that are unique to the locality and respect, enhance and utilise the heritage assets and architectural features that contribute towards the local character.’
- 2.23 ‘12) be of high quality, with architecture that pays attention to detail, and gives thorough consideration to the practicality of use, flexibility, safety and building lifespan through appropriate construction methods and the use of attractive, robust materials which weather and mature well.’

Heritage and Culture

- 2.24 Policy HC1 ‘Heritage Conservation and Growth’ requires boroughs to develop evidence that demonstrates a clear understanding of London’s historic environment. It further requires Boroughs to use this knowledge to inform the effective integration of London’s heritage in regenerative change by:
- a. setting out a clear vision that recognises and embeds the role of heritage in place-making;
 - b. utilising the heritage significance of a site or area in the planning and design process;
 - c. integrating the conservation and enhancement of heritage assets and their settings with innovative and creative contextual architectural responses that contribute to their significance and sense of place; and,
 - d. delivering positive benefits that conserve and enhance the historic environment, as well as contributing to the economic viability, accessibility and environmental quality of a place, and to social wellbeing.
- 2.25 2.24 Part C - E of Policy HC 1 state that: “Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets’ significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process”.
- 2.26 Policy HC3 ‘Strategic and Local Views’ identifies a series of designated views of strategically-important landmarks to be protected. These Protected Vistas are made up of a Landmark Viewing Corridor and Wider Setting Consultation Area.
- 2.27 This policy identifies that ‘development proposals must be assessed for their impact on a designated view if they fall within the foreground, middle ground or background of that view’ and that ‘each element of the vista will require a level of management appropriate to its potential impact on the viewer’s ability to recognise and appreciate the Strategically-Important Landmark.’

- 2.28 Policy HC4 ‘London View Management Framework’ identifies the following as key considerations for protecting these designated views:
- 2.29 ‘Development proposals should not harm, and should seek to make a positive contribution to, the characteristics and composition of Strategic Views and their landmark elements. They should also preserve and, where possible, enhance viewers’ ability to recognise and to appreciate StrategicallyImportant Landmarks in these views’.
- 2.30 ‘Development in the foreground, middle ground and background of a designated view should not be intrusive, unsightly or prominent to the detriment of the view.’
- 2.31 Relevant to this assessment where the Site is in the background of a Protected Vista and Wider Setting Consultation Area, the following are relevant considerations:
- 2.32 ‘development in the Wider Setting Consultation Area should form an attractive element in its own right and preserve or enhance the viewer’s ability to recognise and to appreciate the Strategically-Important Landmark. It should not cause a canyon effect around the Landmark Viewing Corridor.’
- 2.33 ‘development in the background should not harm the composition of the Protected Vistas, nor the viewer’s ability to recognise and appreciate the Strategically-Important Landmark, whether the development proposal falls inside the Wider Setting Consultation area or not.’

Local Policy

London Borough of Camden Local Plan, 2017

- 2.34 The London Borough of Camden’s Local Plan was adopted by the Council on 3 July 2017. Along with the Local Plan, Supplementary Planning Documents (SPDs) also form a key part of LB Camden’s Local Development Framework.
- 2.35 Relevant heritage policies contained within Local Development Plan documents are as follows:
- Policy D1 Design part (q)
 - Policy D2 Heritage.

- 2.36 Policy D1 ‘Design’ requires high quality design that, relevant to this assessment:
- ‘respects local context and character’;
 - ‘preserves or enhances the historic environment and heritage assets in accordance with Policy D2 Heritage’;
 - ‘comprises details and materials that are of high quality and complement the local character’;
 - ‘preserves strategic and local views’.
- 2.37 Policy D2 Heritage states that ‘The Council will preserve and, where appropriate, enhance Camden’s rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets’.
- Regarding Conservation Areas, the Council will:
- ‘require that development within Conservation Areas preserves or, where possible, enhances the character or appearance of the area’;
 - resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a Conservation Area;
 - resist development outside of a Conservation Area that causes harm to the character or appearance of that Conservation Area; and
 - preserve trees and garden spaces which contribute to the character and appearance of a Conservation Area or which provide a setting for Camden’s architectural heritage.’
- The Council also will also ‘resist development that would cause harm to significance of a listed building through an effect on its setting

2 | Planning Legislation, Policy & Guidance

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National and Regional Planning Guidance

National Design Guide (2021)

- 2.38
- In September 2019, the Ministry of Housing, Communities and Local Government (MHCLG) produced a National Design Guide illustrating how well-designed places that are beautiful, enduring and successful can be achieved in practice. It was updated in 2021 and forms part of the Government’s collection of planning practice guidance.
- 2.39
- The Guide recognises that well-designed places have individual characteristics which work together to create its physical Character. It introduces 10 specific characteristics that would need to be considered when considering new development. These are:
- Context - enhances the surroundings which should: understand and relate well to the site, its local and wider context (C1) & value heritage, local history and culture (C2).

• Identity - attractive and distinctive and designed to: respond to existing local character and identity (I1), be well-designed, high quality and attractive places and buildings (I2) & create character and identity (I3).

• Built form - a coherent form of development which includes: a compact form of development (B1), appropriate building types and forms (B) & creates destinations (B3).

• Movement - accessible and easy to move around, comprising: a connected network of routes for all modes of transport (M1), active travel (M2) & well-considered parking, servicing and utilities infrastructure for all users (M3).

• Nature - enhanced and optimised to: provide a network of high quality, green open spaces with a variety of landscapes and activities, including play (N1), improve and enhance water management (N2) & support rich and varied biodiversity (N3).

• Public spaces - safe, social and inclusive which: create well-located, high quality and attractive public spaces (P1), provide well-designed spaces that are safe (P2) & make sure public spaces support social interaction (P3).
- Uses – mixed and integrated comprising: a mix of uses (U1), a mix of home tenures, types and sizes (U2) and socially inclusive uses (U3).

• Homes and buildings – functional, healthy and sustainable by providing: a healthy, comfortable and safe internal and external environment (H1), well-related to external amenity and public spaces (H2) & attention to detail with storage, waste, servicing and utilities (H3)

• Resources – efficient and resilient by ensuring that they: follow the energy hierarchy (R1), include careful selection of materials and construction techniques (R2) & maximise resilience (R3).

• Lifespan – made to last by being: well-managed and maintained (L1), adaptable to changing needs and evolving technologies (L2) and with a sense of ownership (L3).

2.40

MHCLG recently published the National Model Design Code (2021) which sets out detailed standards for successful design, drawing from the findings of the Building Better, Building Beautiful Commission.

2.41

The Guide acknowledges that quality design does not look the same across different areas of the country, for instance, that by definition local vernacular differs. MHCLG, therefore, expects that local planning authorities develop their own design codes or guides, taking into consideration the National Model Design Code. These would be expected to set clear parameters for what good quality design looks like in their area, following appropriate local consultation.

2.42

This supports Paragraph 134 of the National Planning Policy Framework, which requires that “development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design”.

Planning Practice Guidance (“PPG”) (Department for Communities and Local Government, last updated June 2021)

2.43

The guidance on ‘Conserving and enhancing the historic environment’ in the PPG supports the NPPF. Paragraph 002 states that conservation is an active process of maintenance and managing change that

requires a flexible and thoughtful approach, and that neglect and decay of heritage assets is best addressed through ensuring that they remain in active use that is consistent with their conservation.

2.44

Paragraph 006 sets out how heritage significance can be understood in the planning context as archaeological, architectural, artistic or historic:

archaeological interest: As defined in the Glossary to the National Planning Policy Framework, there will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.

architectural and artistic interest: These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skill, like sculpture.

historic interest: An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation’s history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.

2.45

The PPG emphasises in paragraph 007 the importance of assessing the nature, extent and importance of a heritage asset in understanding the potential impact and acceptability of development proposals.

2.46

Paragraph 018 explains that where potential harm to designated heritage assets is identified, it needs to be categorised as either less than substantial harm or substantial harm (which includes total loss) in order to identify which policies in the NPPF apply. Whether a proposal causes substantial harm will be a judgment for the decision-maker, having regard to the circumstances of the case and the policy in the NPPF. In general terms, substantial harm is a high test, so it may not arise in many cases. For example, in determining whether works to a listed

building constitute substantial harm, an important consideration would be whether the adverse impact seriously affects a key element of its special architectural or historic interest.

2.47

Harm may arise from works to the heritage asset or from development within its setting. A thorough assessment of the impact on setting needs to take into account, and be proportionate to, the significance of the heritage asset and the degree to which proposed changes enhance or detract from that significance and the ability to appreciate it.

2.48

The PPG also provides clear guidance in paragraph 020 on the meaning of ‘public benefits’, particularly in relation to historic environment policy, including paragraphs 193 to 196 of the NPPF. The PPG makes clear that public benefits should be measured according to the delivery of the three key drivers of sustainable development: economic, social and environmental outcomes, all of which are reflected in the objectives of the planning system, as per Paragraph 8 of the NPPF. Public benefits include heritage benefits, and do not always have to be visible or accessible to the public in order to be genuine public benefits, for example, works to a listed private dwelling which secure its future as a designated heritage asset could be a public benefit.

London View Management Framework Supplementary Planning Guidance (2012)

2.49

This guidance was prepared by the Greater London Authority and identified Designated Views throughout London to inform their ongoing protection and management. It has been referred to in the consideration of the Site’s location within the wider setting area of the Protected Vista from Assessment Point 6A.1 (Blackheath Point to St Paul’s Cathedral).

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Camden Planning Guidance

Design Supplementary Planning Document (January 2021)

- 2.50
- This document supports the requirements for high-quality design set out in Camden’s Local Plan and the NPPF.
- 2.51
- It states that ‘Camden is committed to excellence in design and schemes should consider:
- The context of a development and its surrounding area;

•

The design of the building itself;

•

The use and function of buildings;

•

Using good quality sustainable materials;

•

Creating well connected public spaces and good quality public realm;

•

Opportunities for promoting health and well-being

•

Opportunities for improving the character and quality of an area.’ (p.6)
- 2.52
- This guidance sets out in detail the principles for ‘design excellence’ in Camden.
- 2.53
- Regarding heritage, this guidance states that: ‘The Council will make a balanced judgment having regard to the scale of any harm or loss and the significance of the asset/s affected. ‘ Taking into account:
- ‘The desirability of sustaining and enhancing the significance of any heritage asset/s and putting them to viable uses consistent with their conservation;

•

The positive contribution that the conservation of heritage assets can make to sustainable communities including their economic vitality and health and wellbeing;

•

The desirability of new development that affects heritage assets to preserve and enhance local character and distinctiveness.’ (p.18)
- 2.54
- This is in line with Camden’s Policies D1 & D2.

Bloomsbury Conservation Area Appraisal and Management Strategy

- 2.55
- Bloomsbury Conservation Area Appraisal and Management Strategy (2011) has also been referred to in order to inform the understanding of the surroundings of the Site.

Section 3

Historic Development of the Site and Surroundings.

3 | Historic Development of the Site and Surroundings

The Euston Area

- 3.1 The Euston area was historically part of the Manor of Tottenhall and thereafter the Southampton Estate. It takes its name from the Dukes of Grafton whose family seat is at Euston Hall. The 2nd Duke of Grafton was allowed to build the New Road (now Euston Road) through what was then agricultural land, following a 1756 Act of Parliament. Its original intention was to relieve heavily congested traffic along Oxford Road and Holborn and allow the driving of cattle to market at Smithfield. The road soon began to facilitate further development north of the established London conurbation, which accelerated in the late 18th and early 19th centuries.
- 3.2 The Somers Town area, largely to the east and north of Euston, was built on an estate formerly belonging to the Charterhouse. Having passed through a number of land owners, in 1694 it was purchased by Charles Cocks of the Middle Temple who married Mary, sister of Lord Chancellor Somers. Their grandson, Sir Charles Cocks was created Baron Somers of Evesham in 1784, and the land was referred to as Somers Town thereafter. Somers Town was originally within the medieval Parish of St Pancras, Middlesex, which in 1900 became the Metropolitan Borough of St Pancras, and later the London Borough of Camden in 1965.
- 3.3 To the west, the New Road also supported the development of John Nash's Regent's Park. As the Architect to the Department of Woods and Forests, Nash was commissioned to develop a new plan for the park and immediate surrounding area that would be the northern culmination of Nash's plan of the West End. Regent's Canal established its north boundary. To the south, the area was developed as a grid of terraced streets.
- 3.4 The northern part of Euston Square was laid out in c1811 and built within 5 years, immediately to the north of the New Road. A grid of streets were also laid out to its north at this time, set between Somers Town in the east and Hampstead Road further west. The southern part of the square remained undeveloped and was still being used as a nursery garden at this time. St Pancras New Church was built at its east end between 1819 and 1822, with enclosure of the southern part of the square following and completed by the late 1820s.

- 3.5 Perhaps most dramatic intervention in the area came in the mid 1830s, with the development of the London & Birmingham Railway Company's railway line into London with a terminus at Euston. Existing development north of Euston Square was demolished at this time to make way for the railway development. Three mainline stations were constructed within close proximity; Euston (opened 1837), St Pancras (1868), and Kings Cross (1852). Development in the surrounding area was heavily influenced by the arrival of this railway infrastructure and a number of existing terraces demolished to make way for it.
- 3.6 The area suffered extensive bomb damage during the second world war and slum clearance prompted an ambitious postwar programme of redevelopment by the Borough of St Pancras. The Regent's Park Estate was the largest of these, as well as redevelopment around Cumberland Market and southwards towards Euston Road in the 1950s. Euston Station was redeveloped in the 1960s as part of the electrification of the rail network.
- 3.7 In the latter part of the 20th century, between 1970 and 1990, the historic street pattern to the east of Euston and surrounding Eversholt Street (formerly known as Seymour Road) saw significant redevelopment as part of the new housing development here. This included shortening Lancing Street, renaming Drummond Street to Doric Way (a reference to the Doric arch that once marked the historic entrance to Euston) and demolishing St Pancras Church hall (former St Pancras School) and surrounding terraces behind Euston House.



Figure 3.6 C. and J. Greenwood Map of London 1828.



Figure 3.3 Charles Booth's Poverty Map 1886-1903



Figure 3.1 OS Mapping 1876 Source: Groundsure



Figure 3.4 OS Mapping 1896 Source: Groundsure



Figure 3.2 OS Mapping 1916 Source: Groundsure

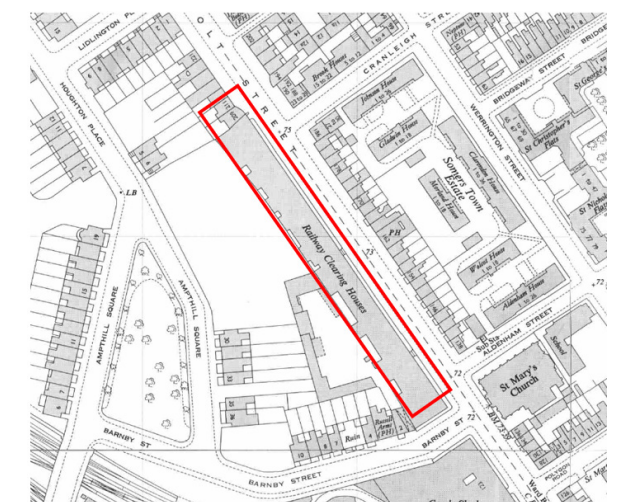


Figure 3.5 OS Mapping 1952 Source: Groundsure

3 | Historic Development of the Site and Surroundings

The Site

- 3.8 C. and J. Greenwood's Map of London (1828) denotes a similar structure to that of the Site existing within the boundaries of the known planform. The initiation of the Railway Clearing House's history within Eversholt Street began with the 1842. The building's design was modelled on, and holds direct similarities with, the Banker's Clearing House located in Lombard Street which was established in 1773.
- This idea of replicating the design was chiefly generated by Mr George Carr Glyn.
- 3.9 By the middle of the century in 1850, a Supplementary Act was passed which made the Railway Clearing House's decisions absolute, cementing both the buildings functionality, and the significance of the Railway Clearing House within the railway age.
- 3.10 Railway Clearing House system was founded by Mr. Morrison, an audit clerk of the London and Birmingham Railway and was known to have first opened on 30th January 1842. An excerpt from 'Stokers and Pokers... The Railway Clearing-House' that was written by Francis Bond Head and published in 1849 speaks of the Site's internal arrangements as:

"a long passage, on both sides.... a spacious hall or office 78 feet long and 20 wide, and 26 feet high, in which 13 parallel desks"

- 3.11 The building was divided by three interconnected departments: The Merchandise, The Coaching (post and parcel) and the Milage and Demurrage. By 1913 the Railway Clearing House clerk- workforce grown to over 2,500 individuals and the Site was operating at near full capacity.
- 3.12 Originally standing on what was known as Seymour Street, Railway Clearing House was described in 1870 as a "building which is lofty and board, but otherwise unpretentious, appropriately abut[ing] Easton Square Station". Glyn subsequently became the first Chairman of the Clearing House and held the position for the first 30 years of the building's existence.
- 3.13 Map regression presents a change in the building's form and is first evidenced by the 1896 Ordnance Survey. Comparison of the 1896 Ordnance Survey with other 19th century cartography reveals that the present building stands on land that was previously occupied by terraced housing which ran the section of Seymour Street as was defined by Bedford Street and Lidlington Place.
- 3.14 The earliest evidence of the Railway Clearing House's development is found within Charles Booth's poverty map of 1886 which showcases 163 Eversholt Street and no existence of 183 or 203 in their present form. However, at the close of the century in 1896, No.203 is shown to have been abutted by an extension to north-eastward which is understood to be No. 183 and both buildings are collectively denoted as the Railway Clearing House.
- 3.15 Between 1896 and 1916 the Railway Clearing House underwent further extension to the north-east and superseded the pre-existing terraced housing. This further, early 20th century, extension is understood to be No.203 and the entire extent of the Railway Clearance House is known to have been completed by 1916.
- 3.16 The late 19th and early 20th century development of the Railway Clearance House is further documented within archived leases, such as Rail 1084/3 (TNA) which outlines the draft agreement of land purchase on Seymour Street by the London and North West Railway.

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Building Phases

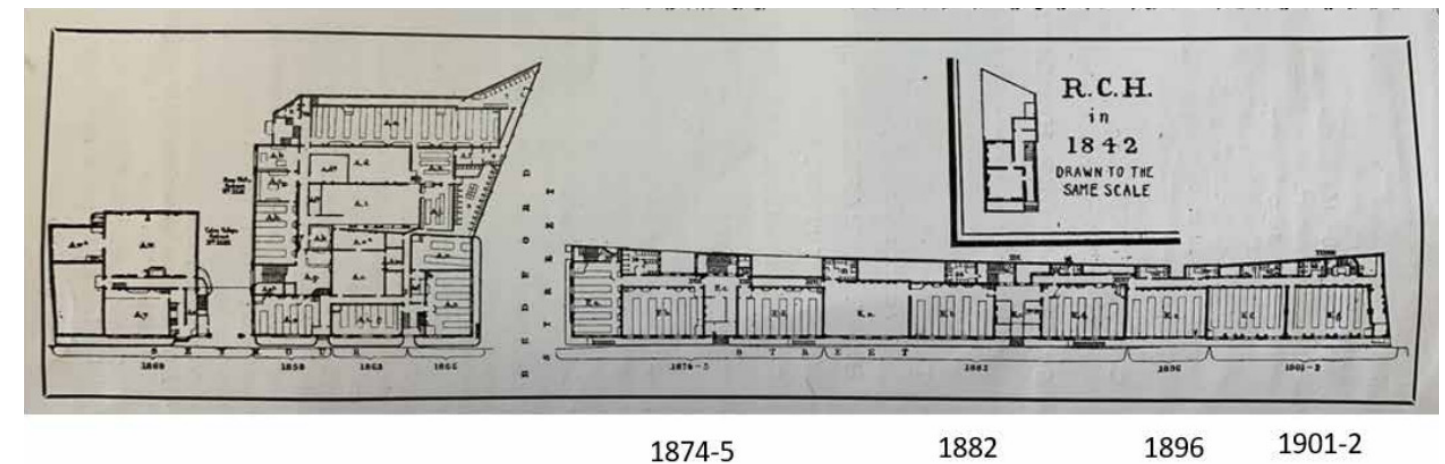


Figure 3.7 The R.C.H by Mr Harry Cuff Smart p4, reprinted from The Railway and Travel Monthly, May 1912

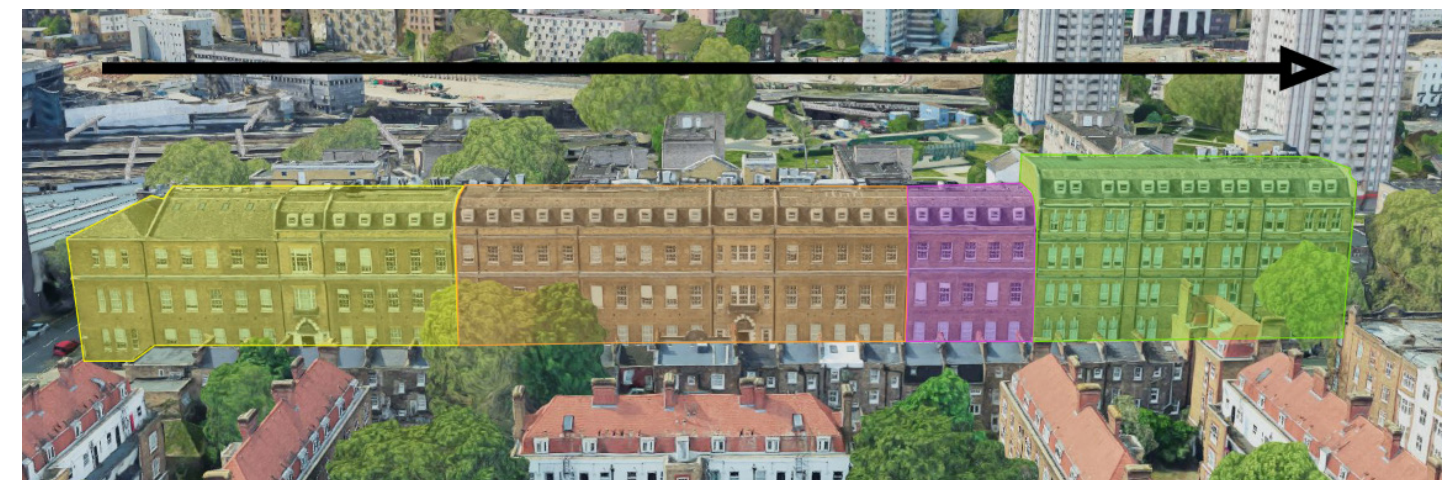


Figure 3.8 Phases of the building's development, with the earliest buildings at the south progressing to the earliest at the north.

3 | Historic Development of the Site and Surroundings

Historic Images

NO.203 EVERSOLT, EVERSOLT STREET,



Figure 3.9 'The Long Office' (Source: TNA: Rail1085/78)



Figure 3.10 Historic mezzanine arrangement



Figure 3.11 Historic mezzanine arrangement

3 | Historic Development of the Site and Surroundings

Site Photos



Figure 3.18 Front elevation of 183 Eversholt Street



Figure 3.12 North Elevation



Figure 3.17 Office space used as a kitchen. Historic mezzanine in situ.

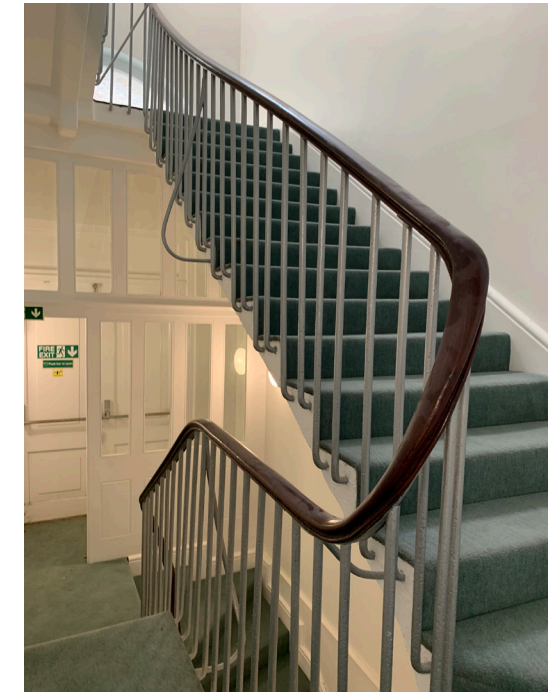


Figure 3.14 Historic staircase



Figure 3.19 Rear elevation. View looking from the north



Figure 3.13 South elevation fronting Barnaby Street



Figure 3.15 Office space at ground floor level



Figure 3.16 Typical meeting room within ground floor office

Section 4

Site Description, Identification of Assets and Significance.

4 | Site Description, Identification of Assets and Significance

NO.203 EVERSOLT, EVERSOLT STREET,

Scope of Assessment

- 4.1 For a proportionate assessment given the minor nature of alterations and the high amount of heritage assets in the vicinity, these heritage assets identified for assessment are within a roughly 200m of the Site only. The following heritage assets have been identified:
- Church of St Mary the Virgin (Grade II). List Entry Number: 1342049
 - Number 15 to 24 Harrington Square (Grade II). List Entry Number 1378736
- 4.2 This assessment will consider the potential effects of the proposed development on the Site (Grade II), as well as the setting of the heritage assets in the surroundings.
- 4.3 For proportionality with the nature of the proposals and in line with NPPF para.194, the effects on the settings of the surrounding heritage assets will be grouped, unless specific effects are identified otherwise.

Assessment Methodology

- 4.4 The assessment methodology used here for assessing the significance of the identified heritage assets and their settings is as set out in Annex 2 of the National Planning Policy Framework. This proposes the use of three heritage interests – historical, archaeological, and architectural and artistic – in assessing what makes a place and its wider context special. The definitions for these interests are included in the online Planning Practice Guidance:
- Archaeological interest: As defined in the Glossary to the National Planning Policy Framework, there will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.
 - Architectural and artistic interest: These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skill, like sculpture.

- Historic interest: An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation's history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.
- 4.5 These interests are also used in the November 2017 consultation draft of Historic England's best-practice guidance document, Conservation Principles. They replace the heritage values – evidential [now archaeological], historical, aesthetic [now architectural and artistic], and communal [now part of historical] – set out in the previous, 2008 version.

Site Description

- 4.6 The site is located on the west side of Eversholt Street, just south of Lidlington Street within a larger contiguous row of buildings. An access road demarks the north and west boundaries of this row, where the site interfaces a post-war development.
- 4.7 The row within which the Site sits consists of three buildings, 163, 183 and 203 Eversholt Street. The southern end is basement plus three storeys with the northern end rising to four storeys. The front elevation has a continuous lightwell separated from the pavement by metal railings.
- 4.8 The building has a classical composition and is constructed in yellow stock bricks. Round arches with stucco dressing demark the three entrances along the primary elevation, each with two lamps.
- 4.9 The rear of the building has been heavily altered following the infilling of the outshuts and the rear elevation being rebuilt in the mid-late 21st century.

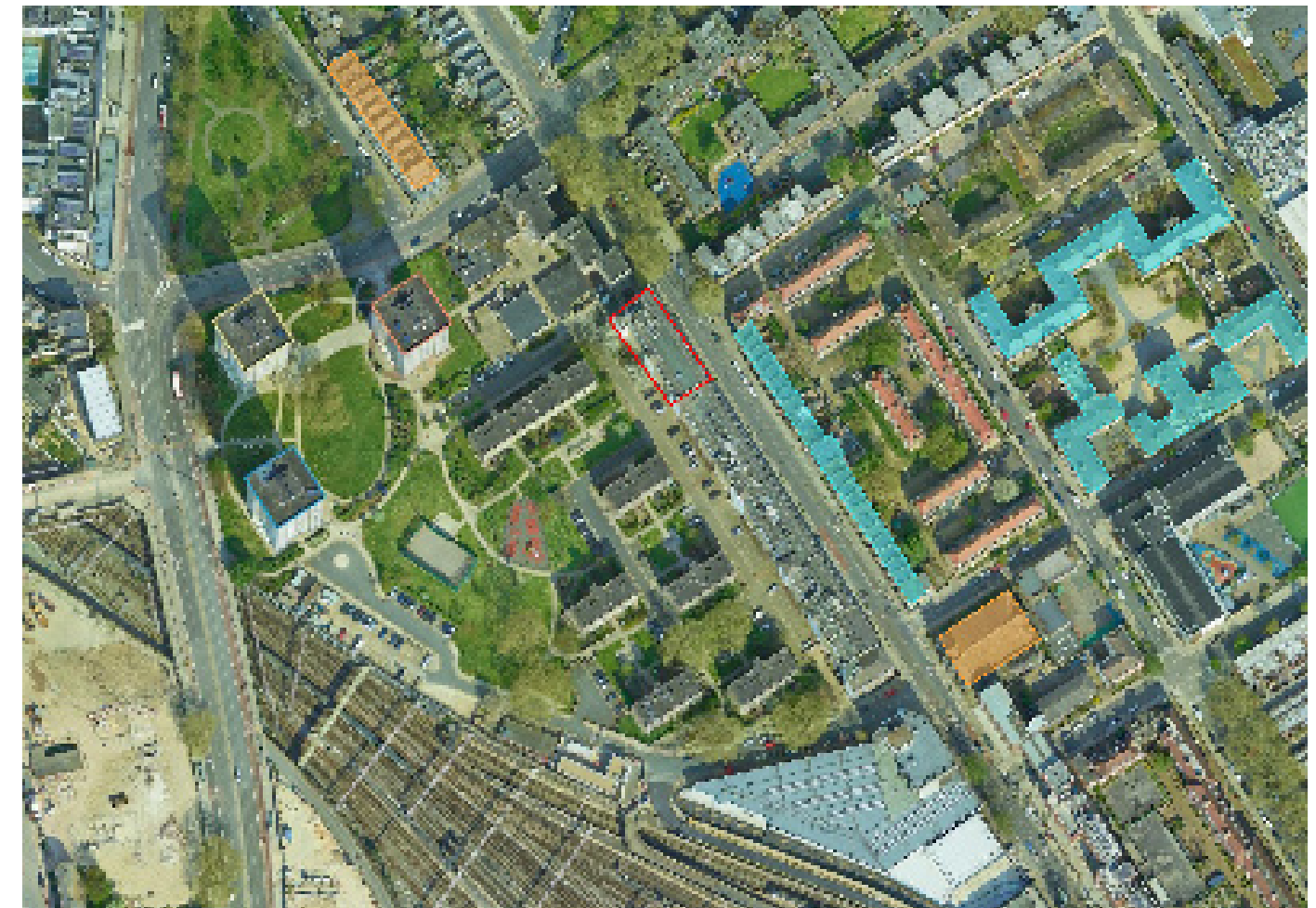


Figure 4.1 Asset Map

- The Site
- Grade II Listed
- Local Listing

4 | Site Description, Identification of Assets and Significance

NO.203 EVERSOLT, EVERSOLT STREET,

Significance of The Eversholt

- 4.10 'Significance' lies at the core of Historic England's Conservation Principles. Significance is a collective term for the sum of all heritage value attached to a place; value deriving from the ability of a place to yield evidence about the past, how the past is connected to the present and how it can contribute aesthetically to our environment.
- 4.11 The significance of 163, 183 and 203 Eversholt Street derives primarily from its association with the growth of the railway and how the railway functioned during the 19th and early 20th century.
- 4.12 The Site holds evidential value as it provides physical evidence of the growth of the railway, including how the national infrastructure was tied together through the Railway Clearing House. At one time the building accounted for all receipts and a tickets, both passenger and freight for 5 different railway companies nationally.
- 4.13 The growth of the building, from one building, to the occupation of a street block, is also evidence of how the railway grew and how the support systems needed to support the growth.
- 4.14 The internal arrangement of large open plan spaces, supports the interpretation of the buildings use, with rooms historically filled with banks of desks where the receipts were sorted. The form of these areas illustrates function, being open and well lit, with the open floor plan supporting the process of the Railway Clearing House. The smaller board and meeting rooms were located on the upper levels, leaving the ground floor to house the working function.
- 4.15 Architecturally, the use of the building is evident. Its conscious design relates to the industrial function, whilst being in keeping with the Georgian character of the area. High significance is found in the buildings front elevation which has retained the original proportions, scale and features.
- 4.16 The historic rear elevation and to an extent, the north elevation has been lost as a result of a permission to rebuild and extend to the rear. This has a homogeneous appearance, not in keeping with the composition of the front elevation and therefore is of lesser significance.
- 4.17 The south elevation does retain the original facade on the return, however where the building has been extended the old is read alongside the new including the ramp into the car park at basement level.

Significance Plans



Figure 4.3 Identification of alteration locations across the Site

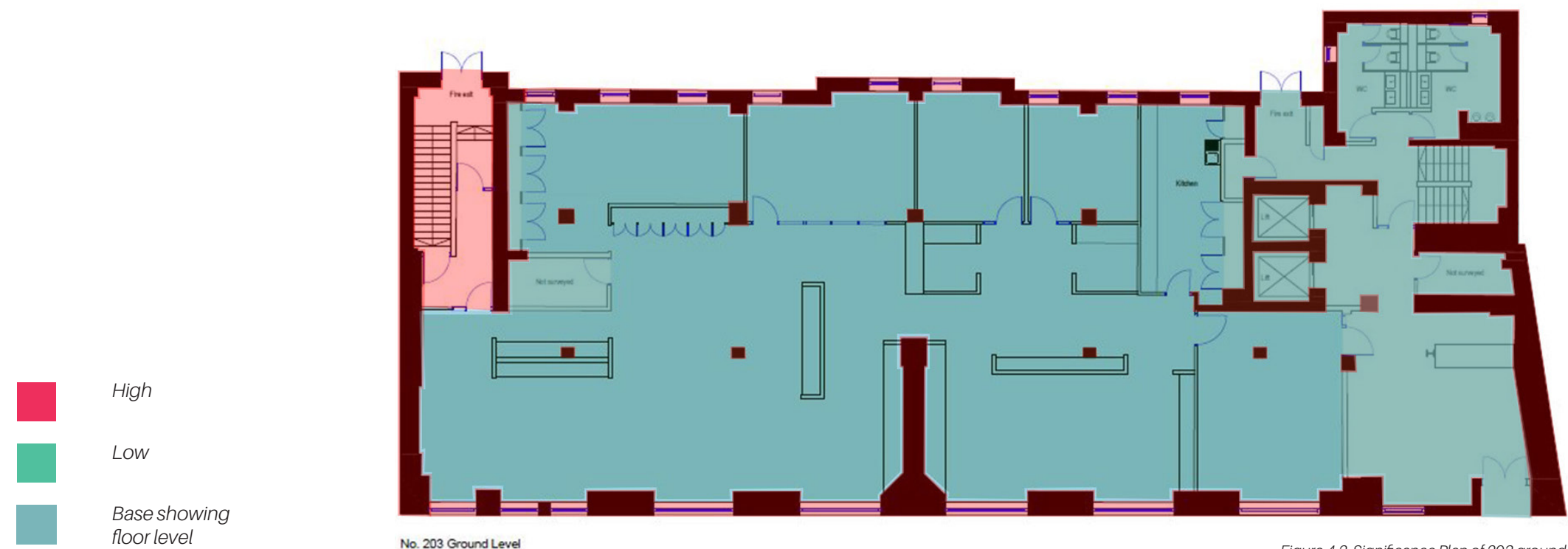


Figure 4.2 Significance Plan of 203 ground floor

4 | Site Description, Identification of Assets and Significance

NO.203 EVERSOLT, EVERSOLT STREET,

Relevant Planning History

Ref: 2016/0533/L

Listed Building Consent : Granted

Proposal: Internal refurbishment to the 3 x reception areas of 163, 183 and 203 Eversholt St

Date of Approval: 1 April 2016

Ref: 2017/3600/L

Listed Building Consent: Granted

Proposal: Refurbishment of 2nd floor office space including addition of new mezzanine floor and alterations to window openings in rear elevation of 183.

Date of Approval: 28th September 2018.

Ref: 2011/2802/L

Listed Building Consent: Granted

Proposal: Internal alterations to the lower ground floor level of an office building (183) (Class B1a) to include the removal of plasterboard walls, partial removal and replacement of suspended ceiling, minor modification to existing A/C units and ducting, paint and new flooring.

Date of Approval: 26th August 2011

Section 5

Description of Proposals & Assessment of Impact.

5 | Assessment of Impact

Proposed Development

- 5.1 The proposals seek to refurbish and renew the commercial accommodation across the whole site, with a focus of the reception areas and communal circulation spaces, including the insertion of a mezzanine floor level at ground floor level.
- 5.2 Category A fit out is proposed to 203 second floor, third floor and fourth floor. General proposals include redecoration, new lighting, floor finishes and the introduction of decorative detailing where appropriate.
- 5.3 Category B fit out is proposed to the ground floor (along with a mezzanine insertion). This incorporates Category A principles, but includes free-standing furniture and lightweight partitions.
- 5.4 The stairwell area is also suggested to benefit from refurbishment. The proposals to the staircase are limited to modern fabric and include new carpeting and lighting.
- 5.5 The existing washroom facilities are proposed to be upgraded into individual units to increase privacy and functionality. These are to replace existing modern versions.
- 5.6 These works are proposed alongside a separate application for the re-branding of the building which includes new external signage, lighting and public art. A further related application is also made for the permission to improve the building's sustainability through the introduction of photovoltaic panels.
- 5.7 Previous planning permission was granted for a mezzanine insertion in no 183 (2017/3600/L) as well as general refurbishments (2016/0533/L and 2011/2802/L).

Assessment of Impact

- 5.8 The proposed internal and external alterations have been assessed with relation to the impact on the special interest of the application site, a Grade II listed building. For ease of reference the proposed alterations are discussed in turn.

Receptions

- 5.9 There is a desire to achieve greater uniformity between the three entrances to the building. At present they are individual, functional spaces,

reflecting historic refurbishments. There is an opportunity to enhance the entrance into the building, making the space more inviting.

- 5.10 Inspiration has been taken from the building's history and the proposals seek to incorporate and enhance the appreciation of existing historic details such as the arched windows, glimpsed views of the staircase and windows.
- 5.11 The proposals principally relate to the redecoration of the space, upgrading lighting fixtures and replacing modern furniture and fittings. Given the impact will be on modern fabric, these alterations will have no impact on the special interest of the heritage asset or any fabric of architectural or historic interest.
- 5.12 Where possible, it is proposed to reinstate details in keeping with the age and architectural style of the building, namely cornicing, picture rails and panelling. The colour palette is inspired by heritage colours. Overall the proposals are considered to be an enhancement, sympathetic to the significance of the heritage asset.

Stairwells

- 5.13 The staircases within 203 are modern and are of little-to-no historic interest. The general appreciation of the stairwell area within the planform is recognisable and helps to inform on the primary vertical access to the building's various levels. The current furnishing of the staircase is unsympathetic to the building's special interest and detracts from the overall historic narrative.
- 5.14 Therefore, the proposals seek for the light touch upgrade to the modern furnishings of the staircases. A more sympathetic Bolon woven carpet is proposed which will harmonise with the colour palette of the building and ensure the staircase is visually understood as an interconnected part of the wider floorplan. The painting of the handrail will continue the aim of mellowing the modern staircase and ensure the stairwell area is connected to the historic features within the building. As such, the areas of change to the modern staircase are determined not to negatively impact upon the special interest of the building, and where feasibly, soften its detracting nature.
- 5.15 The introduction of wall lights of an appropriate scale and design will improve the appreciate of the space. The better provision of lighting will increase the interest in the stairwell.



Figure 5.2 Indicative image of proposed stair enhancements



Figure 5.3 Proposed lighting fixture



Figure 5.1 Modern staircase current in-situ at No.203

5 Assessment of Impact

NO.203 EVERSOLT, EVERSOLT STREET,

Mezzanine Floor at Ground Floor Level

- 5.16 The present internal floor plan of No.203 reflects piecemeal changes and an altered design to the original layout. This has resulted in some loss of the space's special interest. Namely, the introduction of partitions and dropped ceilings has altered the narrative and detracted from the building's significance.
- 5.17 Although the proposed mezzanine is a modern addition, it is considered to enhance No.203's ground floor and mitigate against the modern dropped ceilings. The proposed mezzanine would provide a greater sense of connectivity to other areas of Nos. 163, 183 and 203 Eversholt. The asset is characterised by its voluminous spaces that are adorned with mezzanines and the proposed additional example is considered to increase the connectivity between the Nos. 163, 183, and 203 Eversholt Street.

- 5.18 Furthermore, by locating the mezzanine to the rear of the building it will reduce the visual impact from Eversholt Street through the front windows. The appreciation of the volume of space from outside will remain.
- 5.19 This area on the floor level has previously been heavily modified by modern alterations, so any impact on planform will be limited. The mezzanine will better reveal the volume of space through the removal of the suspended ceilings within the individual offices and the reduction in compartmentalisation.
- 5.20 The devised attachment points ensure the minimal loss of historic fabric and minimal intrusion upon the appreciation of historic walls. Moreover, there calculated scale ensures the remain subordinate to the generously scaled internal proportions, and ensure the space can accommodate the proposed addition without drastically altering the floorplan.

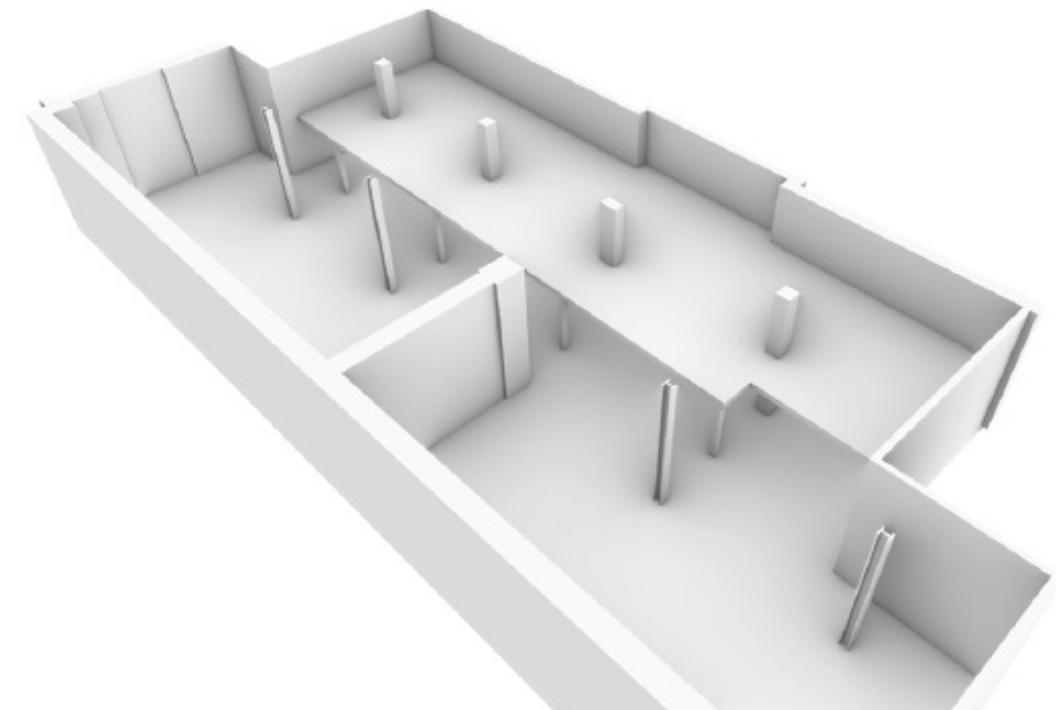


Figure 5.6 Axonometric image showing proposed mezzanine in relation to existing structure



Figure 5.4 Ground floor of No.203 with modern suspended ceiling



Figure 5.5 Ground floor of No.203 with modern partition wall

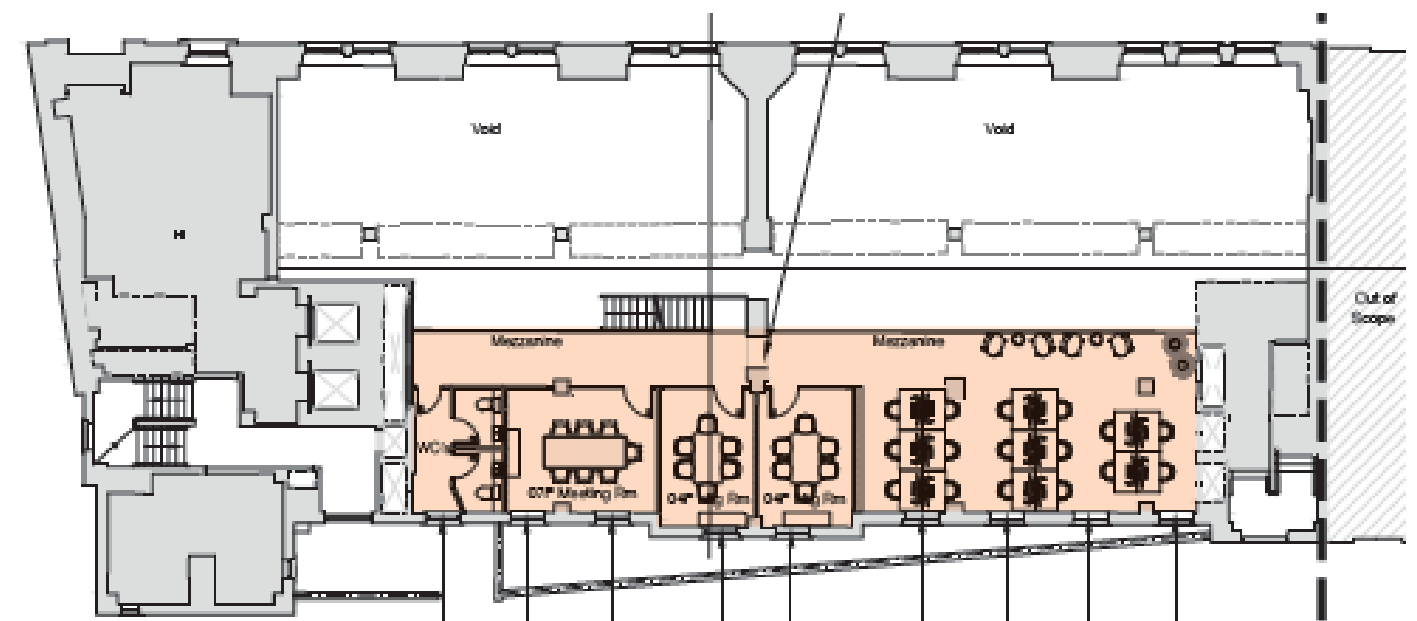


Figure 5.7 Proposed mezzanine floor level

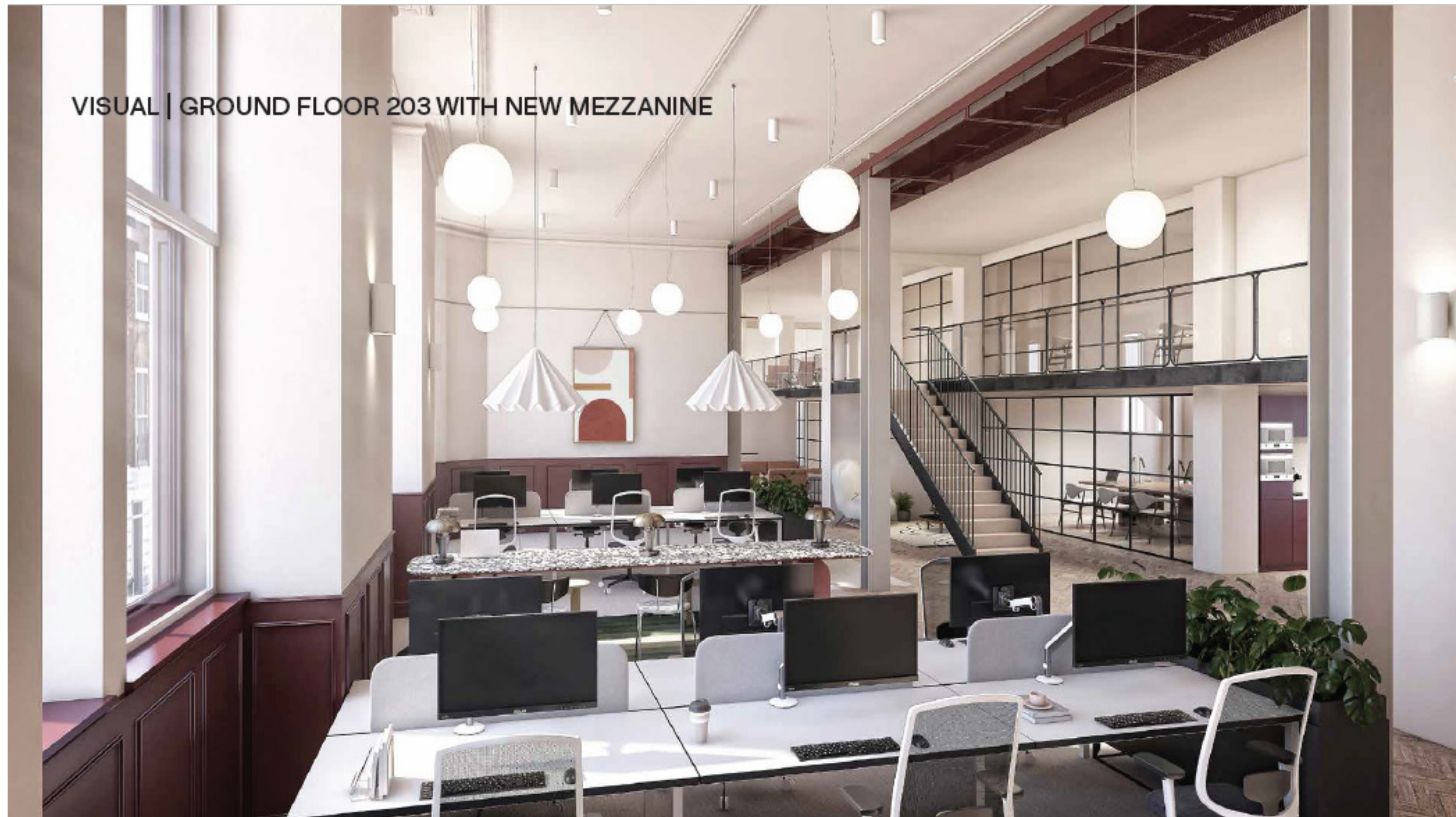


Figure 5.8 CGI of the proposed mezzanine at ground floor level of No.203

5 Assessment of Impact

NO.203 EVERS HOLT, EVERS HOLT STREET,

Internal Fit Out

- 5.21 The proposals seek to give character to the individual offices units, aligning them with the overall aesthetic of the building. Where intervention is proposed it is sympathetic, minimally invasive and fully reversible. Therefore, these proposed changes are considered not to harm the special interest of the asset and compliment its wider narrative. They ensure the building can function and be used, as such ensuring they are protected and preserved for future generations.

Bathroom Upgrades

- 5.22 These alterations are to modern fabric only and will not impact upon the buildings historic or architectural interest. They are included here for completeness but are not considered contentious.

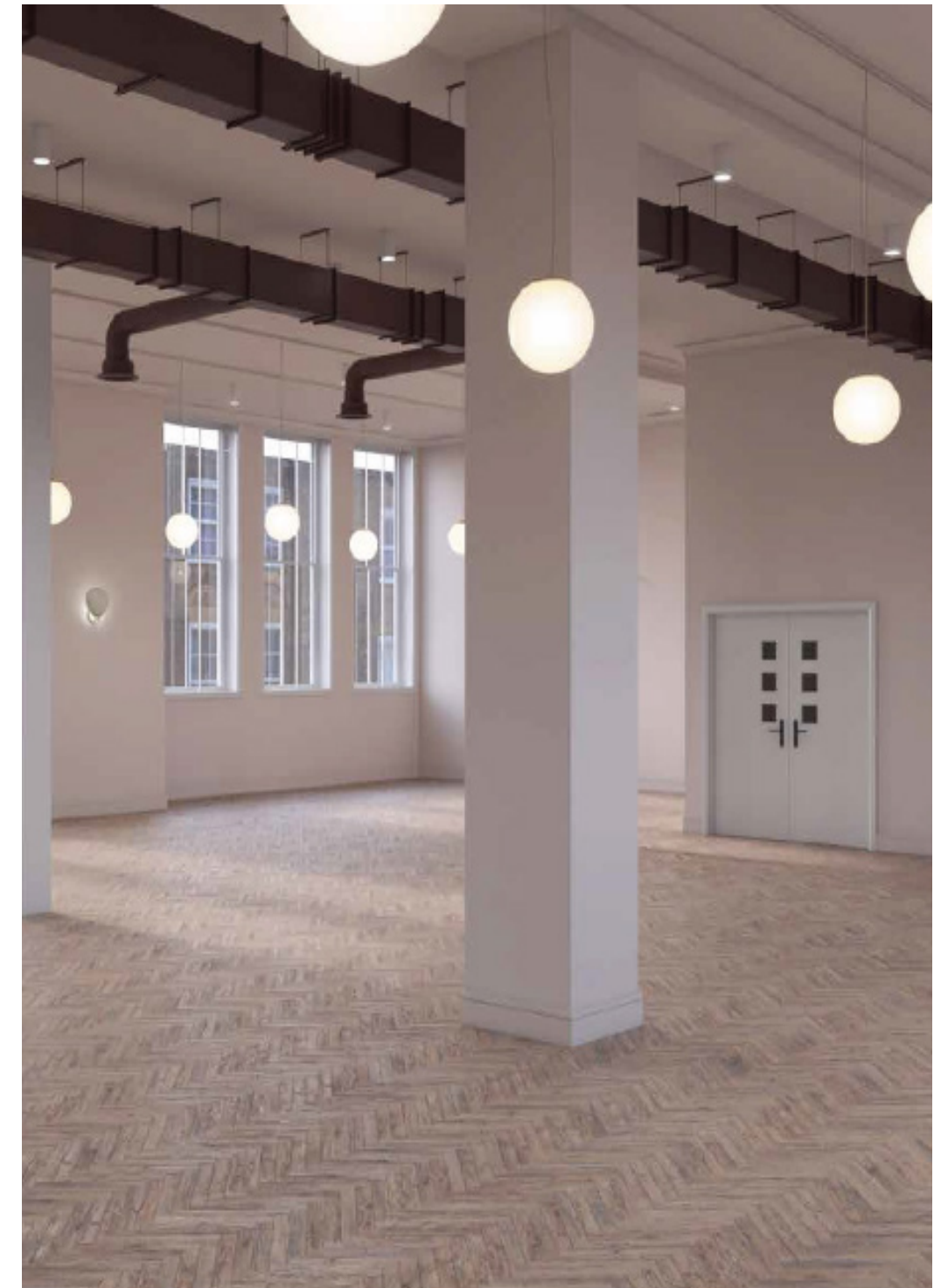
Cat-A Palette



Typical Washroom for No.203



203 Third Floor Visual



Section 6

Conclusion.

Conclusion

- 6.1 This report has been prepared to the application relating to 203 Eversholt Street. It has been written with regard to Historic England Advice notes and relevant policy and guidance.
- 6.2 The assessment has considered the historic development of the Site and the surrounding area to demonstrate and inform an assessment of significance. A Site visit was undertaken to identify the special interest of the listed building and an assessment of the proposals has been made.
- 6.3 The proposals have built upon heritage specific guidance to ensure the significance of the heritage assets is preserved.
- 6.4 As a result of the proposals it is considered that the special interest of the building will be preserved, with the intrinsic architectural and historic values associated within the building being enhanced.
- 6.5 Overall, therefore, the proposals are considered to be in alignment with the London Borough of Camden’s policies on listed buildings and in alignment with the requirements of the NPPF Chapter 16 and therefore the application should be considered positively.

Appendix 1

References.

Appendix 1 | References

NO.203 EVERSOLT, EVERSOLT STREET,

Policy Documents

- London Plan (2021)
- Camden Local Plan 2017
- Historic Environment Good Practice Advice in Planning Note 2: Managing Significance in Decision-Taking in the Historic Environment (GPA2) (Historic England, March 2015)
- National Planning Policy Framework, MHLCG, February 2019
- ‘Historic Environment’, Planning Practice Guidance, MHLCG, July 2019

Primary and Secondary Sources

- National Heritage List for England <https://historicengland.org.uk/listing/the-list/map-search>
- Britain from Above <https://britainfromabove.org.uk/>
- Survey of London, Volume XL
- OS Historic Maps
- British Library Maps
- Camden Archives
- The National Archives
- Old Maps Online (historic maps) MAP of LONDON and its ENVIRONS 209 (oldmapsonline.org)
- Romantic London (histroic maps) Introducing Horwood’s Plan (1792-99) – Romantic London
- Grace’s Guide to Industrial History, London Midland and Scottish Railway: https://www.gracesguide.co.uk/London,_Midland_and_Scottish_Railway
- Grace’s Guide to Industrial History, London and North Western Railway: https://www.gracesguide.co.uk/London_and_North_Western_Railway
- ‘Somers Town’, in Survey of London: Volume 24, the Parish of St Pancras Part 4: King’s Cross Neighbourhood, ed. Walter H Godfrey and W McB. Marcham (London, 1952), pp. 118-123. British History Online <http://www.british-history.ac.uk/survey-london/vol24/pt4/pp118-123>
- Edward Walford, ‘Somers Town and Euston Square’, in Old and New London: Volume 5 (London, 1878), pp. 340-355. British History Online <http://www.british-history.ac.uk/old-new-london/vol5/pp340-355>.

Image Sources

- London Picture Archive
- London Metropolitan Archive
- National Archives
- Camden Local Archive
- Hurst, Peirce and Malcolm LLP <https://hurstpm.net/25-euston-house-eversholt-street-nw1>

Appendix 2

Statutory List Entries.

Eversholt House (163-203 Eversholt Street)

Heritage Category: Listed Building

Grade: II

List Entry Number: 1342048

Date first listed: 14-May-1974

Statutory Address 1: EVERSOLT HOUSE AND ATTACHED RAILINGS, 163-203, EVERSOLT STREET

CAMDEN

TQ2983SW EVERSOLT STREET 798-1/83/426 (West side) 14/05/74 Nos.163-203 (Odd) Eversholt House and attached railings

GV II

The London & North-Western Region Railway Clearing House, now office block. c1846-8, with additions northwards in 1850 (south corner of Barnby Street) and 1874-1902, renovated late C20. Designed by JB Stansby, company engineer. Interior remodelled late C20. Irregular block in Classical style. Yellow stock brick. Stone cornice and blocking course. 3 storeys and basements, 4 storeys at north end. 53 windows. Facade broken up by slightly recessed bays and changes of cornice height. Round-arched entrances with stucco block dressings, keystones and fanlights; architraved doorways with cornices and panelled doors; doorways flanked by architraved windows with cornices. Gauged brick flat arches to recessed sash windows with glazing bars; 3 light windows above entrances. Main stone cornice at 2nd floor level. INTERIOR: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with urn finials.

Church of St Mary the Virgin, Eversholt Street

Heritage Category: Listed Building

Grade: II

List Entry Number: 1342049

Date first listed: 10-Jun-1954

Statutory Address 1: CHURCH OF ST MARY THE VIRGIN, EVERSOLT STREET

CAMDEN

TQ2983SW EVERSOLT STREET 798-1/83/427 (East side) 10/06/54 Church of St Mary the Virgin

GV II

Church. 1824-7. By H and HW Inwood. Built by IT Seabrook. Apse added 1888 by Ewan Christian, who also removed side galleries. West gallery removed and interior decorated 1890. Grey brick with stone dressings. 7 bays with aisles in thin Gothic style. Symmetrical west front with central buttressed tower having pinnacles at angles and Y-tracery louvred belfry opening; pointed arch main entrance. Tower flanked by 2 bays, outer bays having pointed arch entrances the same dimensions as the main entrance flanked by buttress terminating in pinnacles above the cornice and parapet. String course at window height continuing around the building. North facade with pointed 2-light geometrical tracery windows (narthex window with Y-tracery), flanked by buttresses terminating at the cornice above which a parapet. INTERIOR: with vaulted roof on cast-iron clustered columns. (Survey of London: Vol. XXIV, King'sCross Neighbourhood, Parish of St Pancras IV: London: -1952)

15 to 24 Harrington Square and railings

Heritage Category: Listed Building

Grade: II

List Entry Number: 1378736

Date first listed: 11-Jan-1999

Statutory Address 1: NUMBER 15 TO 24 AND AREA RAILINGS, 15-24, HARRINGTON SQUARE

CAMDEN

TQ2983SW HARRINGTON SQUARE 798-1/83/1863 (East side) Nos.15-24 (Consecutive) and area railings

II

Terrace of 10 houses, forming east side of former square. 1842-48. Grey brick, No.19 reddened, No.21 painted, over stuccoed ground floor. Slate roofs. 4 storeys and basements, No.15 with attics, all 2 windows wide. No.15 terminates terrace, projects forward with wider main bay and entrance with Doric door surround in narrower bay to side. The other houses with projecting porches. No.17 now with window, the others with panelled doors, that to No.19 with raised and fielded panelling. Upper windows with small paned sashes, those to Nos 21 (wholly) and 16 (partly) replaced; first floor with casements opening on to projecting balconies with cast-iron railings of crossed spear pattern set in round-arched rendered surrounds, all save Nos 19 and 22 with rosettes in spandrels. Ground floor with 4-light sashes under cambered heads. Heavy stuccoed cornice over second floor. Rendered parapet to Nos 15-21 and No.24; that to Nos 23 and 24 renewed in machicolated brick. INTERIORS not inspected. SUBSIDIARY FEATURES: railings with spearhead finials to all areas.



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