

183 EVERS HOLT STREET
LISTED BUILDING CONSENT APPLICATION
OCTOBER 2022

ANOMALY X Akoya

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ABOUT THE APPLICANT + PROJECT AMBITION

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AKOYA/BRUNSWICK PROPERTY PARTNERS

Brunswick Property Partners was established in 2016 and forms part of a larger impact-focused Scandinavian investment manager, Brunswick Real Estate. The focus of the business is London office and mixed use space, principally focused on flourishing neighbourhood locations where the firms invest to re-purpose and re-energise workplace assets. The firm has a keen focus on design-led, high quality projects where they provide flexible leasing structures in order to provide highly relevant space for smaller and independent businesses. The company is committed to high environmental and governance performance, with a landmark project to turn Lonsdale Road (NW6) into the first carbon net-zero street in the UK by 2030.

163-203 Eversholt Street was purchased in December 2021 and the client team have been exploring feasibility options aligned with the wider approach of refurbishing and celebrating the existing building. The refurbishment works are being developed inline with Akoya's ambitious ESG strategy - focusing not only on the inherent benefit of keeping the existing building, but also targeting key areas of energy performance and consumption.



SITE OWNERSHIP AND RELATED APPLICATIONS

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Following pre-application discussions in August and September 2022 with the London Borough of Camden, it was agreed that separate applications would be submitted.

This includes individual Listed Building Consent applications for each property for internal works only with separate Planning and Listed Building Consent for external works. These applications will be submitted in October and November 2022 to allow proposed works to be carried out in early 2023.

PROJECT BRIEF AND AMBITION

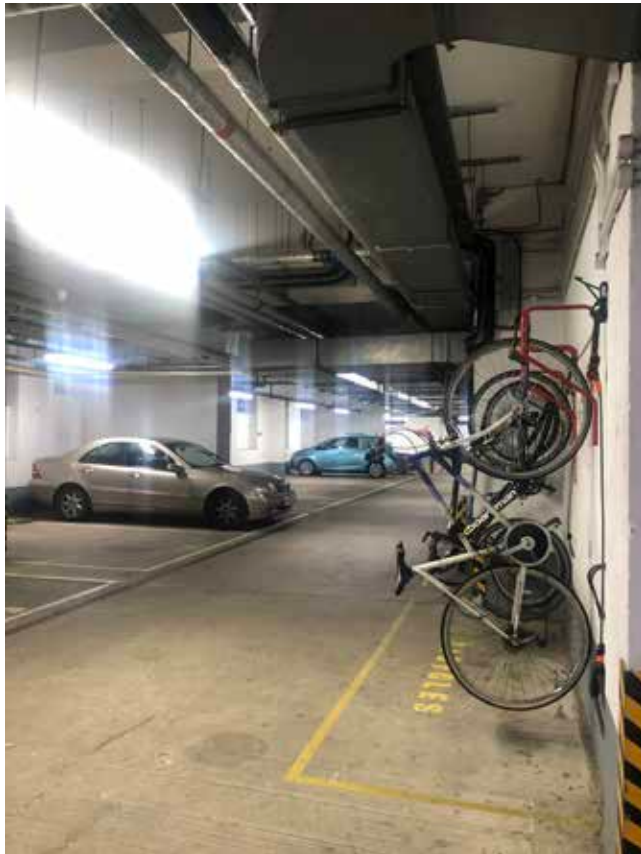
The core of the project brief, and elaborated throughout this document, is a desire to refurbish and celebrate the best parts of this existing building. Throughout its history it has had varying degrees of extension and refurbishment resulting in quite a piecemeal aesthetic internally. A lot of the existing features are no longer present and those that are sit aside poorer quality modern finishes. Some areas are in particularly dated condition with energy intensive lighting and ceiling tiles.

Our approach looks to take a holistic view of the entire site and curate the existing features as a core part of the design palette. New interventions are to take inspiration from the rich heritage and history while aligning the building for contemporary office use and demands.

REFURBISH + CELEBRATE



IMPROVE + ENHANCE



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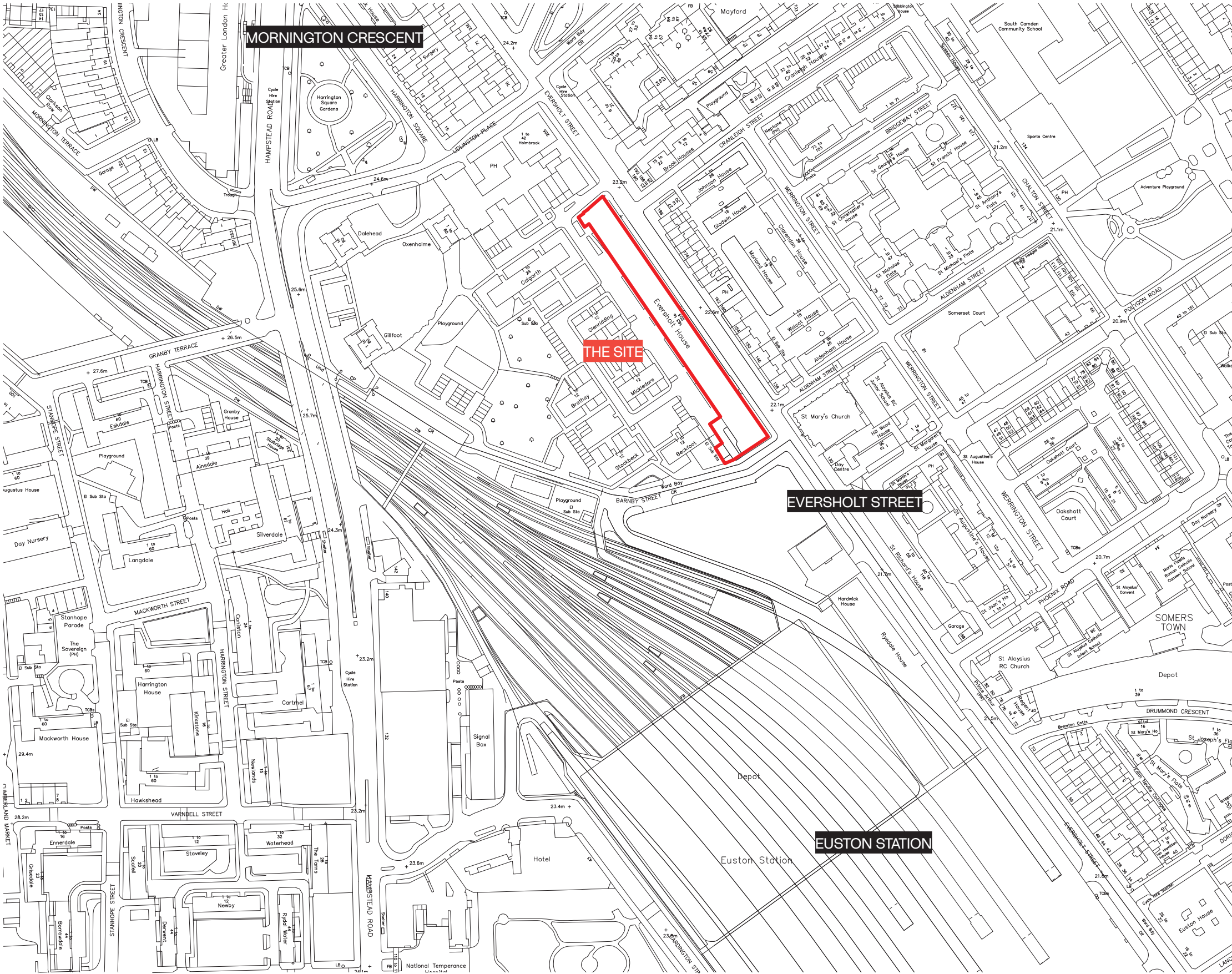
CONTEXT

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SITE LOCATION

The site is located on the western side of Eversholt Street, close to both Euston Station (0.3 miles) and Mornington Crescent (0.3 miles)

The site benefits from excellent transport links, scoring 6a on the PTAL rating with Euston providing National Rail, London Underground and London Overground services. Mornington Crescent provides further London Underground Services. Within a short walk further national and international services are available at London Kings Cross + St Pancras. Euston Road to the south provides a significant number of bus routes across the City.



THE PAST | RAILWAY CLEARING HOUSE

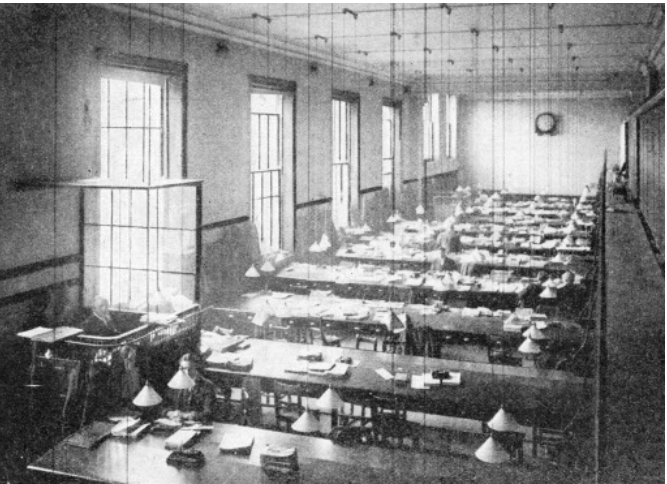
The site was initially built as the headquarters for The Railway Clearing House in 1849. The purpose of the RCH was to manage the allocation of revenue collected by the private railway companies for the conveyance of passengers and goods over the lines (or using the rolling stock) of other companies. In essence and practicality it became a site of arbitration between the Victorian Railwaymen as private railways grew and gained power through the industrial revolution.



Above | *Map of 1893 showing the original two buildings (163 + 183) before later expansion*

Left | *Early photo of the first block on Seymour Street, now Eversholt Street.*

Right | *Internal photos of office spaces in use as The Railway Clearing House.*



APPLICATION SITE - 183 EVERSOLT

183 Eversholt occupies the central position of the terrace run, with equally sized north and south office units either side of the reception and core space.



EXISTING CONDITION
OVERVIEW - 183

The existing building presents as a series of different condtions, ranging from dated suspended ceiling and poor performing tile lights through to more recently refurbished areas.

The refurbished areas are of a good institutional standard but perhaps sanitise some of the potentially rich narratives and feel of the heritage building.

Despite the grade II listing there are very few remaining internal features of note, perhaps most significantly the arched openings adjacent to the main staircases and spiral staircases leading to mezzanine walkways.

A late 20th century addition to the rear of the site extended the building and introduced contemporary windows to the entirety of the building.



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SCOPE

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THIRD FLOOR SOUTH
- Cat-A Office refurbishment

RECEPTION + STAIRWELL
- Refurbishment and decorations

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PROPOSED SCOPE - 183

The scope of the proposed works respond to the available spaces within the building given the multi-tenanted nature of the office accommodation. The design principles apply across the spaces however, and the designs shown in the following sections capture the various different conditions proposed across the building.

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RECEPTION AND STAIRWELL

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183 RECEPTION

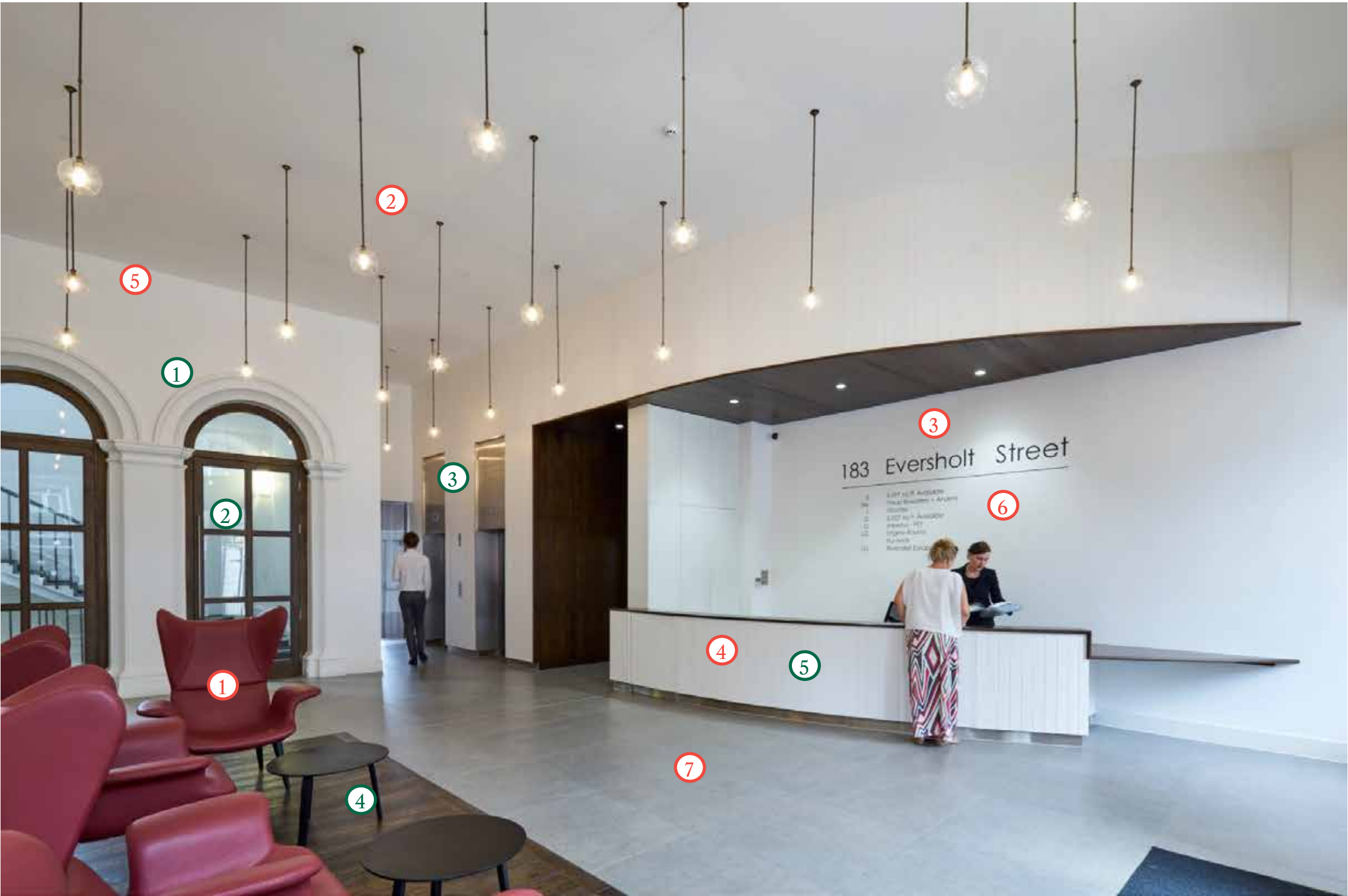
The existing reception space to 183 Eversholt Street has been refurbished but presents a number of opportunities for improvement. Most notably, the lack of heritage features or colours throughout creates quite a sterile environment not befitting of the building's history.

PROS

- 1. Original Features to arched windows and doors
- 2. Generous Original staircase
- 3. Well served by lifts
- 4. Zoned flooring a nice idea
- 5. Reception desk well sized for space, 'nook' design could be optimised further

CONS

- 1. Furniture quite relentless copy + paste
- 2. Lighting quite relentless copy + paste and perhaps not of 'theme' for building
- 3. Walls quite bland - particularly feature wall behind reception
- 4. Reception desk finishes underwhelming based on arrival
- 5. Ceiling detailing absent
- 6. Signage and branding uninspiring
- 7. Flooring finishes a little cold



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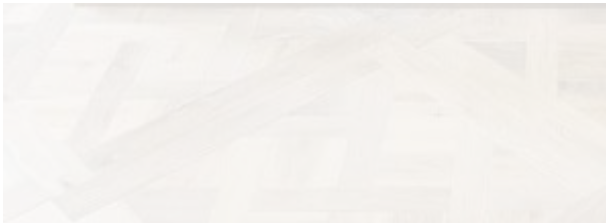
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MATERIAL CONCEPTS

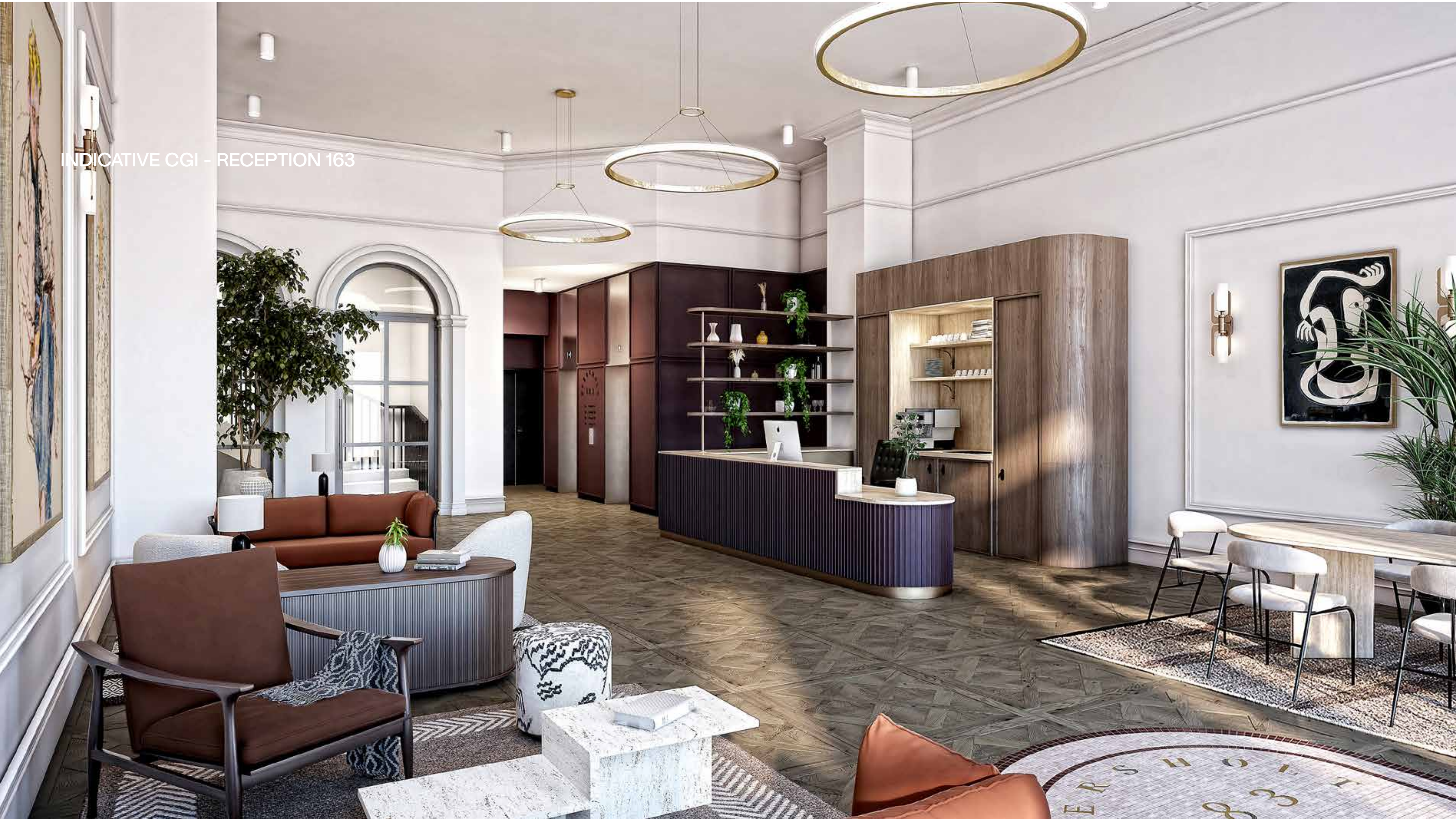
As part of the overall design exercise for the overall refurbishment, the reception design has been tailored to be unique but read together with both 163 and 203 Eversholt Street.

The palette for 183 looks to introduce colour and texture through the furniture and wall panelling.

The majority of the works are in removing the non original refurbishment and replacement with the concept design overleaf.



INDICATIVE CGI - RECEPTION 163



INDICATIVE CGI - RECEPTION 163



RECEPTION DESIGN AS PART OF OVERALL SCHEME



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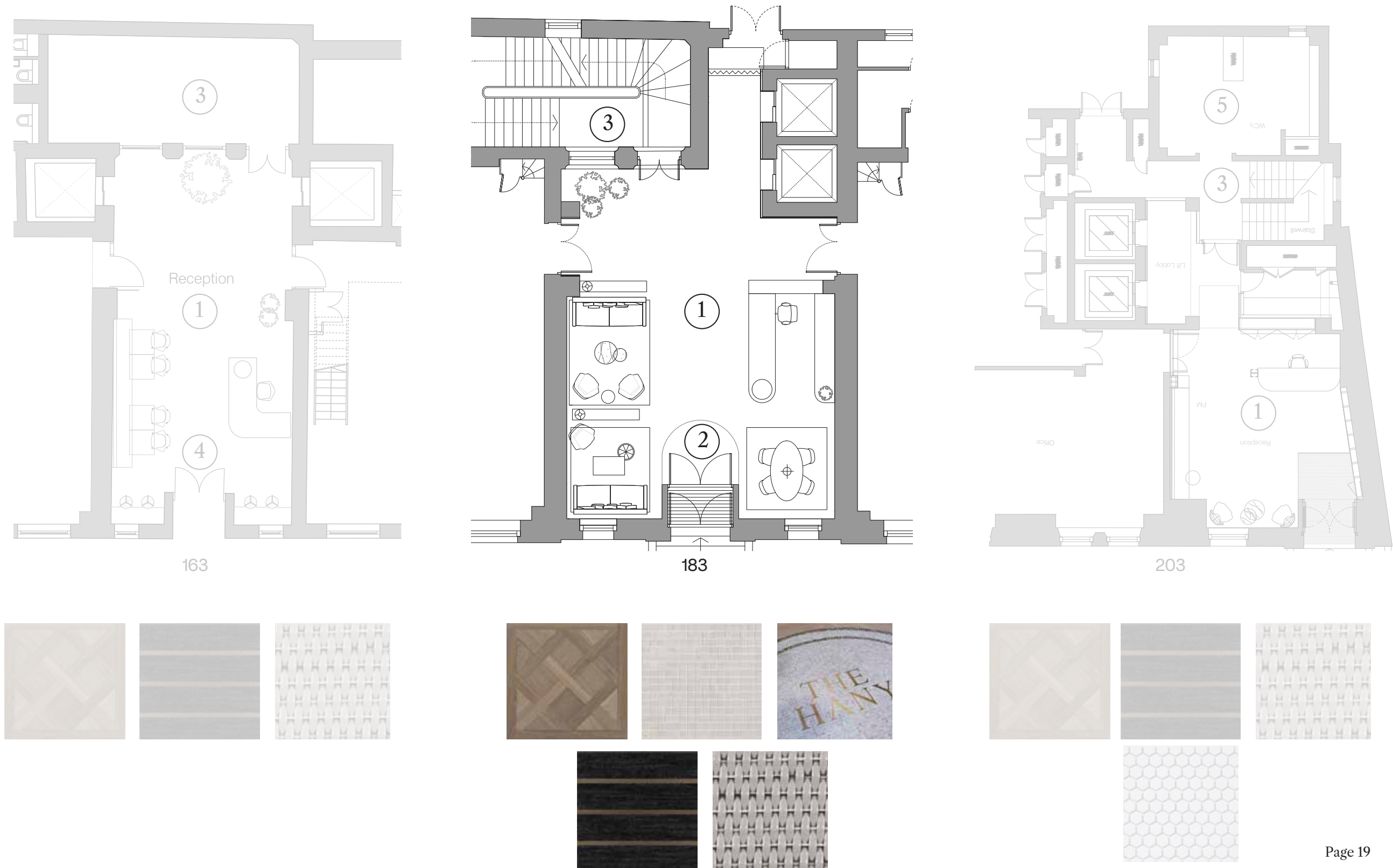
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RECEPTION FLOOR FINISHES

PROPOSED FLOOR FINISHES

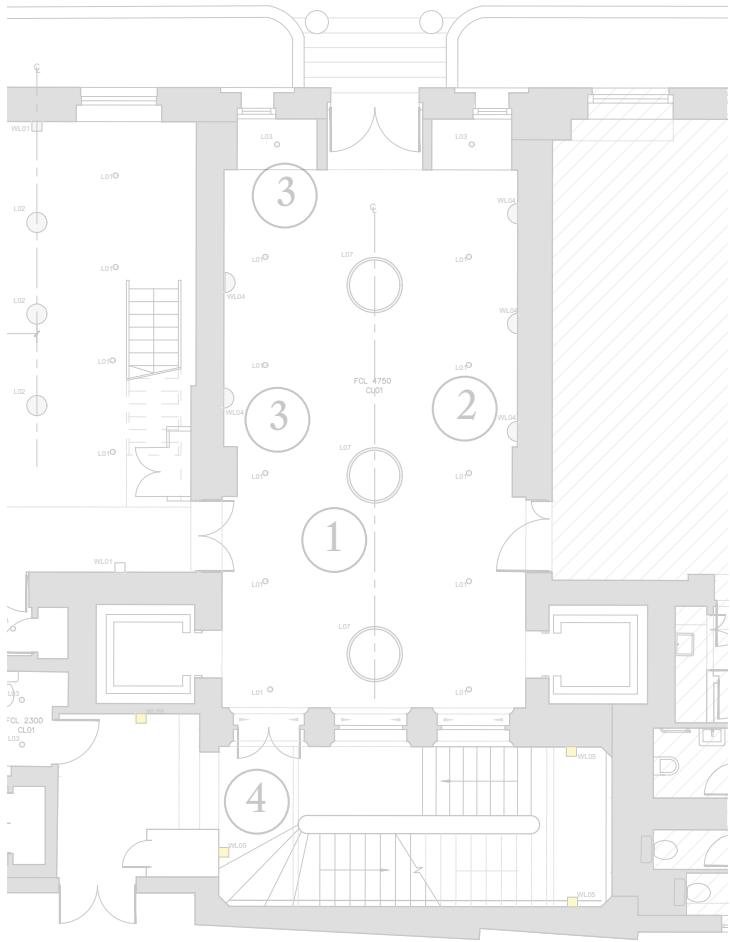
- 1. TIMBER PARQUET
Havwoods Fendi Prime 819mm Versailles
- 2. MOSIAC TILE WITH BRASS SIGNAGE INLAY
Domus Neutra 6.0 Mosaic Vetro Lux
- 3. WOVEN VINYL
Bolon Woven Vinyl
- 4. ENTRANCE MATTING
Intraform DM bronze anodised
- 5. HEXAGON
Tile direct hexagon mosaic



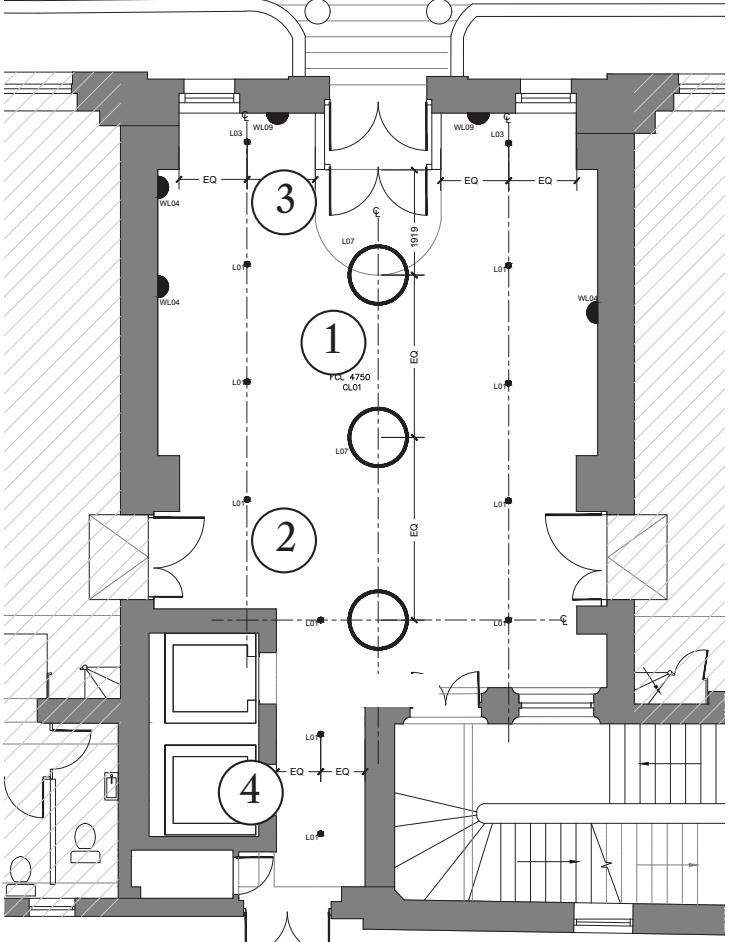
RECEPTION RCP

PROPOSED LIGHTING

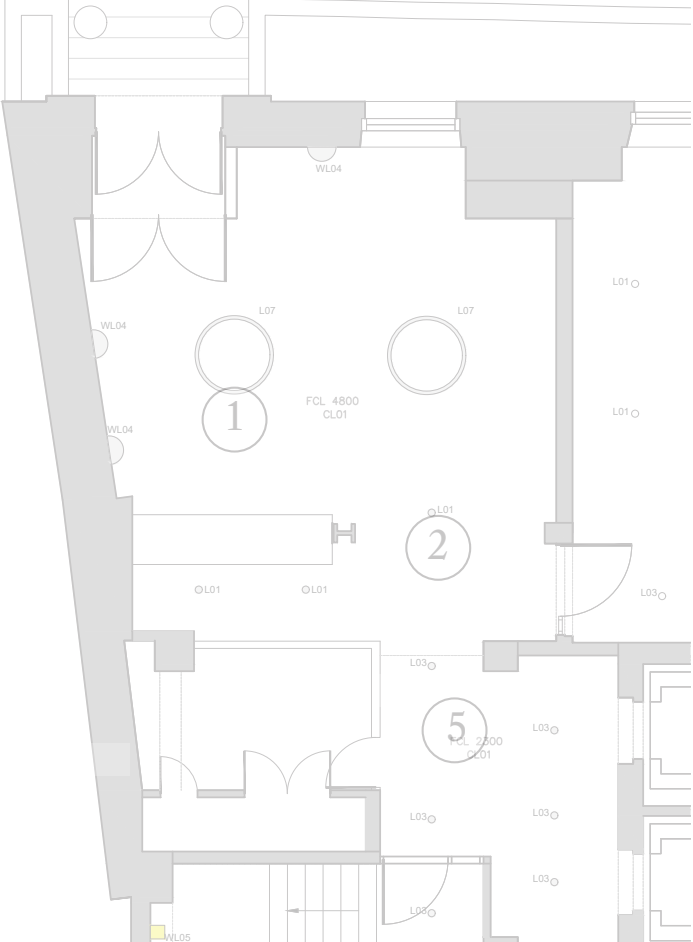
- 1. HALO LIGHT
KAIA - In and out Pendant
- 2. CEILING MOUNTED CAN
XAL Sasso 100
- 3. WALL LIGHT
ARTICOLO - Float
- 4. WALL LIGHT (E)
ORIGINAL BTC- Narrow Pillar Light
- 5. WALL LIGHT
BERT FRANK - Pennon
- 6. SPOTLIGHT
ASTRO - Minima Round



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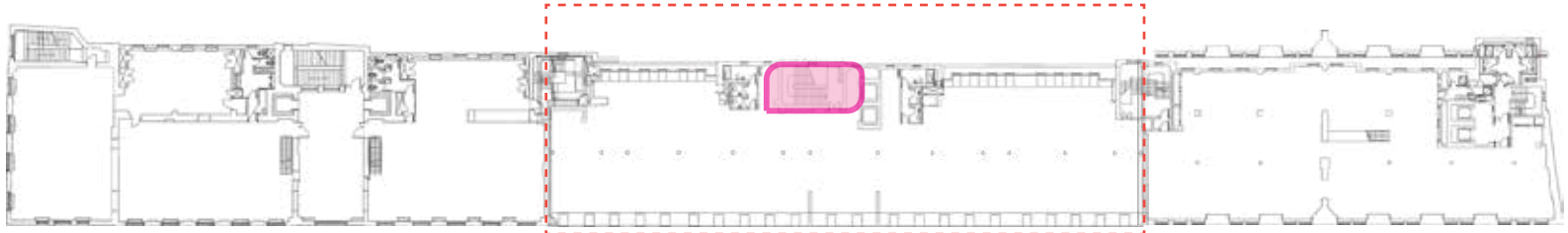
EXISTING STAIRWELLS

The existing stairwell is in a fairly utilitarian state of decoration with aged carpet, cracked paintwork and poor quality contemporary lighting.

The condition does lend significance to the remaining heritage features such as bracketry, handrail and balustrade.



ORIGINAL MAIN STAIRCASE - 183



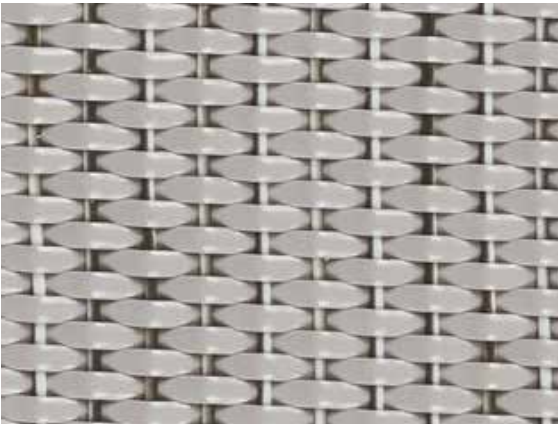
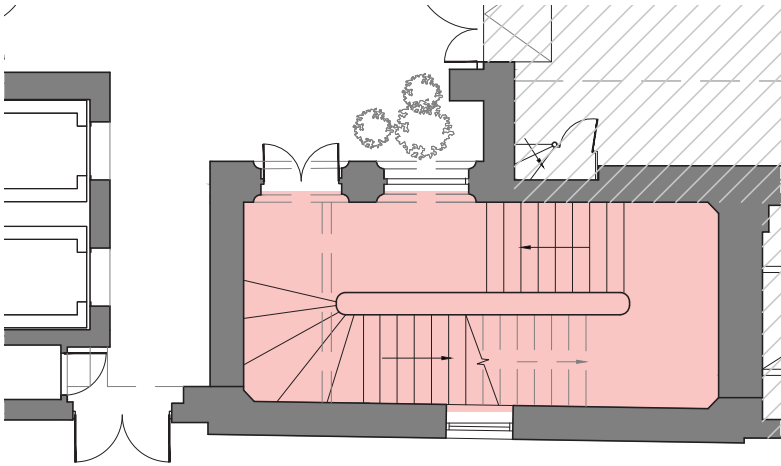
STAIRWELL TREATMENT

PROPOSED SCOPE

The proposed improvements propose a new floor finish to a hardwearing and well designed woven vinyl, complemented by a rich heritage paintwork datum to the walls. The contemporary lights are to be replaced for an appropriate fitting continuing the aesthetic of the reception design intent.

Below | Lighting as existing to be replaced

183 STAIRS



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OFFICE ACCOMMODATION

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THIRD FLOOR SOUTH
- Cat-A Office refurbishment



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PROPOSED REFURBISHMENT FLOORS
The proposed refurbishment applies only to third floor south.



EXISTING CAT A PARTIALLY REFURBISHED SPACES
The Third Floor has partially been refurbished, presenting and exposed roof structure and metal raised access floor with ceiling mounted linear lighting.

INDICATIVE CGI
THIRD FLOOR SOUTH 183



COMPARISON AND SUMMARY OF APPROACH

KEY DESIGN POINTS

- existing ventilation run painted to match reception heritage colour
- floor finish introduced in herringbone timber



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SUMMARY

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SUMMARY - 183 EVERSOLT STREET

In summary, the design approach presented within this pre-application document seeks to:

- enhance the current condition of the entire asset to align with contemporary office standards
- significantly enhance the heritage design aesthetic of common parts





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