

**Searle House and Benjamin House, Cecil Grove, NW8 7EB
& NW8 7EF
Reference: 325 FRA- 001**

sep-22

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FLOOD RISK ASSESSMENTS &
DRAINAGE STRATEGIES

Flood Risk Assessment

Searle House and Benjamin House, Cecil Grove, NW8 7EB

Reference: 325 FRA- 001

Report Limitations

All comments and proposals contained in this report, including any conclusions, are based on information available to RIDA Reports during investigations. The conclusions drawn by RIDA Reports could therefore differ if the information is found to be inaccurate or misleading. RIDA Reports accepts no liability should this be the case, nor if additional information exists or becomes available with respect to this scheme.

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All Environment Agency mapping data used under special license. Data is current as the data on the correspondence given by the Environment Agency and is subject to change.

The information presented and conclusions drawn are based on statistical data and are for guidance purposes only.

The study provides no guarantee against flooding of the study site or elsewhere, nor of the absolute accuracy of water levels, flow rates and associated probabilities.

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Purpose of this report

- 1.1 RIDA Reports Ltd has been appointed to undertake a Level 1 – Screening Study Flood Risk Assessment for a development located at NW8 7EB.

Objectives

- 1.2 The objectives of this FRA are to demonstrate the following:
- * Whether the proposed development is likely to be affected by current or future flooding.
 - * Whether the proposed development will increase flood risk elsewhere.
 - * Whether the flood risks associated with the proposed development can be satisfactorily managed.
 - * Whether the measures proposed to deal with the flood risk are sustainable.

Documents Consulted

- 1.3 To achieve these objectives the following documents have been consulted and/or referenced:

The National Planning Policy Framework (NPPF)
CIRIA C753 document The SuDS Manual, 2015
Local Flood Risk Management Strategy (LFRMS)
Level 1 Strategic Flood Risk Assessment (SFRA)
Aerial photographs and topographical survey of the site
British Geological Society Records
Local Council flood Maps
Environment Agency flood maps
The CIRIA publication 'C635 Designing for exceedance in urban drainage— Good practice'

Development Site and Location

- 2.1 The site is located at Cecil Grove, London. The nearest post code is NW8 7EB. Refer to appendix A for site location plan.
- 2.2 The current use of the site is divided in two buildings Searle House and Benjamin House. The building are high rise and have green roofs and solar panels at roof levels. . The current use vulnerability clasification of the site is More vulnerable . The site is located in the River Flood Zone 1. Refer to Appendix B for more details.

Development Proposals

- 2.3 The proposed development includes the the construction of an additional floor on both blocks. The total development area (shown in within the red line) is approximately 3868 sqm. Refer to Appendix B for layout of the proposed development.
- 2.4 The vulnerability classification of the proposed development is More vulnerable with an estimated lifetime between 50 and 100 years.

Site Hydrology and Hydrogeology

- Hydrology 2.5 The Regent`s Canal is located approximately 200 m away from the development.
- Aquifer 2.6 The development is located within an unproductive strata. These are rock layers or drift deposits with low permeability that have negligible significance for water supply or river base flow.
- Source Protection Zone 2.7 The site is located within a source protection zone 1. This zone is defined as the 50 day travel time from any point below the water table to the source. This zone has a minimum radius of 50 metres around the source.
- Groundwater Levels 2.8 The ground water levels for this site are unknown.

Site Geology

- Bedrock 2.9 The British Geological Society records of the site show that it is located within the London Clay Formation - Clay, Silt and Sand.
- Superficial Deposits 2.10 The British Geological Society records show that the superficial deposits are No results found.

National Planning Policy Framework (NPPF)

- 3.1 The NPPF and its technical guidance is a set of planning policies with the key objective to contribute to the achievement of sustainable development. As part of it, they ensure that flood risk and sustainability are taken into account during the planning process. This ensures that developments are not located in flood risk areas and directs developments to lower risk areas. The NPPF applies a sequential risk-based approach to determining the suitability of land for development in flood risk areas. The NPPF also encourages developers to seek opportunities to reduce the overall level of flood risk through the layout of the development and the application of Sustainable Drainage Systems (SuDS).

The Flood and Water Management Act (2010)

- 3.2 The Flood and Water Management Act aims to reduce the flood risk associated with extreme weather events. It provides a robust management of flood risk for people, homes and businesses and also encourages the use of SuDS for developments. A robust SuDS strategy should take into account the recommendations given in this Flood Risk Assessment.

Strategic Flood Risk Assessment (SFRA)

- 3.3 Planning policy with regard to development and flood risk in the area is detailed in the Strategic Flood Risk Assessment (SFRM) which was published in 2014. The proposed development site is located within the administrative boundary of the London Borough of Camden.
- 3.4 The SFRA commits to direct new development to locations at lowest flood risk. The SFRA provides information on the levels and flood hazards that could result from flooding. The Environment Agency flood zone maps and the SFRA ignore the presence of existing flood defences when defining the potential extent of flooding.
- 3.5 This report follows the guidance given in the Strategic Flood Risk Assessment by evaluating the flood risk and providing relevant flood mitigation.

- 4.1 The flood risks were determined by identifying the sources of flooding and assessing their possible impact and likelihood to the development.

Fluvial Flood Risk Assessment

- 4.2 Fluvial flood risk was assessed using the Environment Agency Flood Zone Maps and the sequential risk-based approach recommended in the NPPF. The sequential test takes into account the flood risk vulnerability of land uses in relation to the flood zone categorisation. These parameters are assessed in order to determine whether the development is appropriate. Under certain circumstances the exception test is applicable.

Sequential Approach

- | | |
|---|--|
| <p>Step 1</p> <p>Flood Zone categorisation</p> | <p>4.3 The proposed development is less than 1Ha and falls within the Environment Agency Flood Zone 1. Therefore, this Flood Risk Assessment Level 1- Screening report should be sufficient under the NPPF. The Flood Zone 1 is considered to have a low probability of flooding with an annual probability of flooding of <0.1%. The chance of flooding is 1 in 1000 years or greater.</p> |
| <p>Step 2</p> <p>Flood risk vulnerability</p> | <p>4.4 Within Table 2 (Flood Risk Vulnerability Classification) of the NPPF Planning Practice Guide, the proposed development is classified as 'More vulnerable '.</p> |
| <p>Step 3</p> <p>Sequential Test Results</p> | <p>4.5 The Flood Risk vulnerability and Flood Zone Compatibility table of the NPPF Planning Practice Guide states that More vulnerable developments are appropriate in this area.</p> |

- 5.1 The development has been assessed for all potential flood risks such as river and tidal flood risk, surface water flooding, flooding from groundwater, reservoir flood risk and drainage systems.

Historic Flooding

- 5.2 The site does not benefit from flood defences. The Environment Agency records show that the area around the site has not been flooded in the past.

Flooding from river and sea

- 5.3 The proposed development is less than 1Ha and falls within the Environment Agency Flood Zone 1. Therefore, this Flood Risk Assessment Level 1- Screening report should be sufficient under the NPPF. The Flood Zone 1 is considered to have a low probability of flooding with an annual probability of flooding of <0.1%. The chance of flooding is 1 in 1000 years or greater.
- 5.4 The climate change allowance is not applicable for this site as it is not affected by fluvial flood risk.

Surface water (overland flows) flood risk

5.5 The Environment Agency maps show that the flood risk from surface water is very low. A residual risk of localised ponding remains unlikely. The Environment Agency surface water flood risk maps are defined through application of a specific procedure based on digital terrain models and assumptions regarding losses to infiltration and/or urban drainage. The surface water flood maps is defined by the Environment Agency as follows.

5.6 *"The nationally produced surface water flood mapping only indicates where surface water flooding could occur as a result of local rainfall. It does not fully represent flooding that occurs from:*

- Ordinary watercourses*
- Drainage systems or public sewers caused by catchment-wide rainfall events*
- Rivers*
- Groundwater*

Due to the modelling techniques used, the mapping picks out depressions in the ground surface and simulates some flow along natural drainage channels, rivers, low areas in floodplains, and flow paths between buildings. Although the maps appear to show flooding from ordinary watercourses, they should not be taken as definitive mapping of flood risk from these as the conveyance effect of ordinary watercourses or drainage channels is not explicitly modelled. Also, structures (such as bridges, culverts and weirs) and flood risk management infrastructure (such as defences) are not represented.

The nationally produced surface water flood mapping does not take account of the effect of pumping stations in catchments with pumped drainage. No allowance is made for tide locking, high tidal or fluvial levels where sewers cannot discharge in to rivers or the sea."

5.7 The strategic flood risk for the London Borough of Camden confirms that the flood risk for the site is Very Low.

5.8 On the basis of Environment Agency and the Strategic flood risk assessment's surface water mapping, together with the presence of surface water drainage systems at the site and surrounding area it is concluded that the site is at Very Low risk of flooding from surface water sources.

Flooding from drainage systems in adjacent areas

- 5.9 The council's database confirms that there are no records of sewer flooding within the site. The site is located outside of the sewer flooding incidents area. See appendix C for details.

Reservoirs Risks

- 5.10 The Reservoir Flood Map (RFM) produced by the Environment Agency do not show the risk to individual properties of dam breach flooding. The maps do not indicate or relate to any particular probability of dam breach flooding. The maps were prepared for emergency planning purposes and can be used to help reservoir owners produce on-site plans and the Local Resilience Forum produce off-site plans, and to prioritise areas for evacuation/early warning in the event of a potential dam failure. The RFM shows that the development could be outside of the possible dam breach flooding path. See Appendix C.

Groundwater flood risk

- 5.11 The British Geological Survey's flood risk susceptibility maps show that the development has limited susceptibility to ground water flooding. The risk from groundwater flood to the site is considered very low. Refer to appendix C for record drawings.

Critical Drainage Areas

- 5.12 The development falls within a Critical Drainage Area. The risks of critical problems and increase of downstream flooding is high. Critical Drainage Area (CDA) is an area that has critical drainage problems and which has been notified to the local planning authority by the Environment Agency.

- 6.1 The Flood hazard assessment has demonstrated that the site is:
- In Flood Zone 1
 - At Very Low risk of surface flooding
 - At very low risk of groundwater flooding
 - Within a critical drainage area
 - Outside of an area with sewer flooding
- 6.2 Under the NPPF it is necessary to demonstrate that, for any new development on the site, it is possible to provide an adequate level of flood protection for personnel working or living at the development.

Flood Protection

- 6.3 The development is within a Critical Drainage Area, the local authority expects that the new development to reduce flood risks downstream, rather than having just neutral impact. It also expects that Sustainable Drainage Systems (SuDS) are used for managing surface water. Refer to section 7 of this report.

7.1 The NPPF specifically stipulates that consideration should be given to potential off-site flood impacts of any proposed development. These off-site impacts are in relation to:

- Surface water management
- Flood flow conveyance, storage and climate change

Surface Water Management

7.2 The surface water run-off will be disposed using SuDS techniques. The aim is to provide a sustainable design that accommodates the proposed attenuation volume and replicated the existing drainage regime using the SuDS hierarchy is shown in the figure below.

7.3 The SuDS techniques highlighted in red below could be used on site. This assessment is based on the ground conditions and the potential discharge points available.

The SuDS Hierarchy (Source:EA Thames region, SuDS a practical guide)

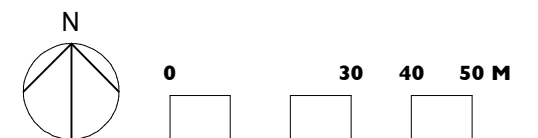
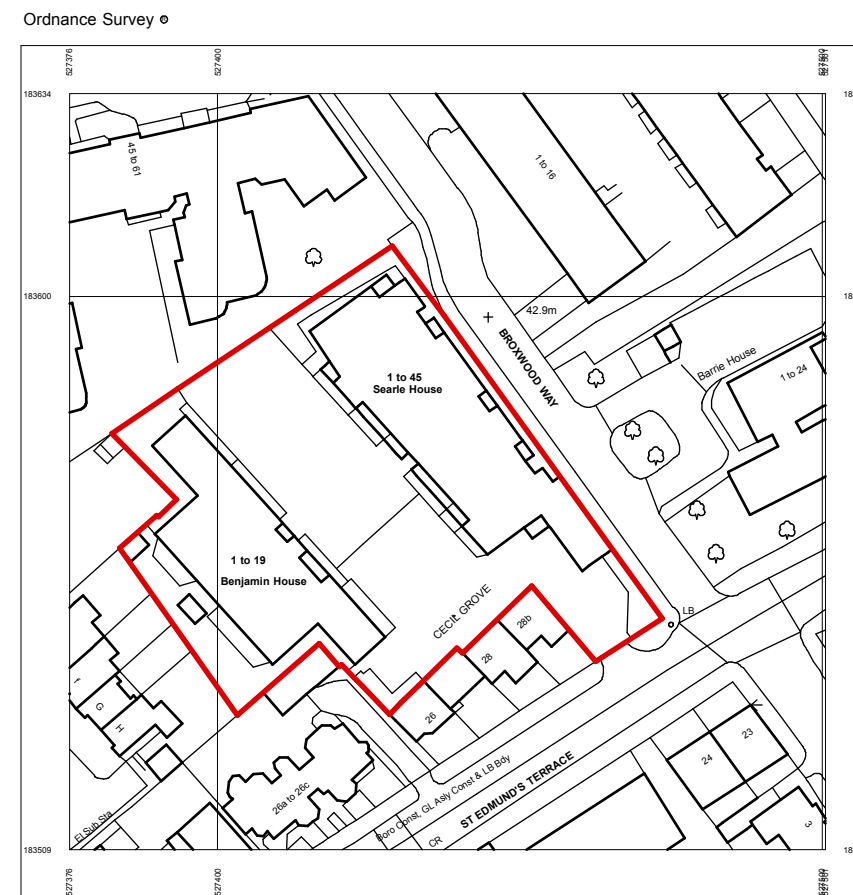
Most Sustainable	SUDS technique	Flood Reduction	Pollution Reduction	Landscape & Wildlife Benefit
↑ ↓	Living roofs	✓	✓	✓
	Basins and ponds - Constructed wetlands - Balancing ponds - Detention basins - Retention ponds	✓	✓	✓
	Filter strips and swales	✓	✓	✓
	Infiltration devices - soakaways - infiltration trenches and basins	✓	✓	✓
	Permeable surfaces and filter drains - gravelled areas - solid paving blocks - porous paviers	✓	✓	
	Tanked systems - over-sized pipes/tanks - storms cells	✓		
Least Sustainable				

7.4 With no increase in the rate of surface water discharge from the site, compared to the site in its current configuration, the proposed development would have no adverse impact on surface water flood risk at the site or surrounding area. The SuDS should be designed at detailed project stage.

- 8.1 It is concluded that subject to the proposed mitigation measures, the site can be developed in accordance with the provisions of the NPPF and the requirements of the Environment Agency and the local planning authority.
- 8.2 This report demonstrates that the proposal will be safe, in terms of flood risk, for its design life and will not increase the flood risk elsewhere.

Appendix A

LOCATION PLAN



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All dimensions are to be checked on site before commencement of works.

All sizes and dimensions to any structural elements are indicative only. See structural engineer's drawings for actual sizes/dimensions.

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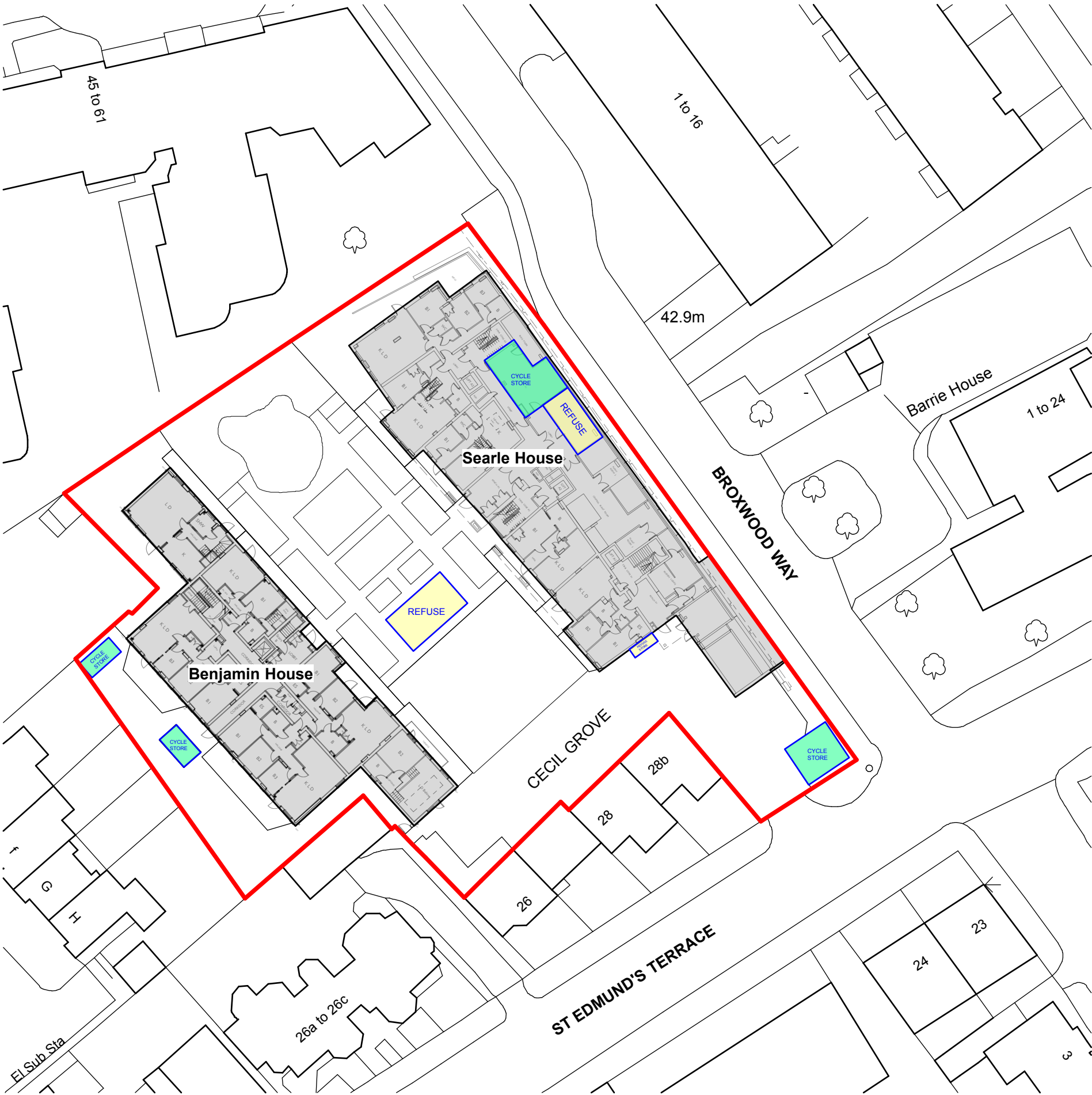
This drawing to be read in conjunction with all relevant Architect's drawings, specifications and other consultants' information.

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				Scale: 1:1250 @ A3	DWG: 1323 - EX - 000
				Date: JULY 2022	Revision: /

Appendix B

EXISTING BLOCK & SITE PLAN

- CYCLE STORE
- REFUSE & RECYCLING STORE



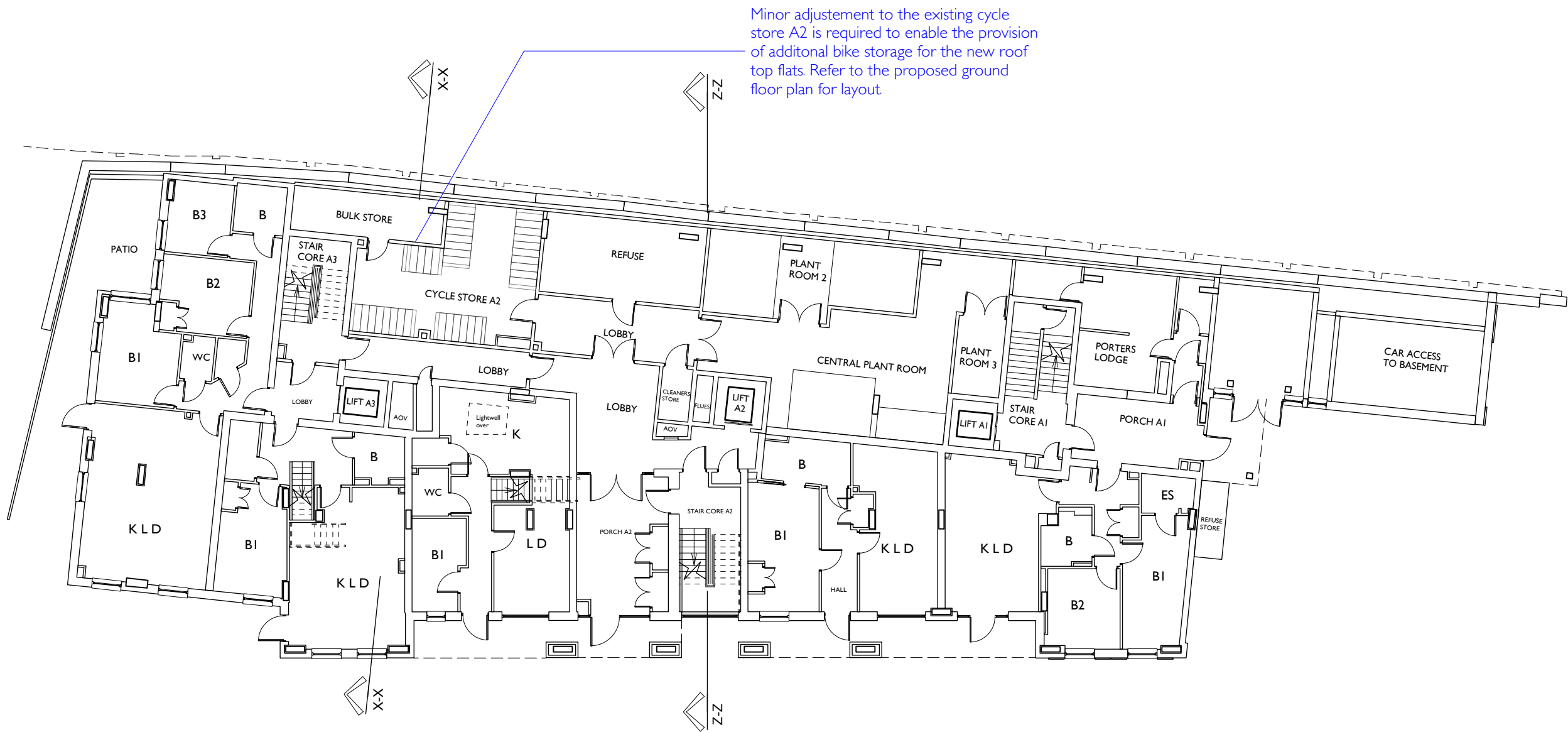
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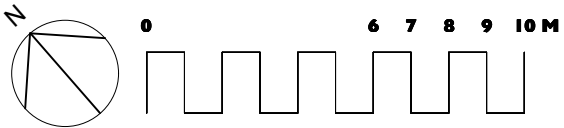
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Date: JULY 2022	Revision: /

EXISTING GROUND FLOOR PLAN
Block A



NOTE: NO EXTERNAL CHANGES PROPOSED AT THIS LEVEL



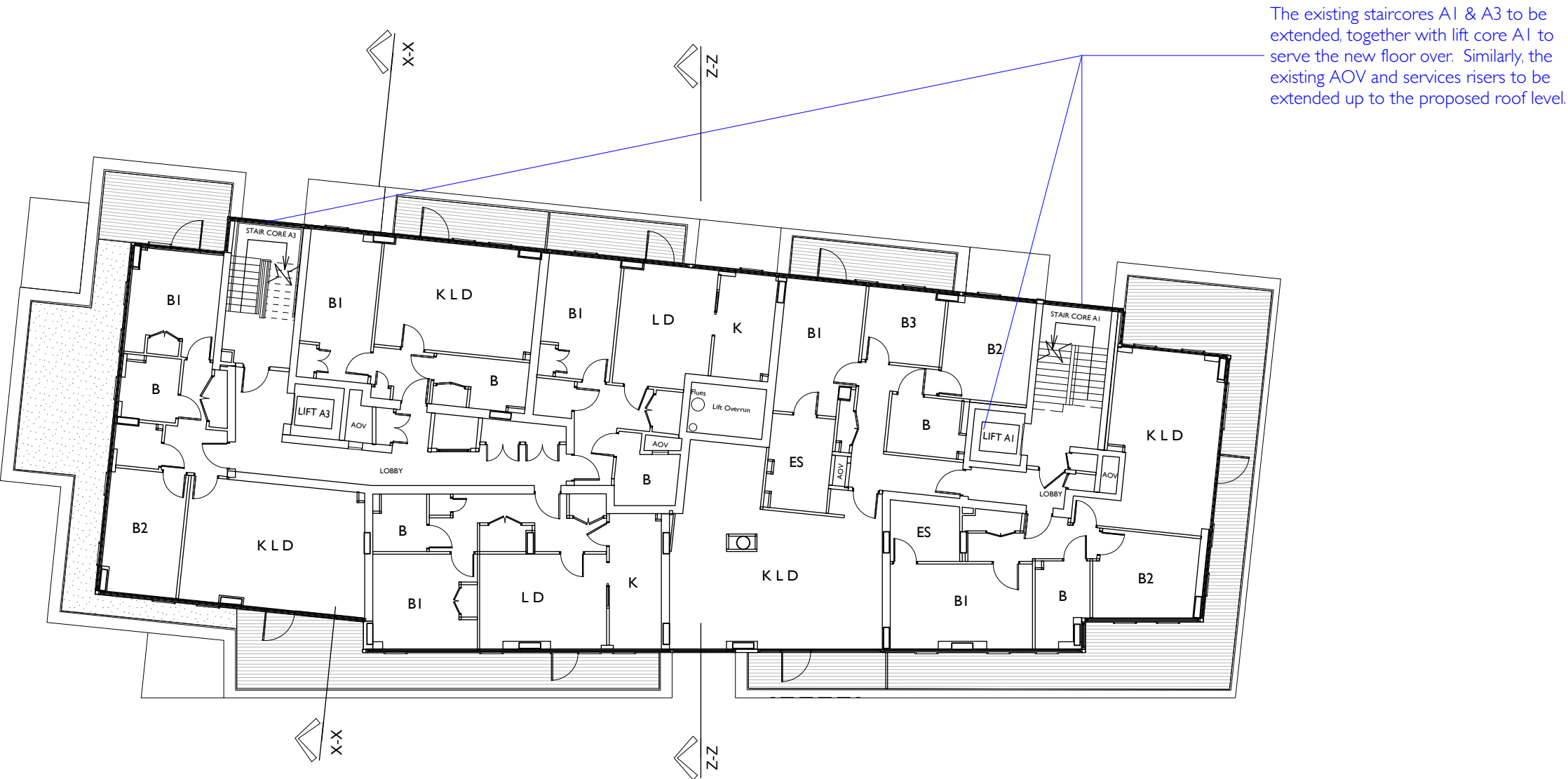
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Rev.	Date.	Description.
A	Jul ' 22	General drawing update & notes added.
B	Sept ' 22	General drawing update.

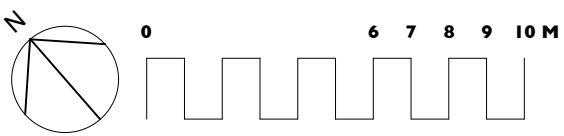
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	Date: APRIL 2022	Revision: B


EXISTING FIFTH FLOOR PLAN
Block A



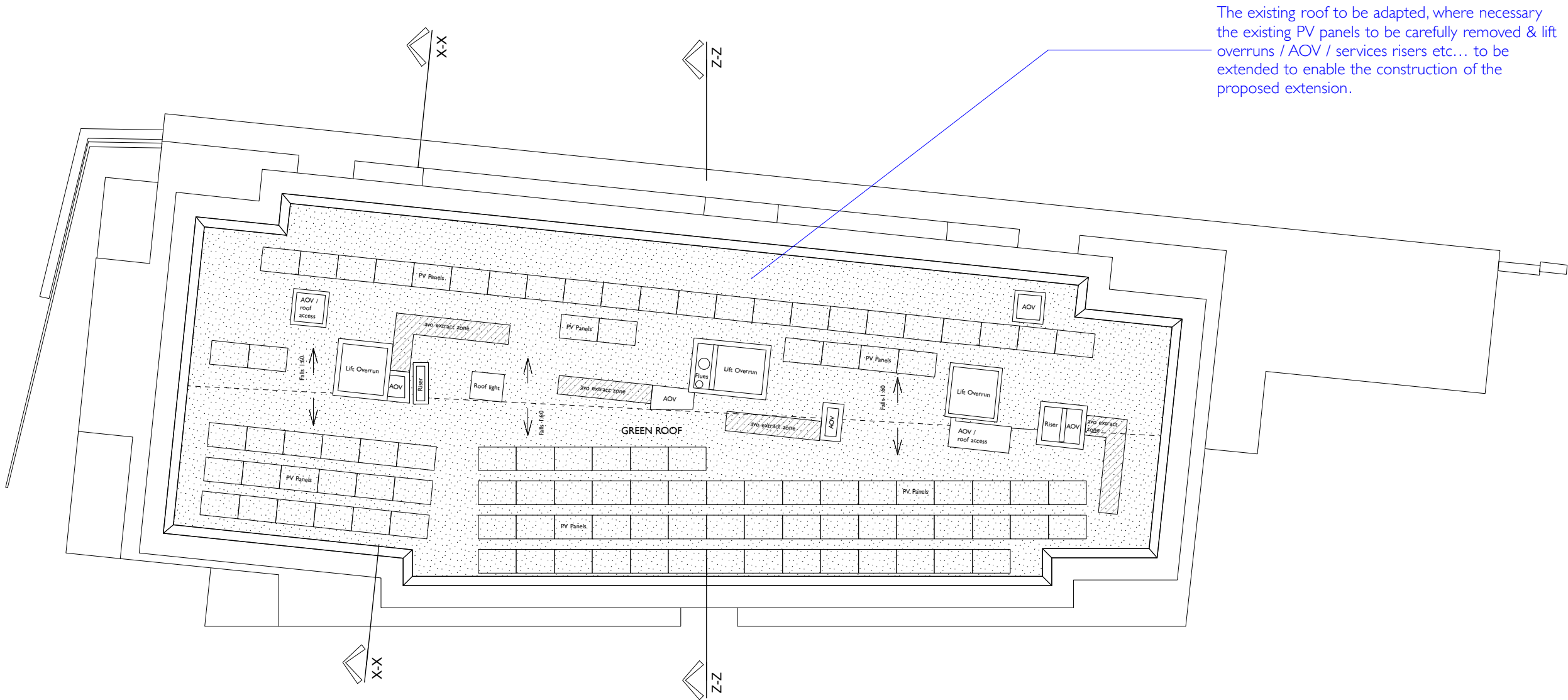
The existing staircores A1 & A3 to be extended, together with lift core A1 to serve the new floor over. Similarly, the existing AOV and services risers to be extended up to the proposed roof level.

NOTE: NO EXTERNAL CHANGES PROPOSED AT THIS LEVEL

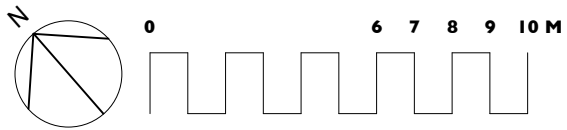


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							Scale: 1:200 @ A3	DWG: 1323 - EX - 105
							Date: APRIL 2022	Revision: B

EXISTING ROOF PLAN
Block A



The existing roof to be adapted, where necessary the existing PV panels to be carefully removed & lift overruns / AOV / services risers etc... to be extended to enable the construction of the proposed extension.



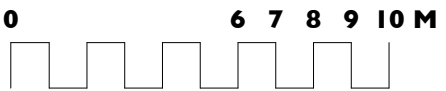
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Rev.	Date.	Description.
A	Aug ' 22	General drawing update, note added.

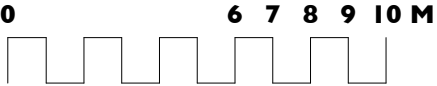
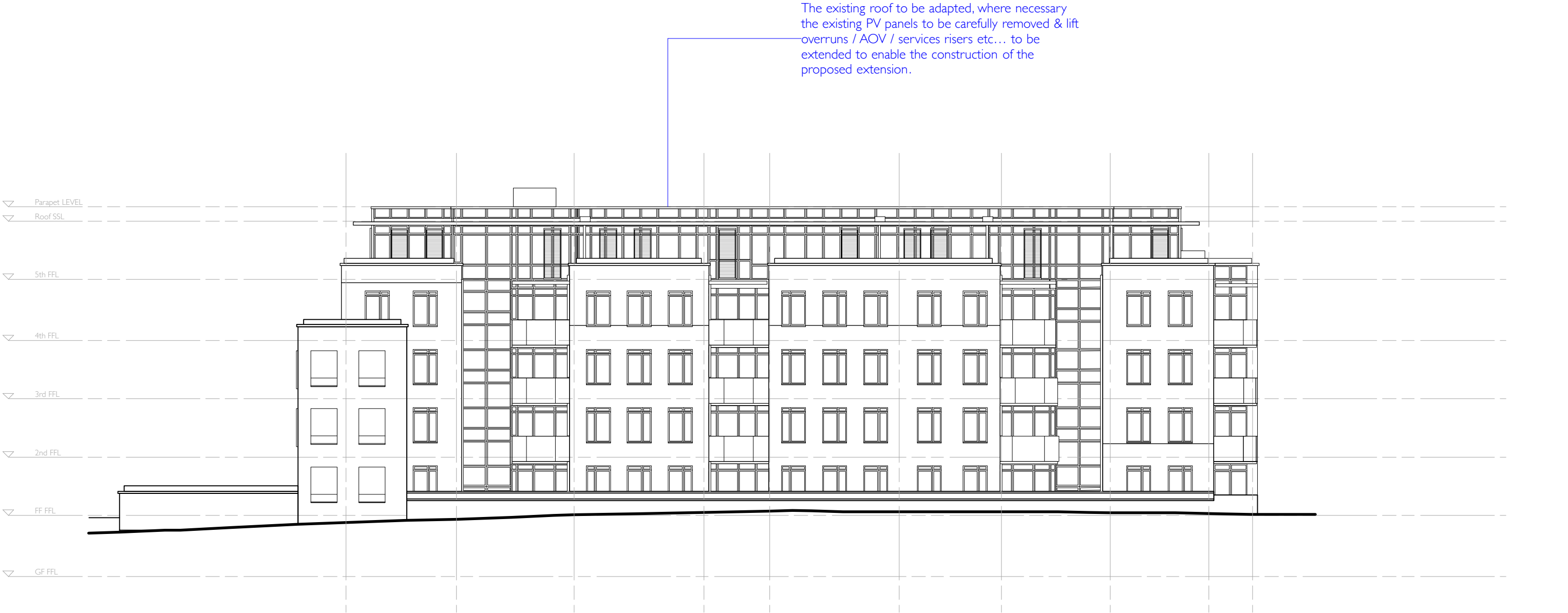
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	Date: APRIL 2022	Revision: A


EXISTING SOUTH WEST ELEVATION
Block A



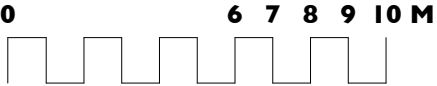
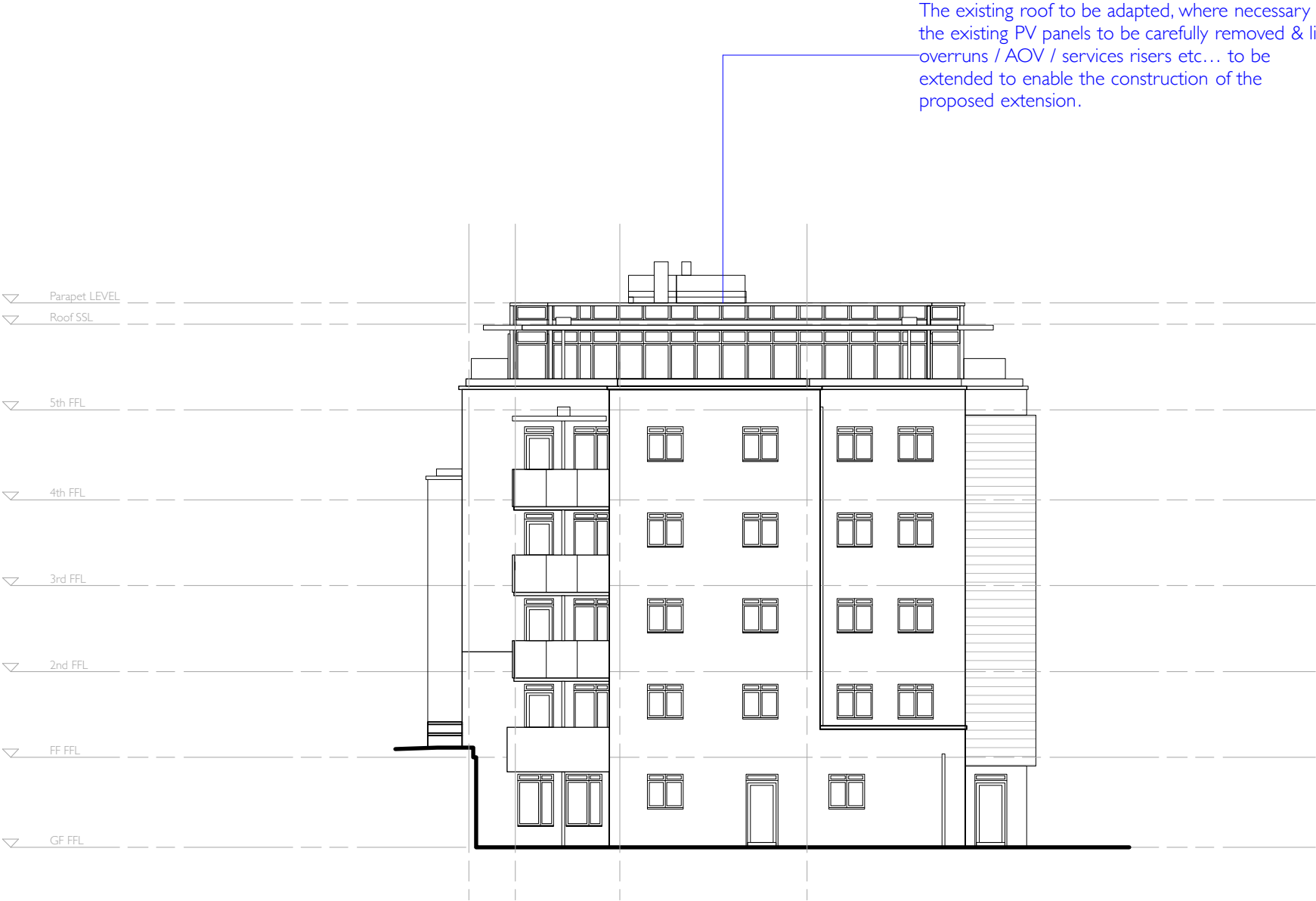
	Unit 25, BASEPOINT EVESHAM WORCESTERSHIRE WR11 1GP t : 020 7328 2576 Email: info@hubarchitects.co.uk	<p>All dimensions are to be checked on site before commencement of works.</p> <p>All sizes and dimensions to any structural elements are indicative only. See structural engineer's drawings for actual sizes/dimensions.</p> <p>Sizes of and dimensions to any service elements are indicative only. See service engineer's drawings for actual sizes/dimensions.</p> <p>This drawing to be read in conjunction with all relevant Architect's drawings, specifications and other consultants' information.</p>	Rev. A	Date. Aug ' 22	Description. General drawing update & notes added.	Initial. JC	EXISTING	
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							Date: APRIL 2022	Revision: A

EXISTING NORTH EAST ELEVATION
Block A



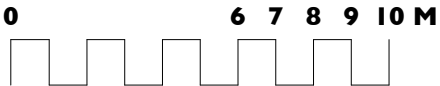
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							Date: APRIL 2022	Revision: A

EXISTING NORTH WEST ELEVATION
Block A



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							Scale: 1:200 @ A3	DWG: 1323 - EX - 122
							Date: APRIL 2022	Revision: A

EXISTING SOUTH EAST ELEVATION
Block A



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Rev.	Date.
A	Aug ' 22

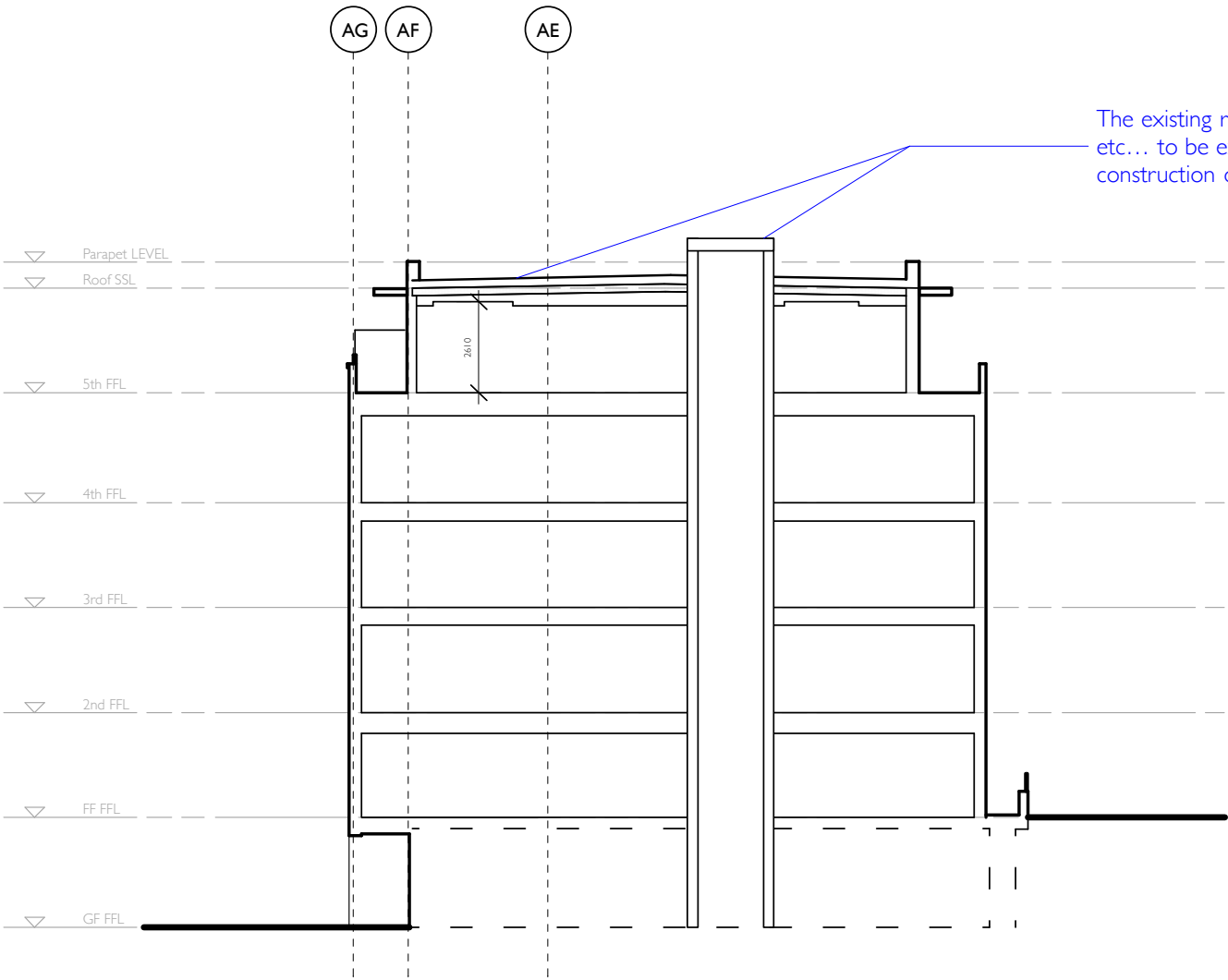
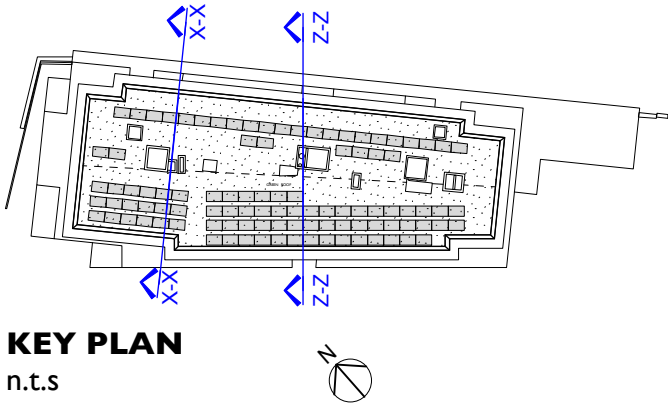
Description.
General drawing update & notes added.

Initial.
JC

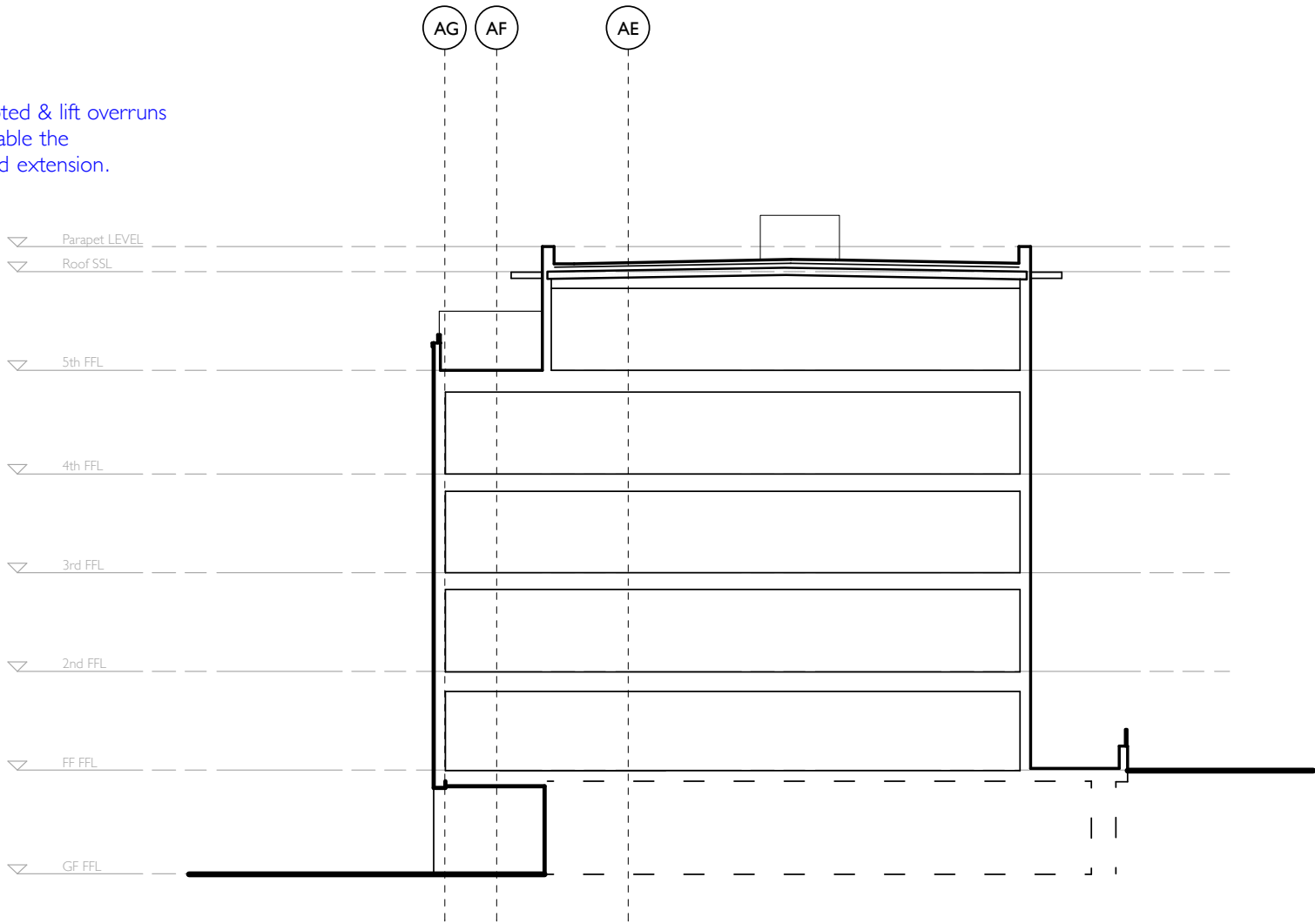
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Date: APRIL 2022	Revision: A

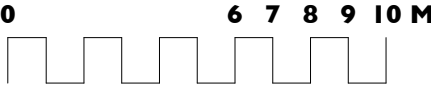
EXISTING SECTIONS
Block A



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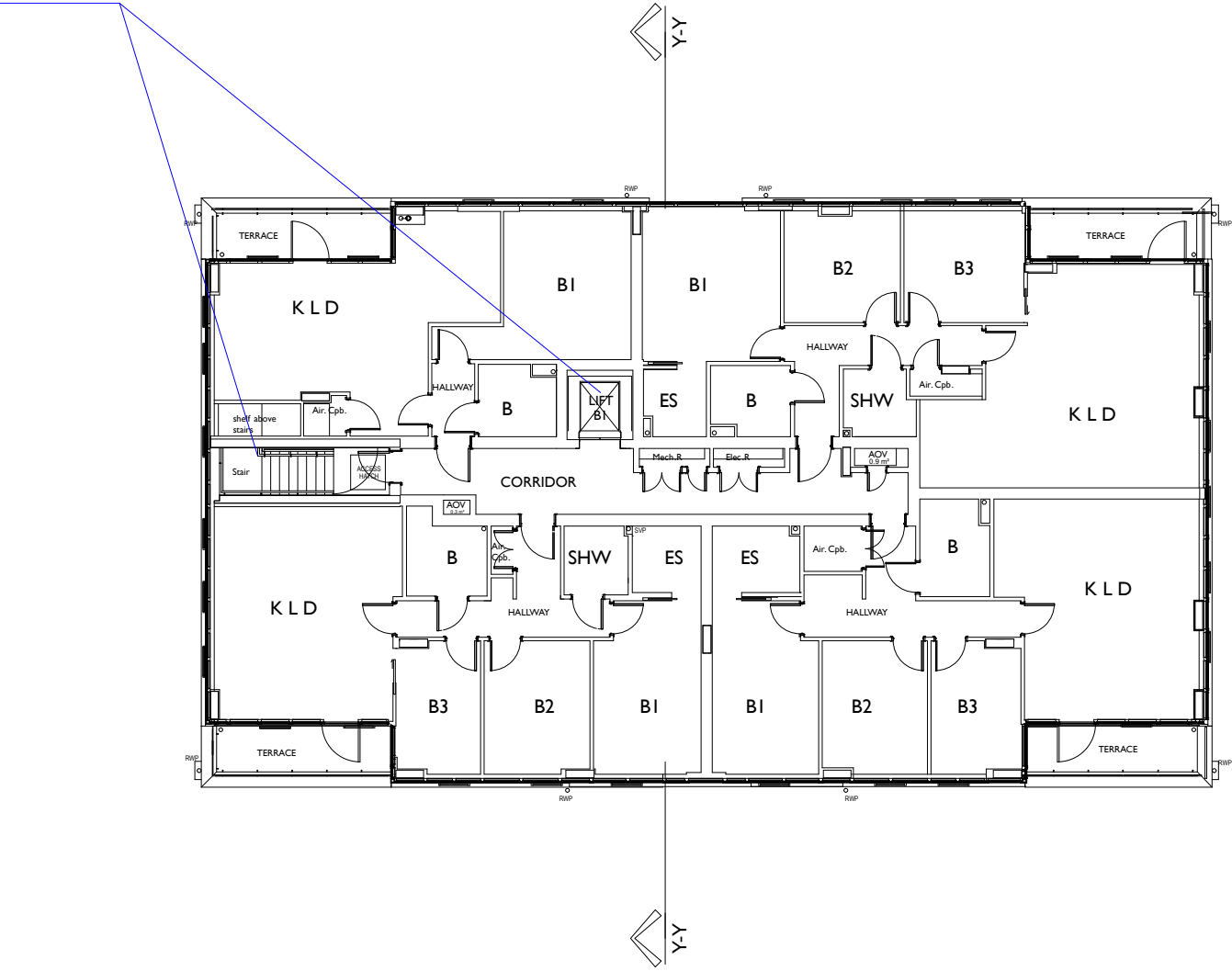


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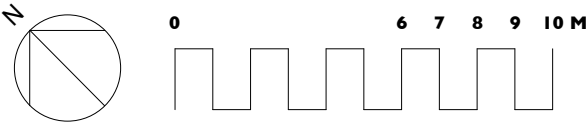



EXISTING THIRD FLOOR PLAN
Block B

The existing staircore to be extended,
together with lift core B1 to serve the new
floor over. Similarly, the existing AOV and
services risers to be extended up to the
proposed roof level.

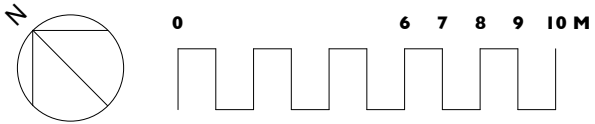
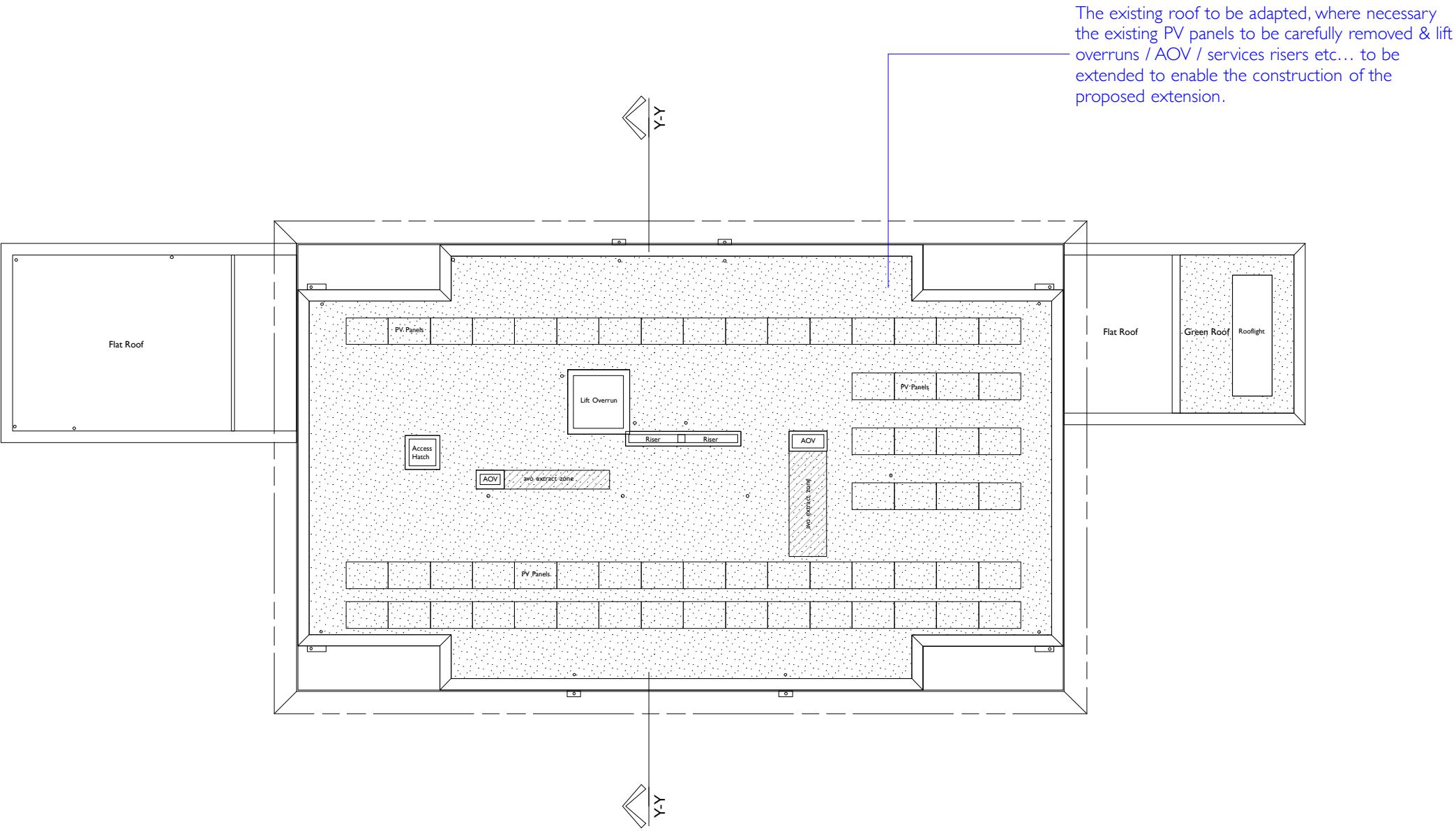


NOTE: NO EXTERNAL CHANGES PROPOSED AT THIS LEVEL



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							Scale: 1:200 @ A3	DWG: 1323 - EX - 203
							Date: FEB 2022	Revision: A

EXISTING ROOF PLAN
Block B



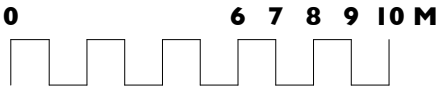
Unit 25, BASEPOINT
EVESHAM
WORCESTERSHIRE
WR11 1GP
t : 020 7328 2576
Email: info@hubarchitects.co.uk

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Rev.	Date.	Description.
A	Aug'22	General drawing update & notes added.

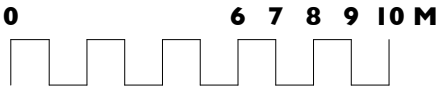
Initial.	EXISTING	
JC	Project: Regent's Gate / Guinness Court NW8	Drawing: EXISTING ROOF PLAN
	Scale: 1:200 @ A3	DWG: 1323 - EX - 204
	Date: FEB 2022	Revision: A

EXISTING NORTH EAST ELEVATION
Block B



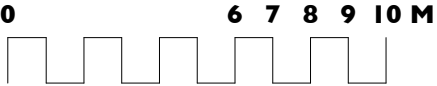
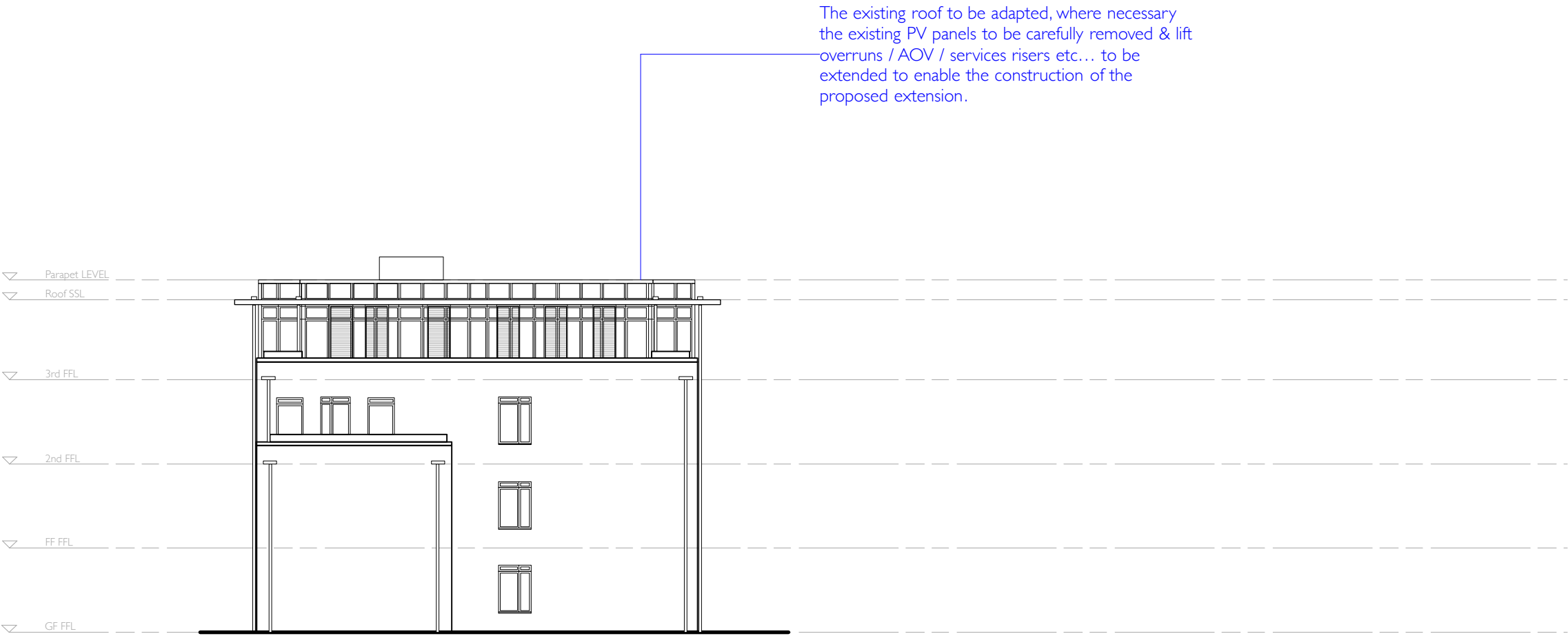
	Unit 25, BASEPOINT EVESHAM WORCESTERSHIRE WR11 1GP t : 020 7328 2576 Email: info@hubarchitects.co.uk	<p>All dimensions are to be checked on site before commencement of works.</p> <p>All sizes and dimensions to any structural elements are indicative only. See structural engineer's drawings for actual sizes/dimensions.</p> <p>Sizes of and dimensions to any service elements are indicative only. See service engineer's drawings for actual sizes/dimensions.</p> <p>This drawing to be read in conjunction with all relevant Architect's drawings, specifications and other consultants' information.</p>	Rev. A	Date. Aug'22	Description. General drawing update & notes added.	Initial. JC	EXISTING	
							Project: Regent's Gate / Guinness Court NW8	Drawing: EXISTING NORTH EAST ELEVATION
							Scale: 1:200 @ A3	DWG: 1323 - EX - 220
							Date: APRIL 2022	Revision: A


EXISTING SOUTH WEST ELEVATION
Block B



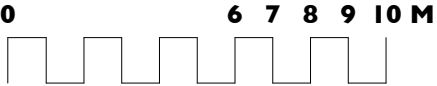
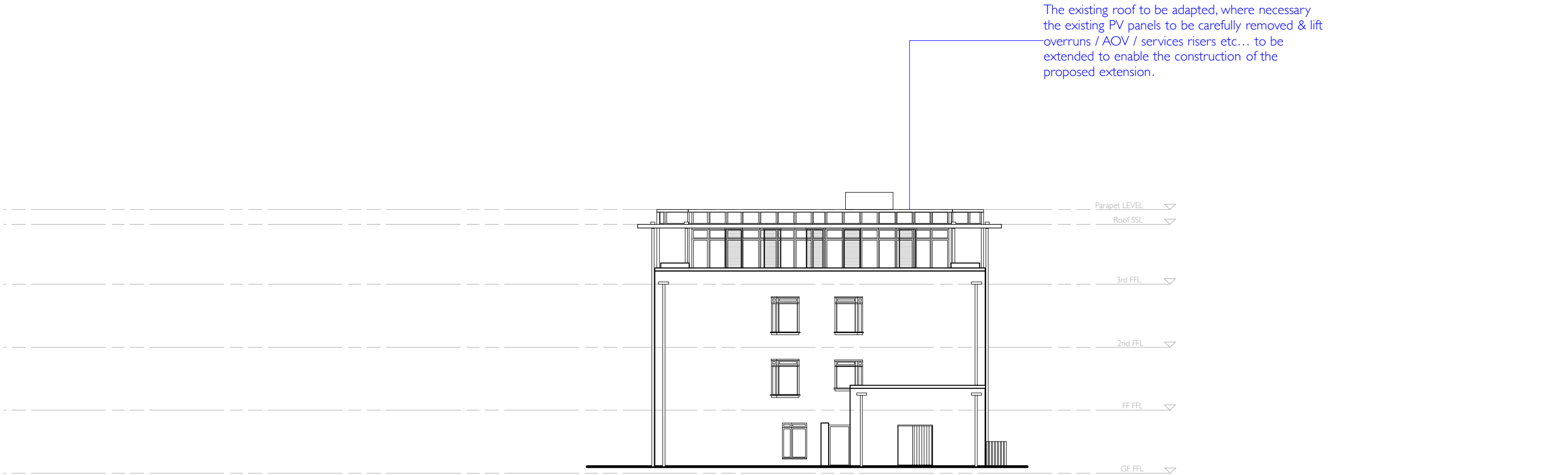
	Unit 25, BASEPOINT EVESHAM WORCESTERSHIRE WR11 1GP t : 020 7328 2576 Email: info@hubarchitects.co.uk	<p>All dimensions are to be checked on site before commencement of works.</p> <p>All sizes and dimensions to any structural elements are indicative only. See structural engineer's drawings for actual sizes/dimensions.</p> <p>Sizes of and dimensions to any service elements are indicative only. See service engineer's drawings for actual sizes/dimensions.</p> <p>This drawing to be read in conjunction with all relevant Architect's drawings, specifications and other consultants' information.</p>	Rev. A	Date. Aug'22	Description. General drawing update & notes added.	Initial. JC	EXISTING	
							Project: Regent's Gate / Guinness Court NW8	Drawing: EXISTING SOUTH WEST ELEVATION
							Scale: 1:200 @ A3	DWG: 1323 - EX - 221
							Date: APRIL 2022	Revision: A


EXISTING NORTH WEST ELEVATION
Block B



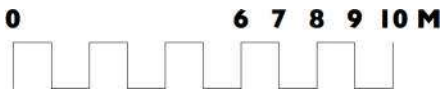
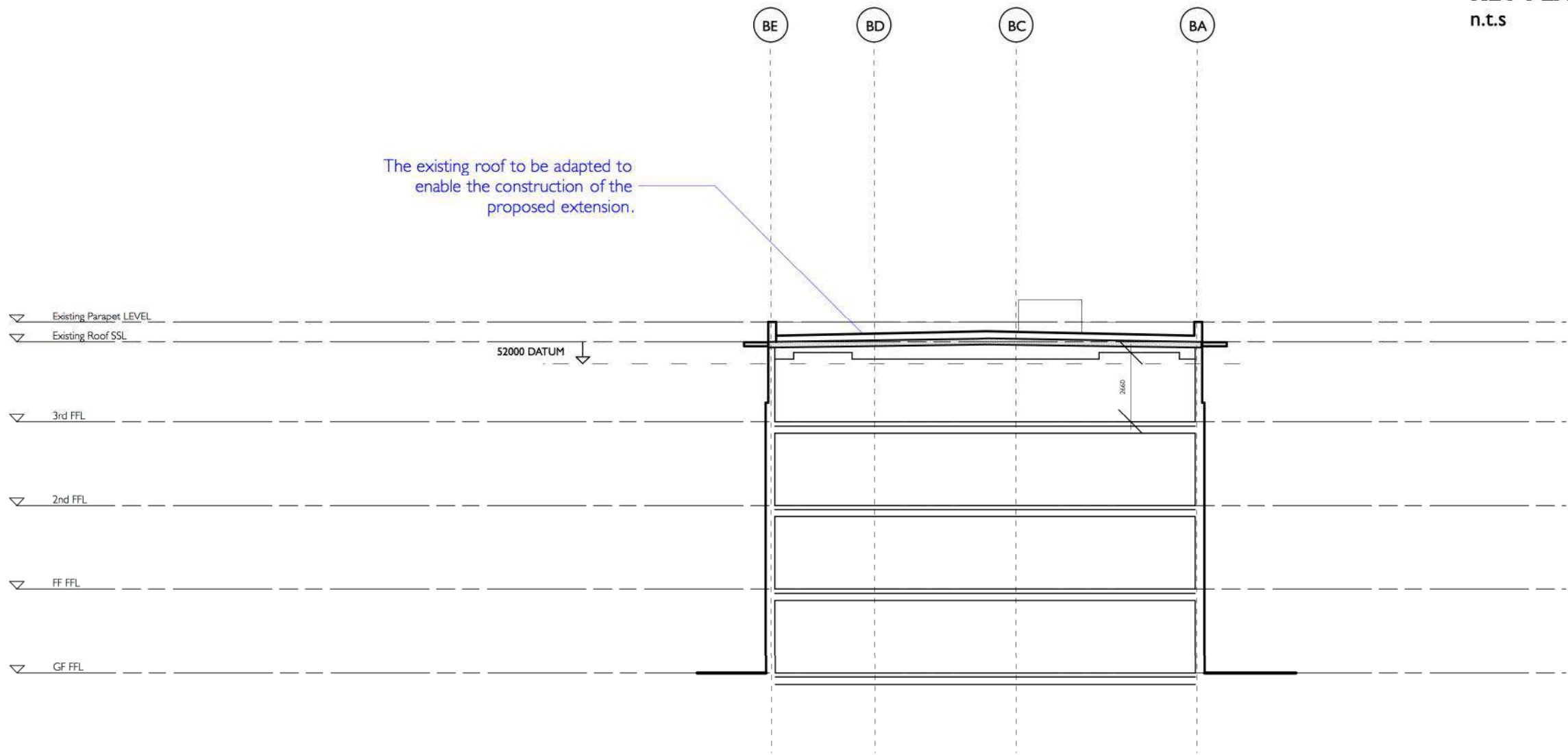
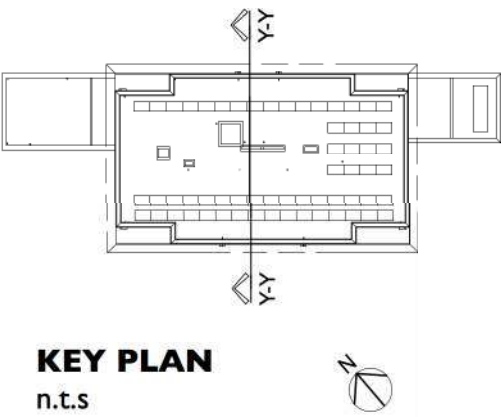
	Unit 25, BASEPOINT EVESHAM WORCESTERSHIRE WR11 1GP t : 020 7328 2576 Email: info@hubarchitects.co.uk	<p>All dimensions are to be checked on site before commencement of works.</p> <p>All sizes and dimensions to any structural elements are indicative only. See structural engineer's drawings for actual sizes/dimensions.</p> <p>Sizes of and dimensions to any service elements are indicative only. See service engineer's drawings for actual sizes/dimensions.</p> <p>This drawing to be read in conjunction with all relevant Architect's drawings, specifications and other consultants' information.</p>	Rev. A	Date. Aug'22	Description. General drawing update & notes added.	Initial. JC	EXISTING	
							Project: Regent's Gate / Guinness Court NW8	Drawing: EXISTING NORTH WEST ELEVATION
							Scale: 1:200 @ A3	DWG: 1323 - EX - 222
							Date: APRIL 2022	Revision: A


EXISTING SOUTH EAST ELEVATION
Block B



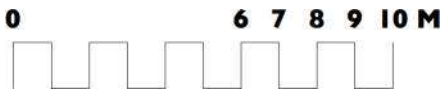
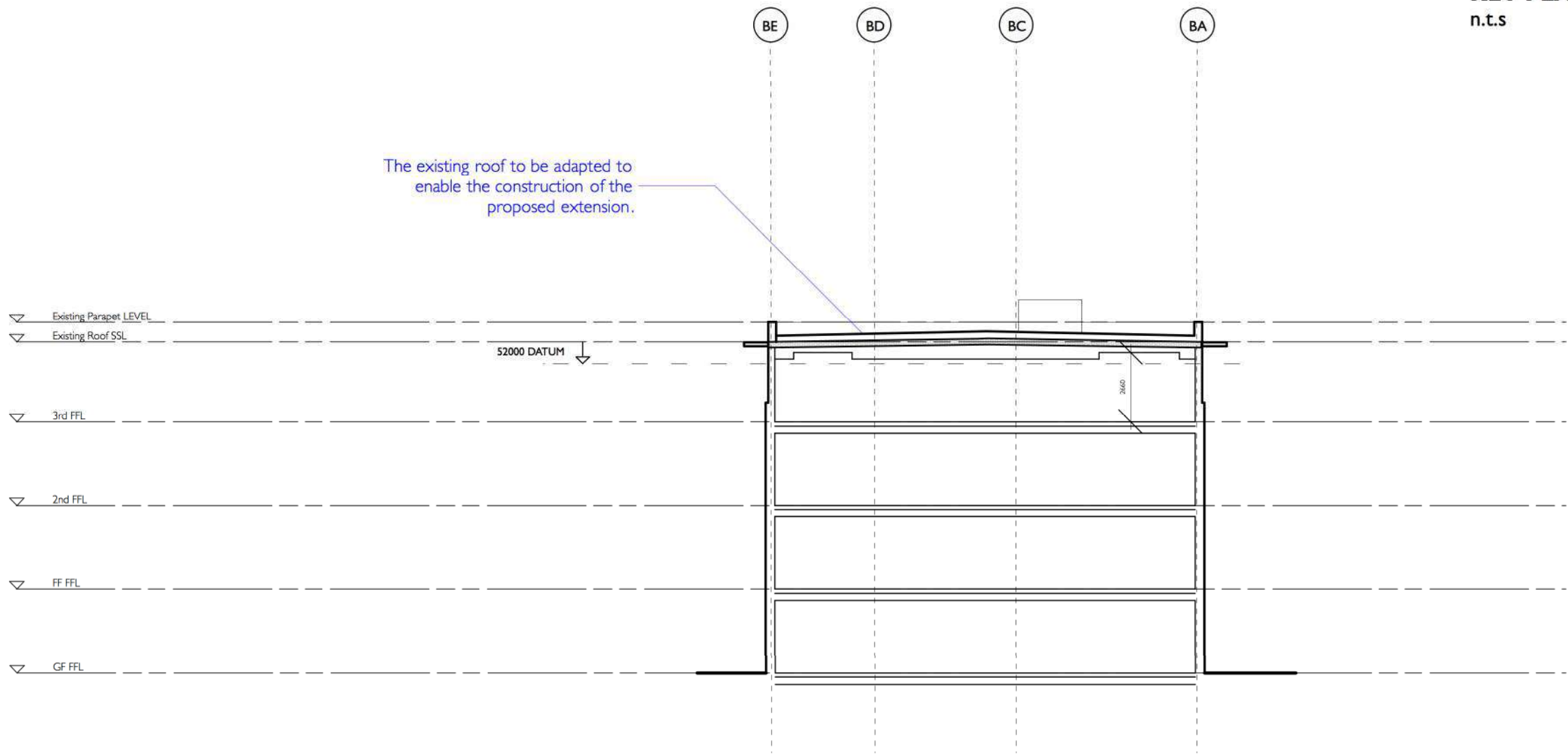
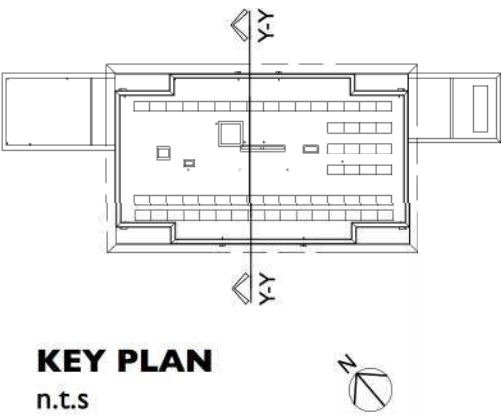
	Unit 25, BASEPOINT EVESHAM WORCESTERSHIRE WR11 1GP t : 020 7328 2576 Email: info@hubarchitects.co.uk	<p>All dimensions are to be checked on site before commencement of works.</p> <p>All sizes and dimensions to any structural elements are indicative only. See structural engineer's drawings for actual sizes/dimensions.</p> <p>Sizes of and dimensions to any service elements are indicative only. See service engineer's drawings for actual sizes/dimensions.</p> <p>This drawing to be read in conjunction with all relevant Architect's drawings, specifications and other consultants' information.</p>	Rev.	Date.	Description.	Initial.	EXISTING				
			A	Aug'22	General drawing update & notes added.		JC	Project:	Regent's Gate / Guinness Court NW8	Drawing:	EXISTING SOUTH EAST ELEVATION
								Scale:	1:200 @ A3	DWG:	1323 - EX - 223
								Date:	APRIL 2022	Revision:	A


EXISTING SECTION Y-Y
Block B



	Unit 25, BASEPOINT EVESHAM WORCESTERSHIRE WR11 1GP t : 020 7328 2576 Email: info@hubarchitects.co.uk	<p>All dimensions are to be checked on site before commencement of works.</p> <p>All sizes and dimensions to any structural elements are indicative only. See structural engineer's drawings for actual sizes/dimensions.</p> <p>Sizes of and dimensions to any service elements are indicative only. See service engineer's drawings for actual sizes/dimensions.</p> <p>This drawing to be read in conjunction with all relevant Architect's drawings, specifications and other consultants' information.</p>	Rev.	Date.	Description.	Initial.	EXISTING			
							Project:	Regent's Gate / Guinness Court NW8	Drawing:	EXISTING SECTION Y-Y
							Scale:	1:200 @ A3	DWG:	1323 - EX - 270
							Date:	AUG 2022	Revision:	/

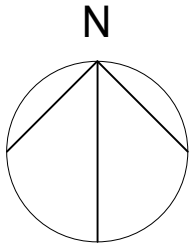
EXISTING SECTION Y-Y
Block B



	Unit 25, BASEPOINT EVESHAM WORCESTERSHIRE WR11 1GP t : 020 7328 2576 Email: info@hubarchitects.co.uk	<p>All dimensions are to be checked on site before commencement of works.</p> <p>All sizes and dimensions to any structural elements are indicative only. See structural engineer's drawings for actual sizes/dimensions.</p> <p>Sizes of and dimensions to any service elements are indicative only. See service engineer's drawings for actual sizes/dimensions.</p> <p>This drawing to be read in conjunction with all relevant Architect's drawings, specifications and other consultants' information.</p>	Rev.	Date.	Description.	Initial.	EXISTING			
							Project:	Regent's Gate / Guinness Court NW8	Drawing:	EXISTING SECTION Y-Y
							Scale:	1:200 @ A3	DWG:	1323 - EX - 270
							Date:	AUG 2022	Revision:	/

PROPOSED BLOCK & SITE PLAN

- EXISTING CYCLE STORES
No change proposed
- EXISTING CYCLE STORES
Adapted & enlarged.
- EXISTING REFUSE & RECYCLING STORE
No change proposed
- PROPOSED CYCLE STORE
12no. Long Term Secure lockable spaces.
Vertical wall mounted storage system.
- PROPOSED CYCLE STORE
2no. Short Term Spaces - External
Sheffield Type stand.



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Rev.	Date.
A	Sept'22
B	Sept'22

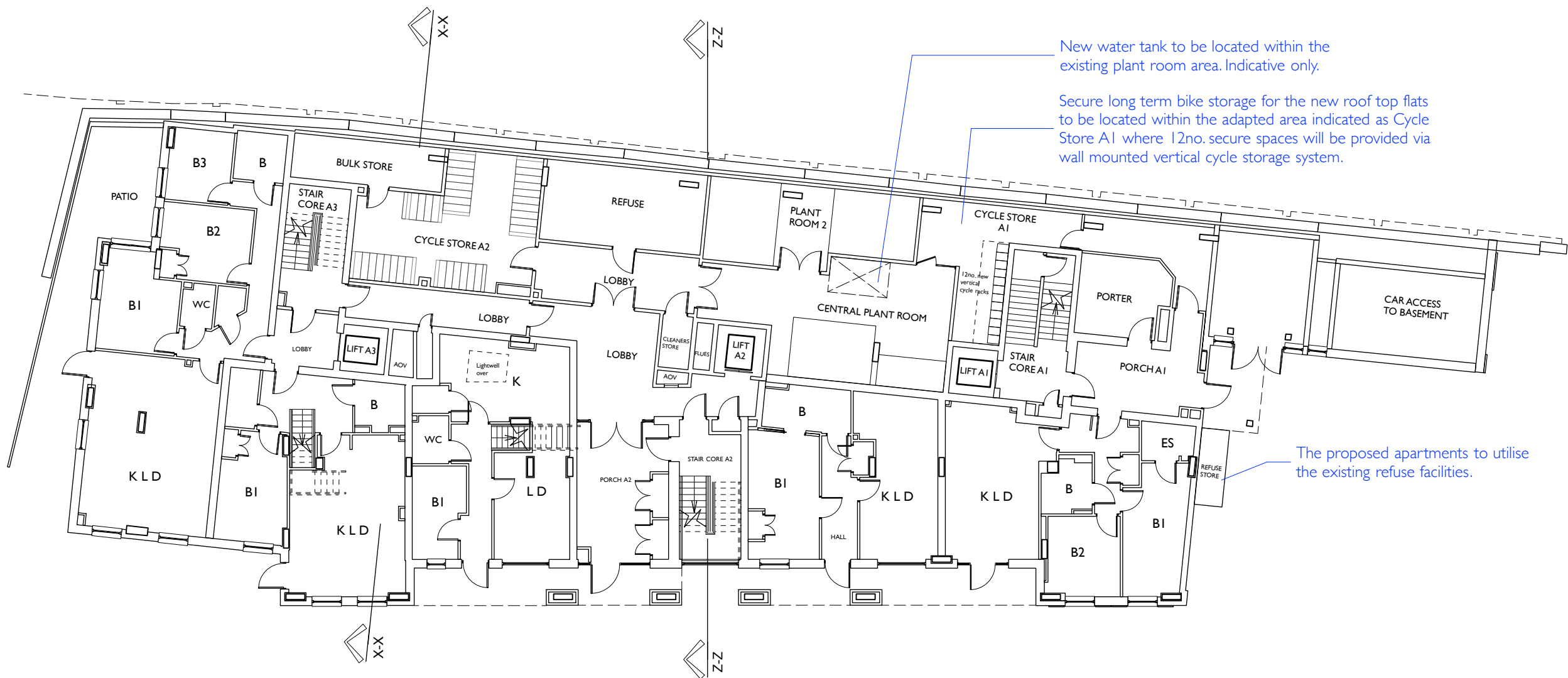
Description.
General drawing update.
General drawing update.

Initial.
JC
JC

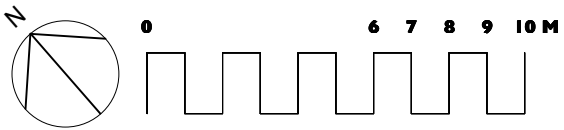
PLANNING

Project: Regent's Gate / Guinness Court NW8	Drawing: PROPOSED SITE & BLOCK PLAN
Scale: 1:500 @ A3	DWG: 1323 - PL - 145
Date: JULY 2022	Revision: B

PROPOSED GROUND FLOOR PLAN
Block A



NOTE: NO EXTERNAL CHANGES PROPOSED AT THIS LEVEL



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Rev.	Date.
A	Sept'22
B	Sept'22

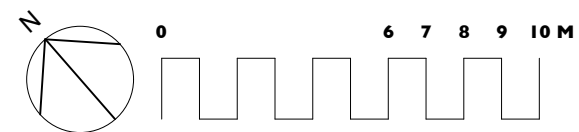
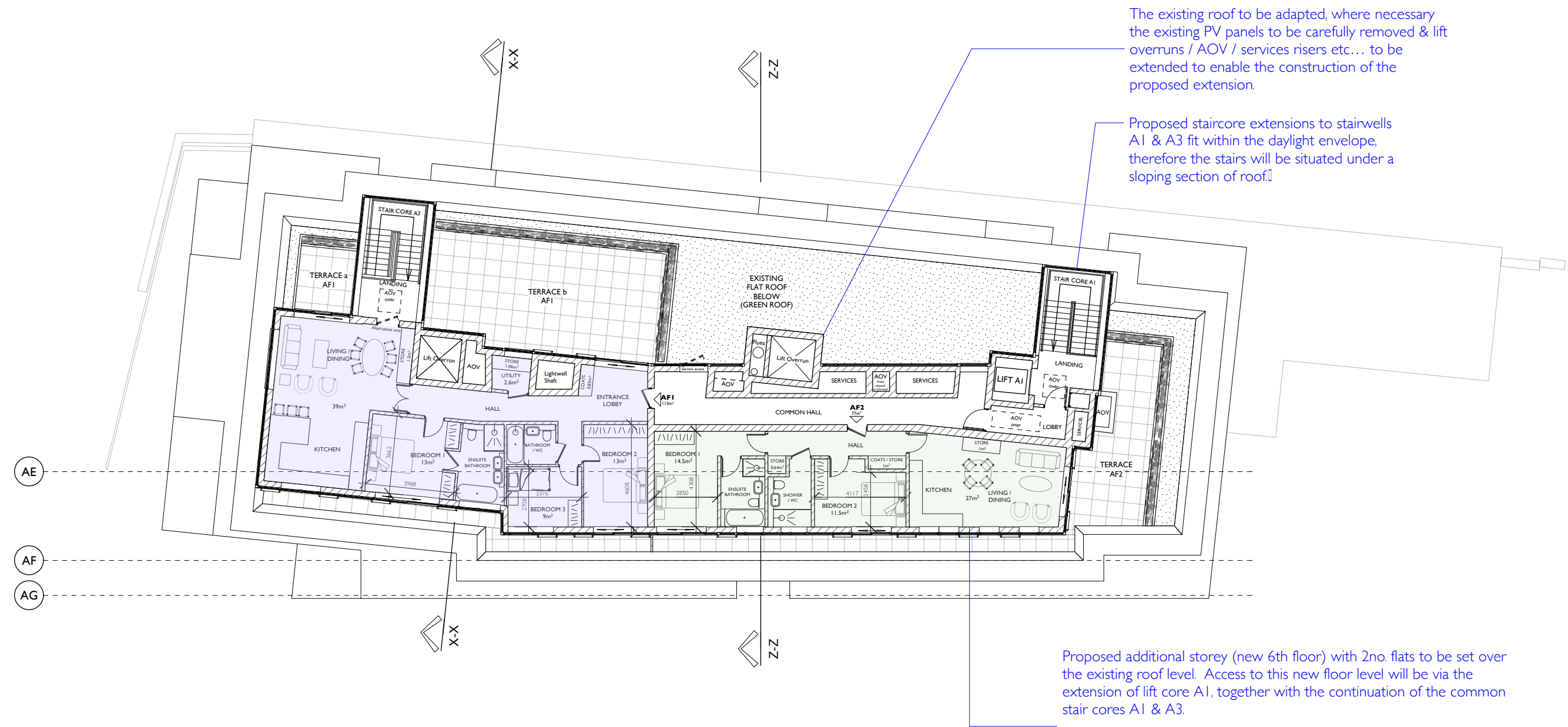
Description.
General drawing update.
General drawing update.

Initial.
JC
JC

PLANNING

Project: Regent's Gate / Guinness Court NW8	Drawing: PROPOSED GROUND FLOOR
Scale: 1:200 @ A3	DWG: 1323 - PL - 149
Date: APRIL 2022	Revision: B

PROPOSED SIXTH FLOOR PLAN
Block A



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Rev.	Date.
A	2205-09
B	Aug'22
C	Sept'22

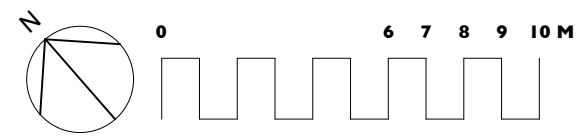
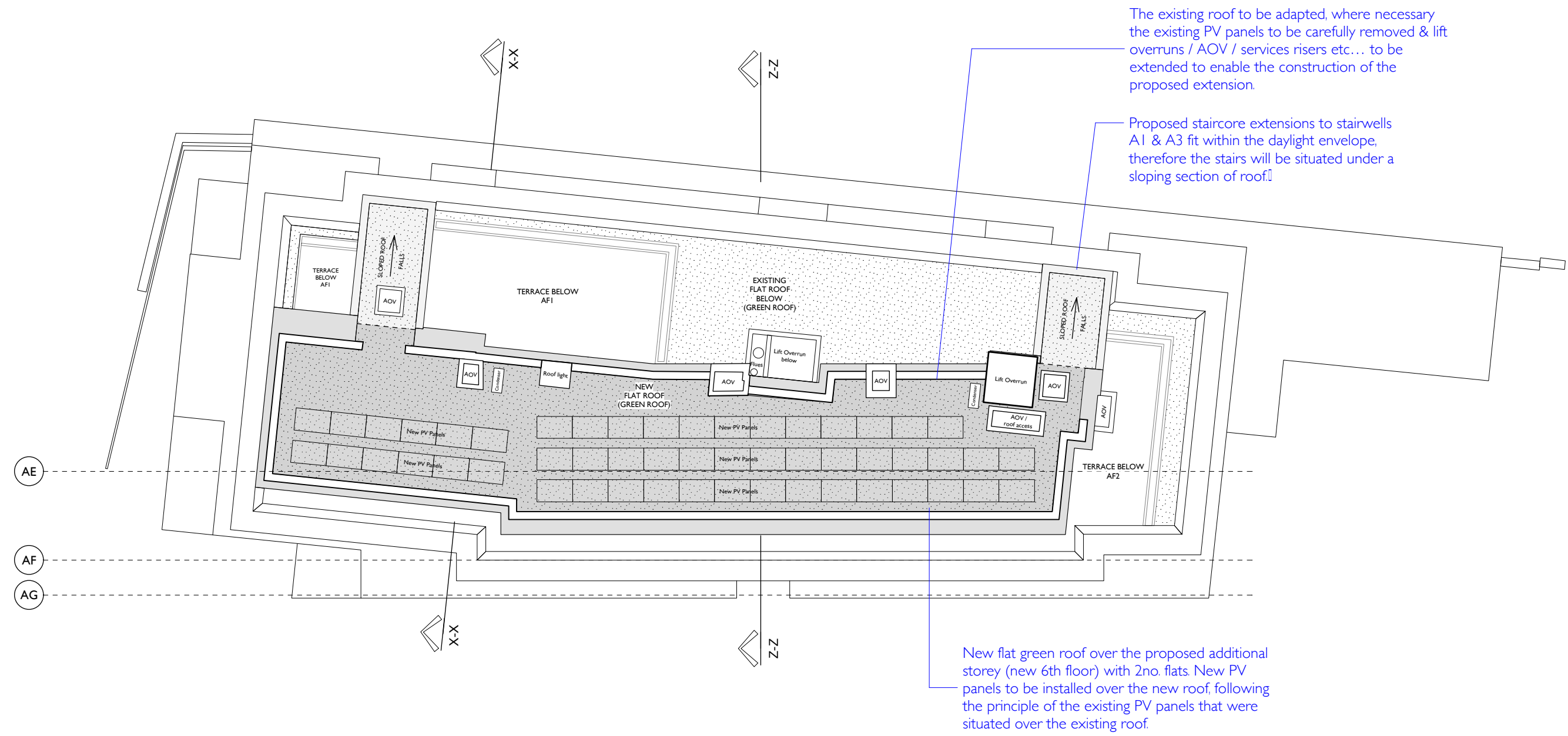
Description.
General drawing update.
General drawing update.
General drawing update.

Initial.
JC
JC
JC

PLANNING

Project: Regent's Gate / Guinness Court NW8	Drawing: PROPOSED SIXTH FLOOR PLAN
Scale: 1:200 @ A3	DWG: 1323 - PL - 150
Date: APRIL 2022	Revision: c

PROPOSED ROOF PLAN
Block A



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Rev.	Date.
A	Aug'22
B	Sept'22

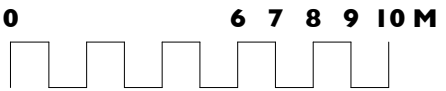
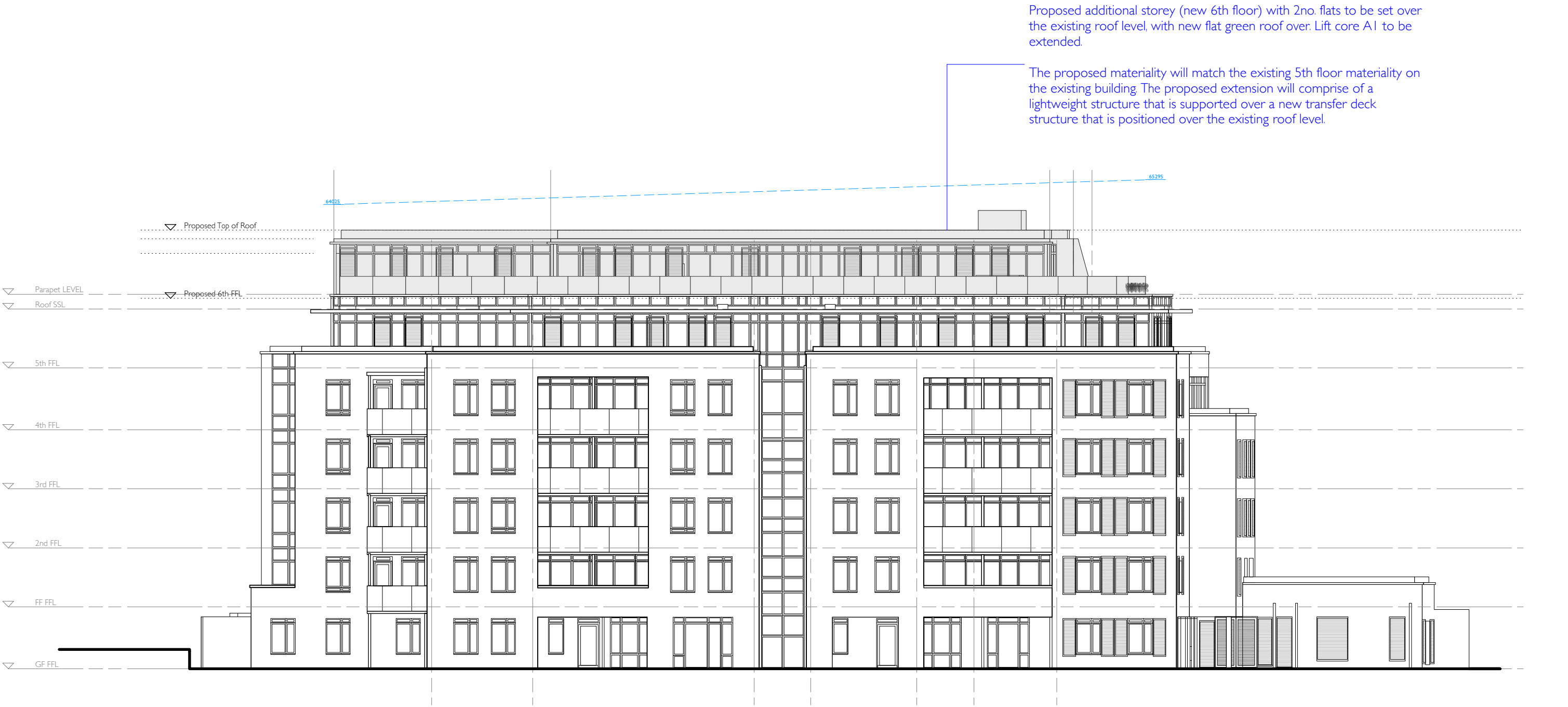
Description.
General drawing update.
General drawing update.


Initial.
JC
JC

PLANNING

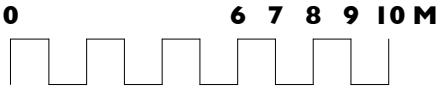
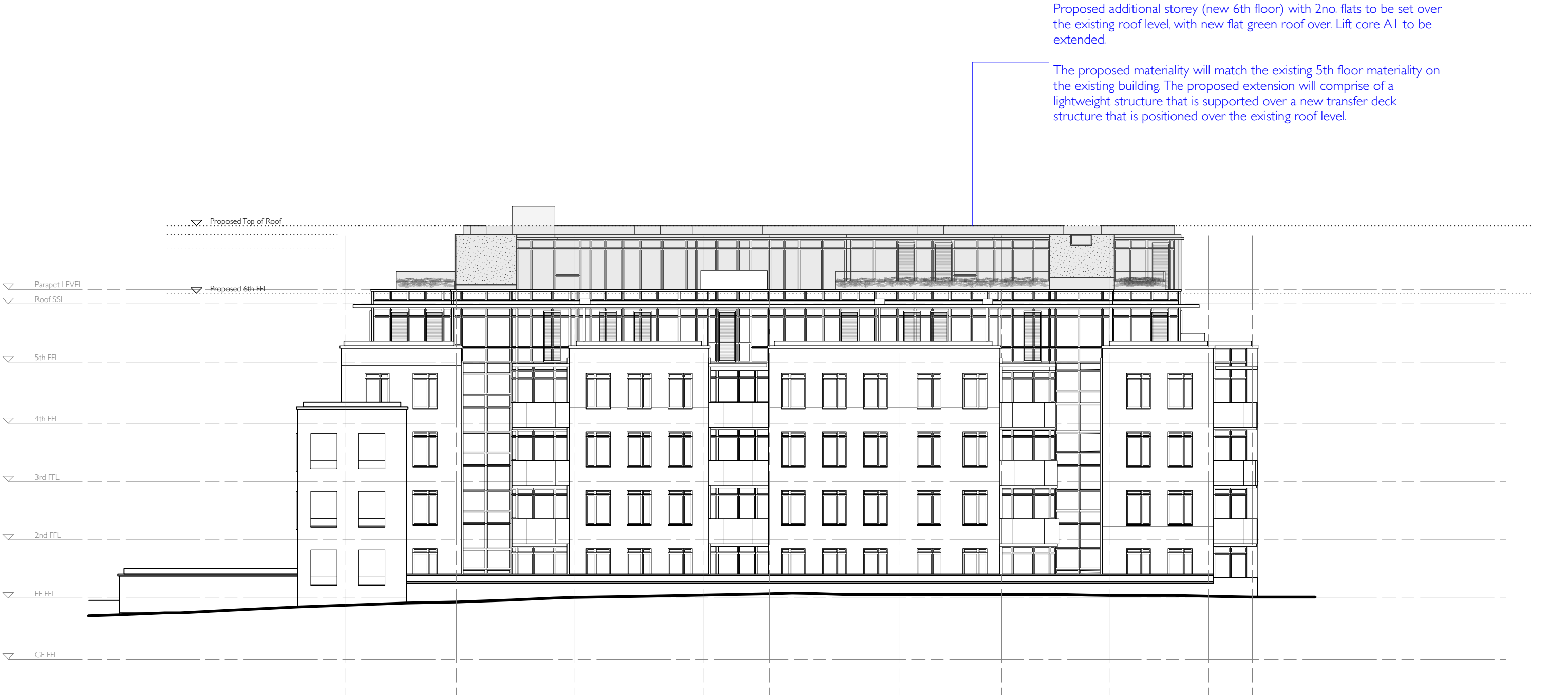
Project: Regent's Gate / Guinness Court NW8	Drawing: PROPOSED ROOF PLAN
Scale: 1:200 @ A3	DWG: 1323 - PL - 151
Date: APRIL 2022	Revision: B


PROPOSED SOUTH WEST ELEVATION
Block A



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							A	Aug'22	General drawing update & notes added.		Project:	Regent's Gate / Guinness Court NW8	Drawing:	PROPOSED SOUTH WEST ELEVATION	
							B	Sept'22	General drawing update.		Scale:	1:200 @ A3	DWG:	I 323 - PL - I 60	
											Date:	APRIL 2022	Revision:	B	

PROPOSED NORTH EAST ELEVATION
Block A





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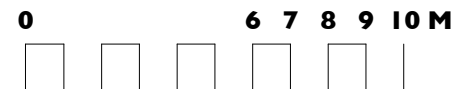
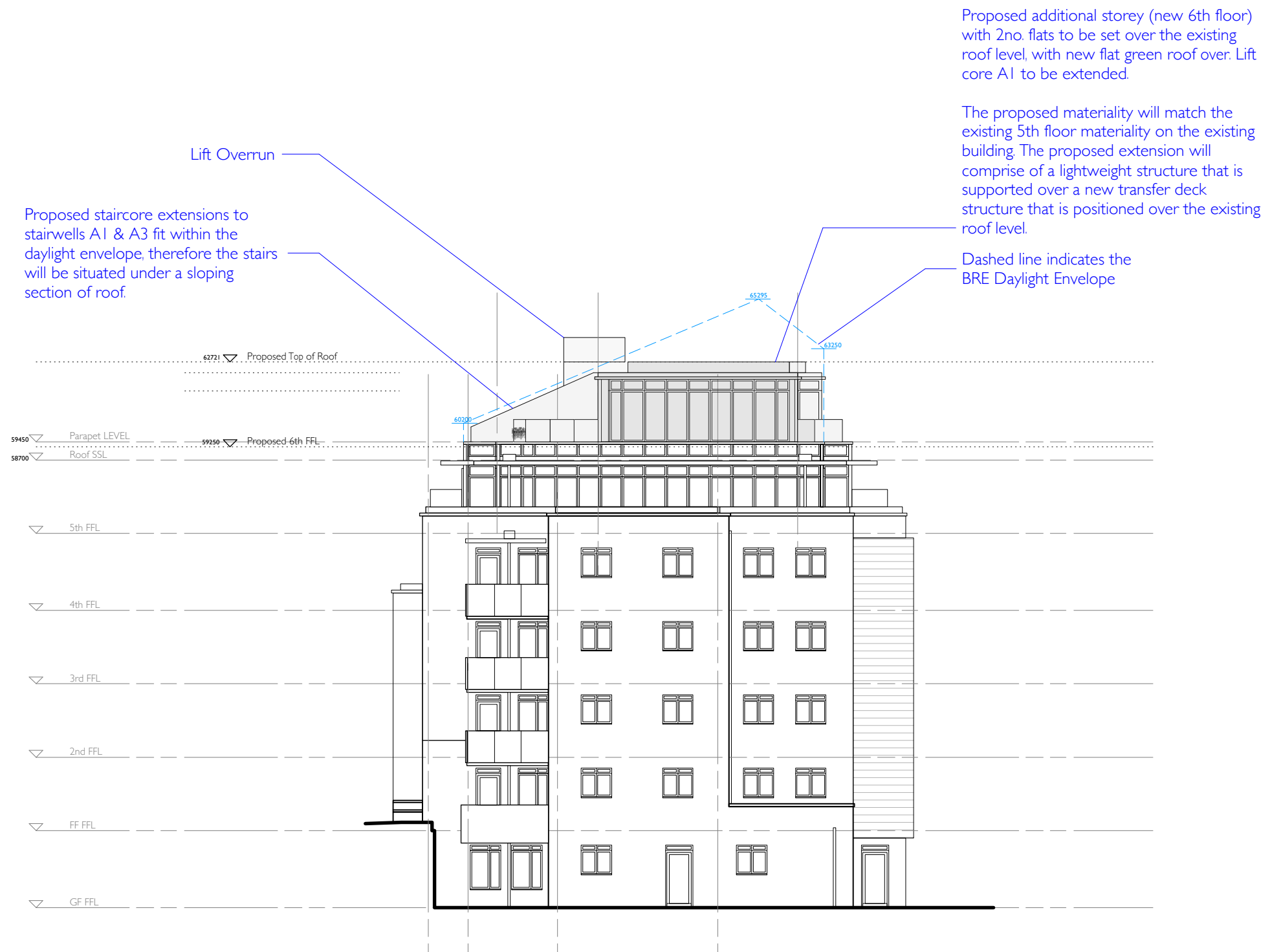
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Rev.	Date.	Description.
A	Aug'22	General drawing update & notes added.
B	Sept'22	General drawing update.

Initial.	P L A N N I N G	
JC	Project: Regent's Gate / Guinness Court NW8	Drawing: PROPOSED NORTH EAST ELEVATION
JC	Scale: 1:200 @ A3	DWG: 1323 - PL - 161
	Date: APRIL 2022	Revision: B

PROPOSED NORTH WEST ELEVATION
Block A



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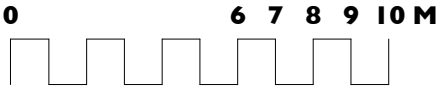
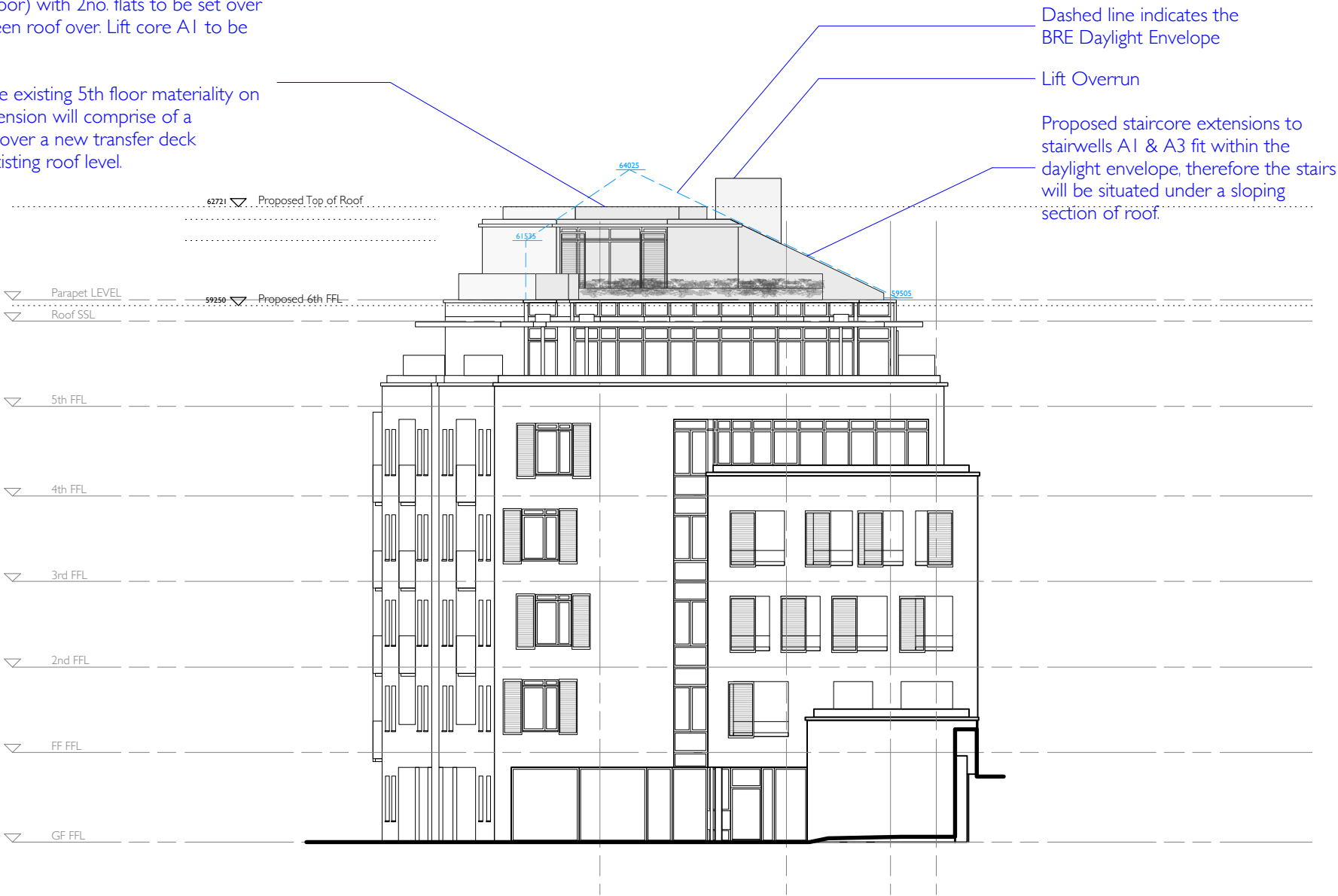
Rev.	Date.	Description.
A	Aug'22	General drawing update & notes added.
B	Sept'22	General drawing update.

Initial.	P L A N N I N G	
JC	Project: Regent's Gate / Guinness Court NW8	Drawing: PROPOSED NORTH WEST ELEVATION
JC	Scale: 1:200 @ A3	DWG: 1323 - PL - 162
	Date: APRIL 2022	Revision: B

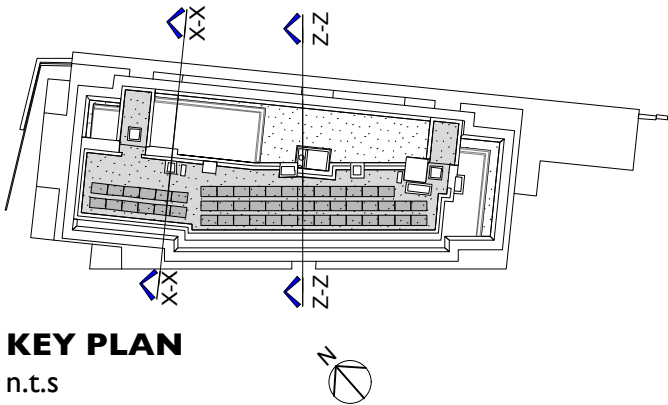
PROPOSED SOUTH EAST ELEVATION
Block A

Proposed additional storey (new 6th floor) with 2no. flats to be set over the existing roof level, with new flat green roof over. Lift core A1 to be extended.

The proposed materiality will match the existing 5th floor materiality on the existing building. The proposed extension will comprise of a lightweight structure that is supported over a new transfer deck structure that is positioned over the existing roof level.



PROPOSED SECTIONS
Block A



Proposed additional storey (new 6th floor) with 2no. flats to be set over the existing roof level with new flat green roof.

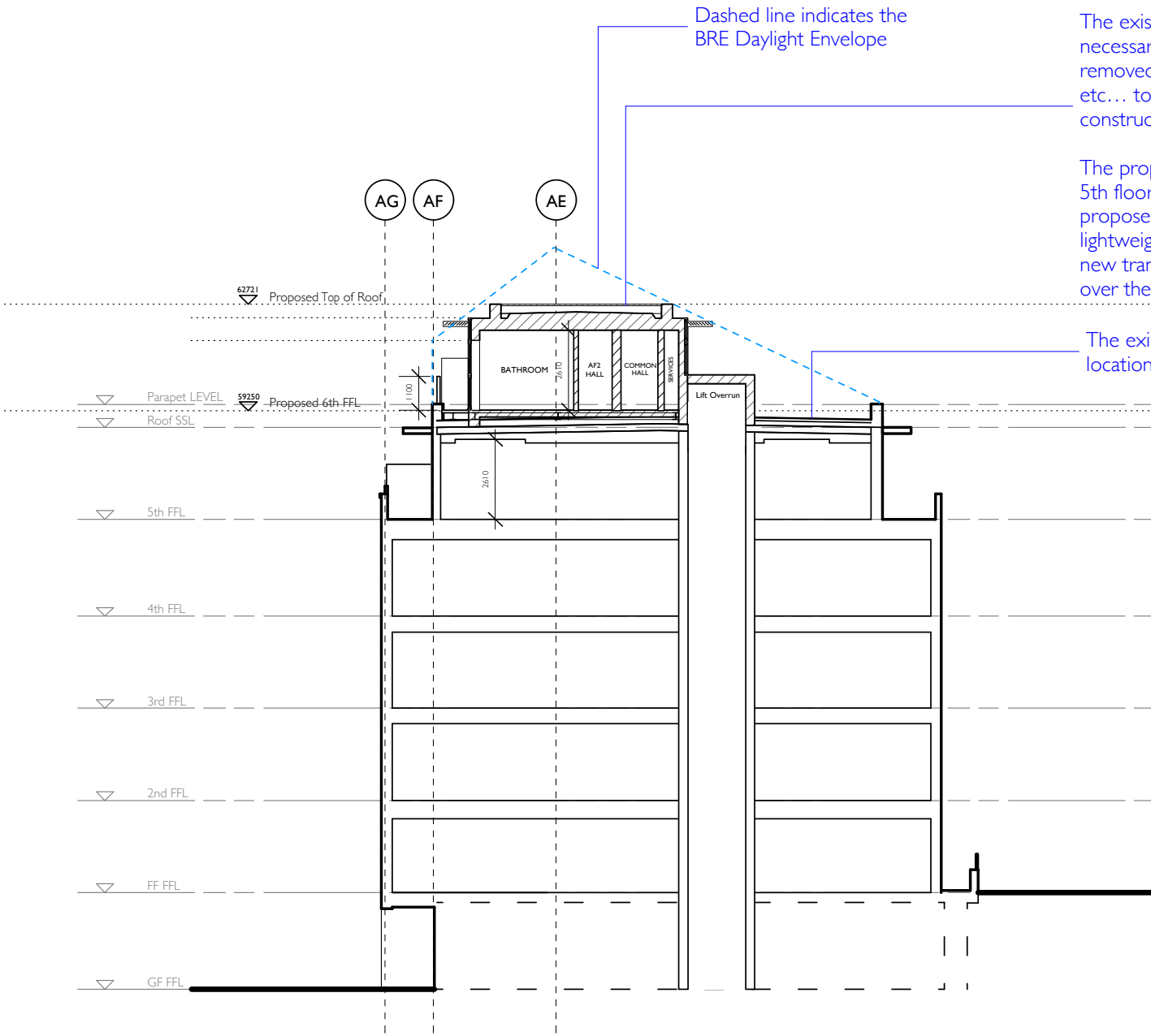
The existing roof to be adapted, where necessary the existing PV panels to be carefully removed & lift overruns / AOV / services risers etc... to be extended to enable the construction of the proposed extension.

The proposed materiality will match the existing 5th floor materiality on the existing building. The proposed extension will comprise of a lightweight structure that is supported over a new transfer deck structure that is positioned over the existing roof level.

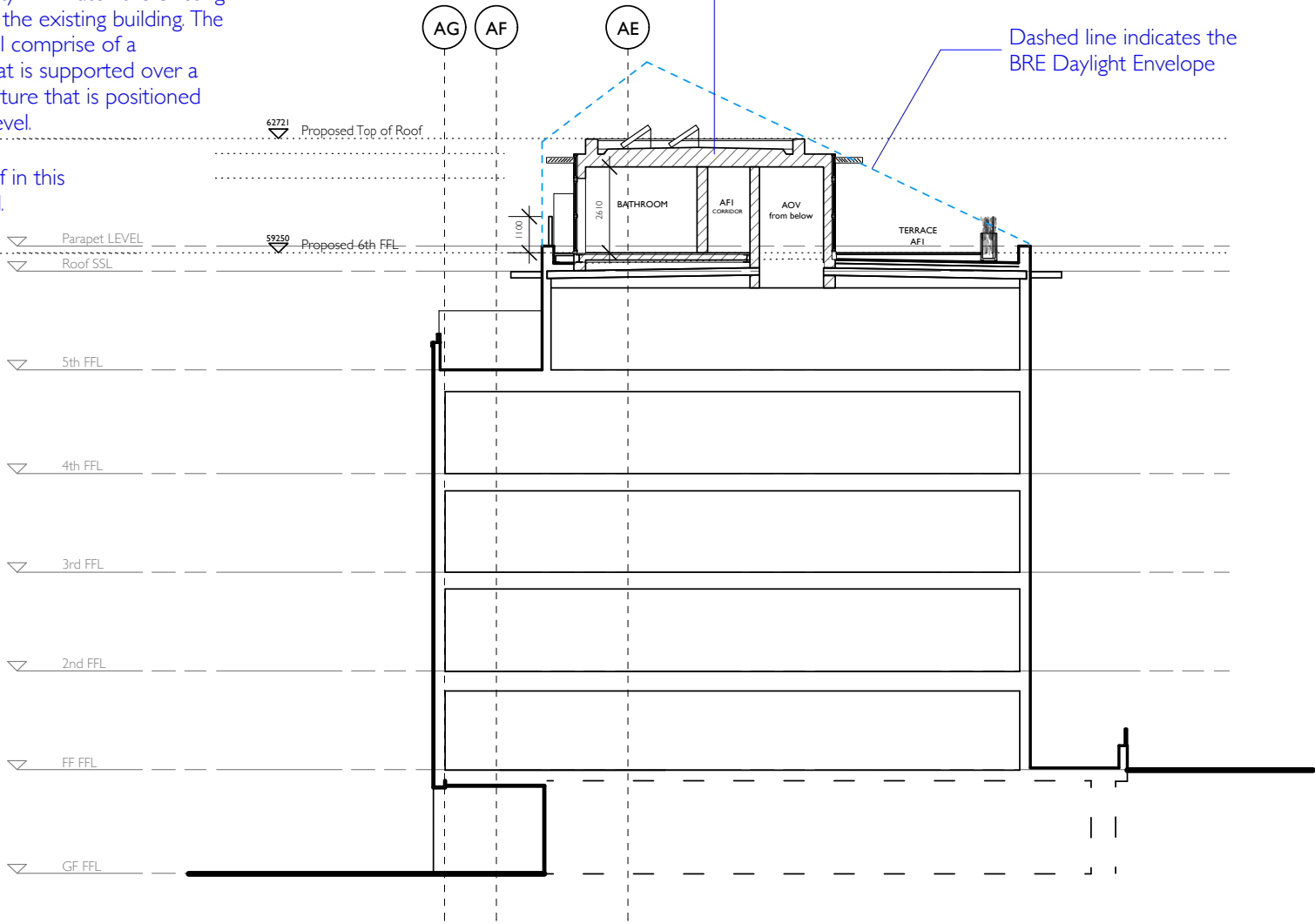
The existing green roof in this location to be retained.

Dashed line indicates the BRE Daylight Envelope

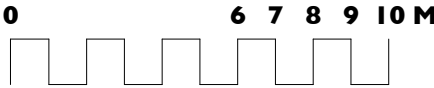
Dashed line indicates the BRE Daylight Envelope



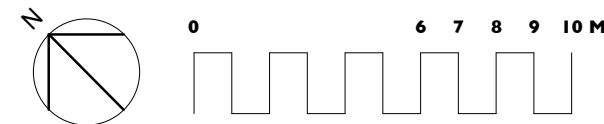
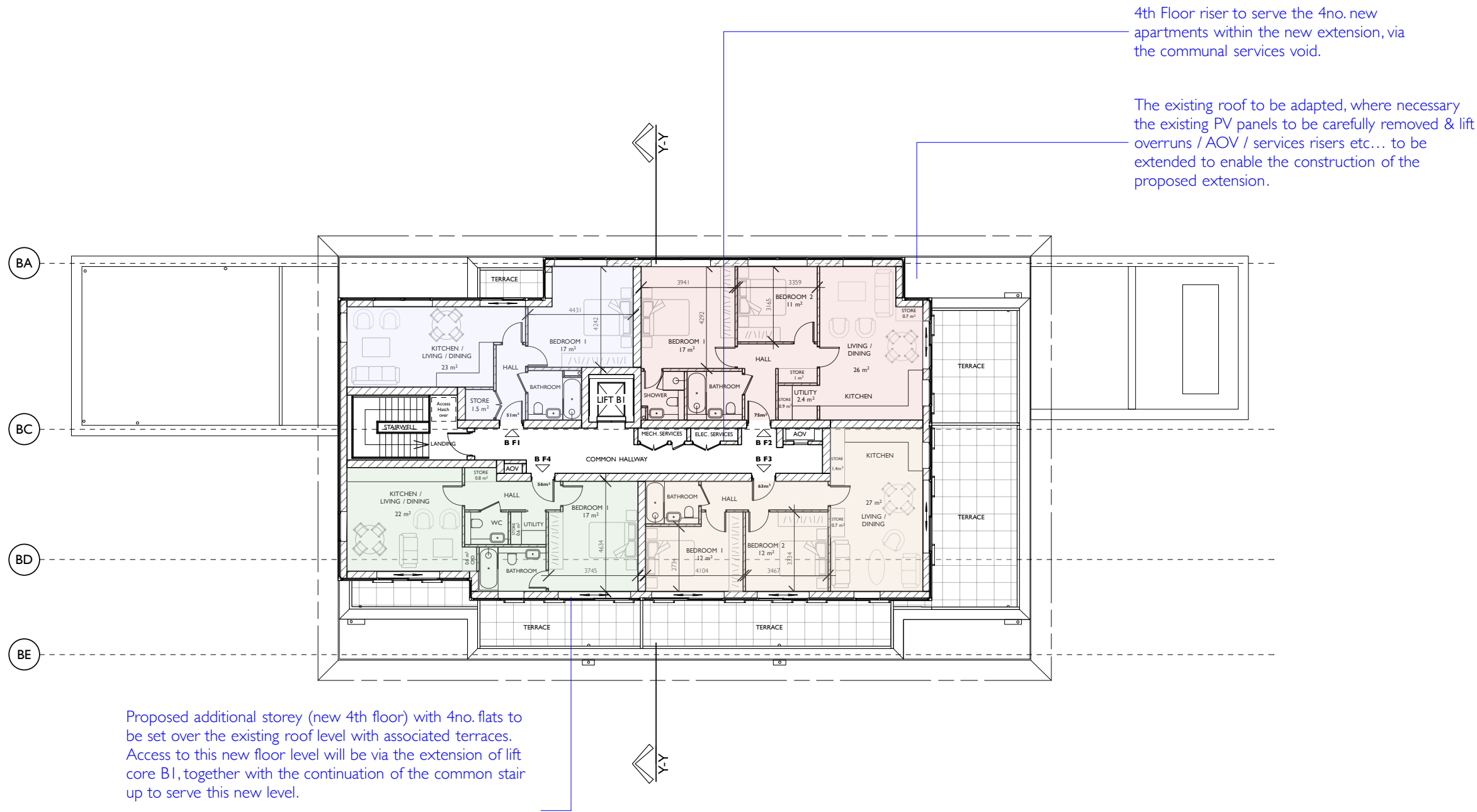
PROPOSED SECTION Z-Z



PROPOSED SECTION X-X



PROPOSED FOURTH FLOOR PLAN
Block B



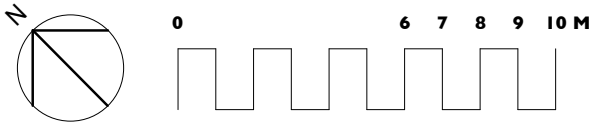
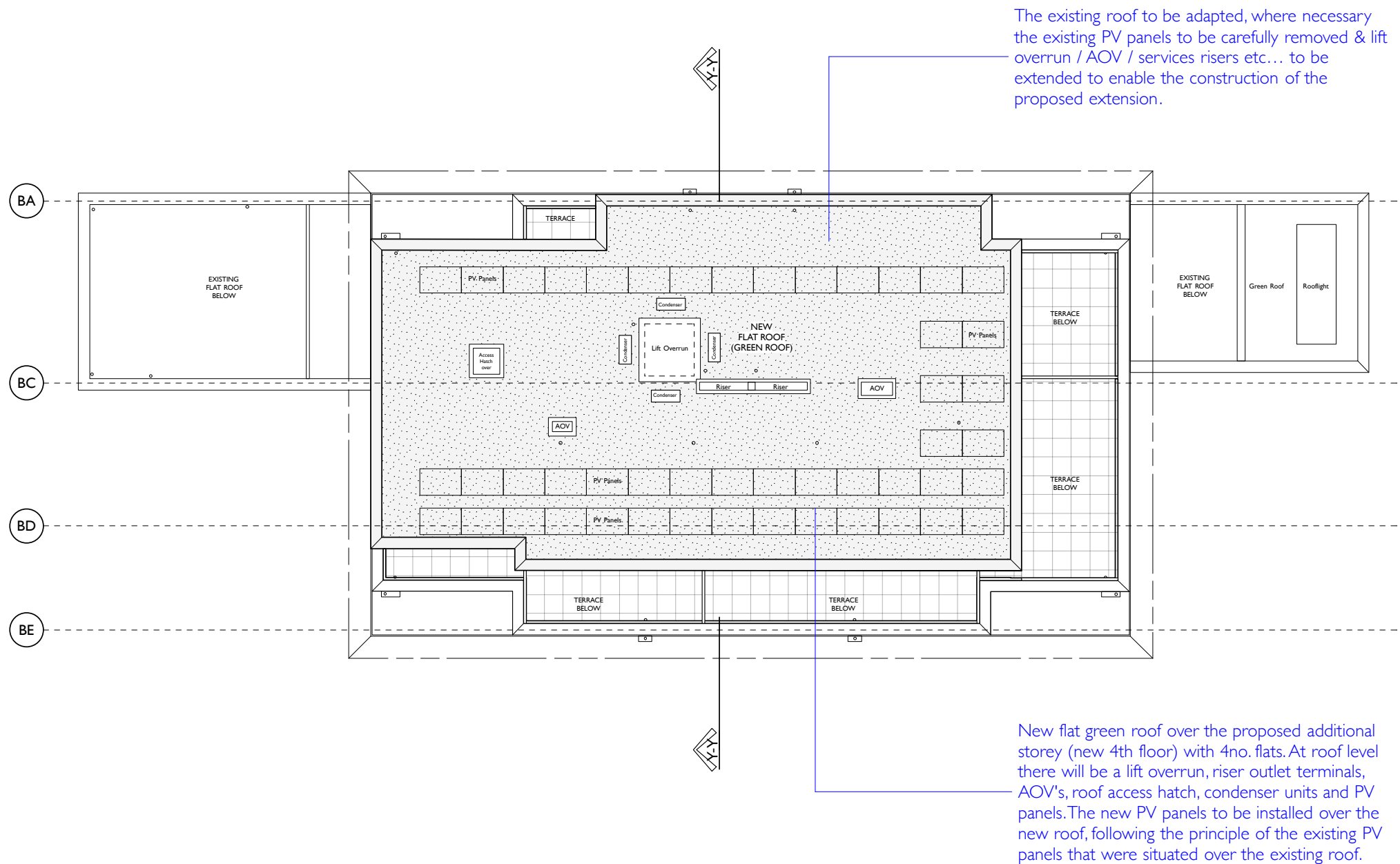
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Rev.	Date.	Description.
A	2205-09	General drawing update.
B	Aug'22	General drawing update & notes added.

Initial.	P L A N N I N G	
JC	Project: Regent's Gate / Guinness Court NW8	Drawing: PROPOSED FOURTH FLOOR PLAN
JC	Scale: 1:200 @ A3	DWG: 1323 - PL - 250
	Date: APRIL 2022	Revision: B

PROPOSED ROOF PLAN
Block B



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Rev.	Date.	Description.
A	Aug'22	General drawing update & notes added.

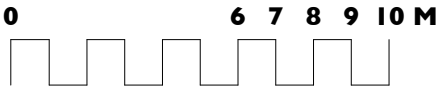
Initial.	P L A N N I N G	
JC	Project: Regent's Gate / Guinness Court NW8	Drawing: PROPOSED ROOF PLAN
	Scale: 1:200 @ A3	DWG: 1323 - PL - 251
	Date: APRIL 2022	Revision: A

PROPOSED NORTH EAST ELEVATION
Block B

The existing roof to be adapted, where necessary the existing PV panels to be carefully removed & lift overruns / AOV / services risers etc... to be extended to enable the construction of the proposed extension.

Proposed additional storey (new 4th floor) with 4no. flats to be set over the existing roof level with associated terraces. Access to this new floor level will be via the extension of lift core BI, together with the continuation of the common stair up to serve this new level.

The proposed materiality will match the existing 3rd floor materiality on the existing building. The proposed extension will comprise of a lightweight structure that is supported over a new transfer deck structure that is positioned over the existing roof level.



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Rev.	Date.
A	Aug'22

Description.
General drawing update & notes added.

Initial.
JC

PLANNING

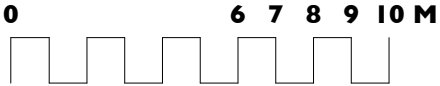
Project: Regent's Gate / Guinness Court NW8	Drawing: PROPOSED NORTH EAST ELEVATION
Scale: 1:200 @ A3	DWG: 1323 - PL - 260
Date: APRIL 2022	Revision: A


PROPOSED SOUTH WEST ELEVATION
Block B

Proposed additional storey (new 4th floor) with 4no. flats to be set over the existing roof level with associated terraces. Access to this new floor level will be via the extension of lift core BI, together with the continuation of the common stair up to serve this new level.

The proposed materiality will match the existing 3rd floor materiality on the existing building. The proposed extension will comprise of a lightweight structure that is supported over a new transfer deck structure that is positioned over the existing roof level.

The existing roof to be adapted, where necessary the existing PV panels to be carefully removed & lift overruns / AOV / services risers etc... to be extended to enable the construction of the proposed extension.

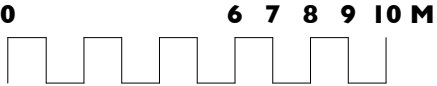
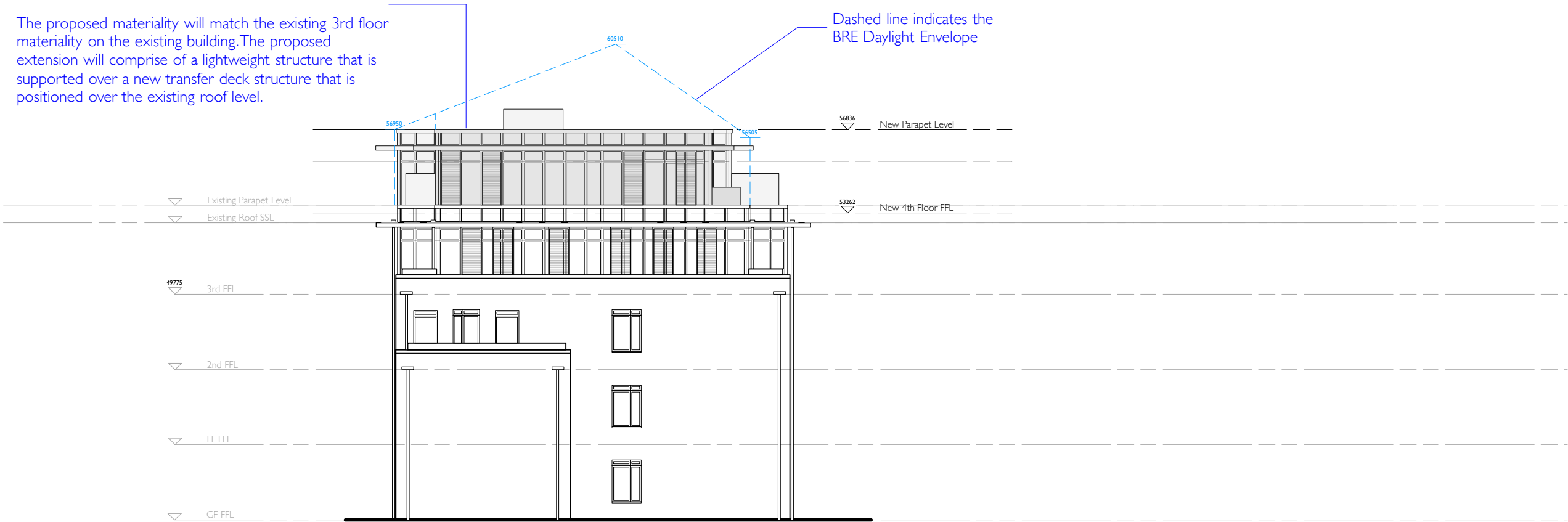


	Unit 25, BASEPOINT EVESHAM WORCESTERSHIRE WR11 1GP t : 020 7328 2576 Email: info@hubarchitects.co.uk	<small>All dimensions are to be checked on site before commencement of works. All sizes and dimensions to any structural elements are indicative only. See structural engineer's drawings for actual sizes/dimensions. Sizes of and dimensions to any service elements are indicative only. See service engineer's drawings for actual sizes/dimensions. This drawing to be read in conjunction with all relevant Architect's drawings, specifications and other consultants' information.</small>	Rev. A	Date. Aug'22	Description. General drawing update & notes added.	Initial. JC	P L A N N I N G	
							Project: Regent's Gate / Guinness Court NW8	Drawing: PROPOSED SOUTH WEST ELEVATION
							Scale: 1:200 @ A3	DWG: I 323 - PL - 261
							Date: APRIL 2022	Revision: A

PROPOSED NORTH WEST ELEVATION
Block B

Proposed additional storey (new 4th floor) with 4no. flats to be set over the existing roof level with associated terraces. Access to this new floor level will be via the extension of lift core BI, together with the continuation of the common stair up to serve this new level.

The proposed materiality will match the existing 3rd floor materiality on the existing building. The proposed extension will comprise of a lightweight structure that is supported over a new transfer deck structure that is positioned over the existing roof level.



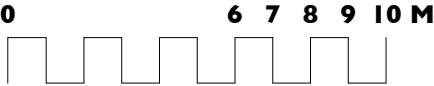
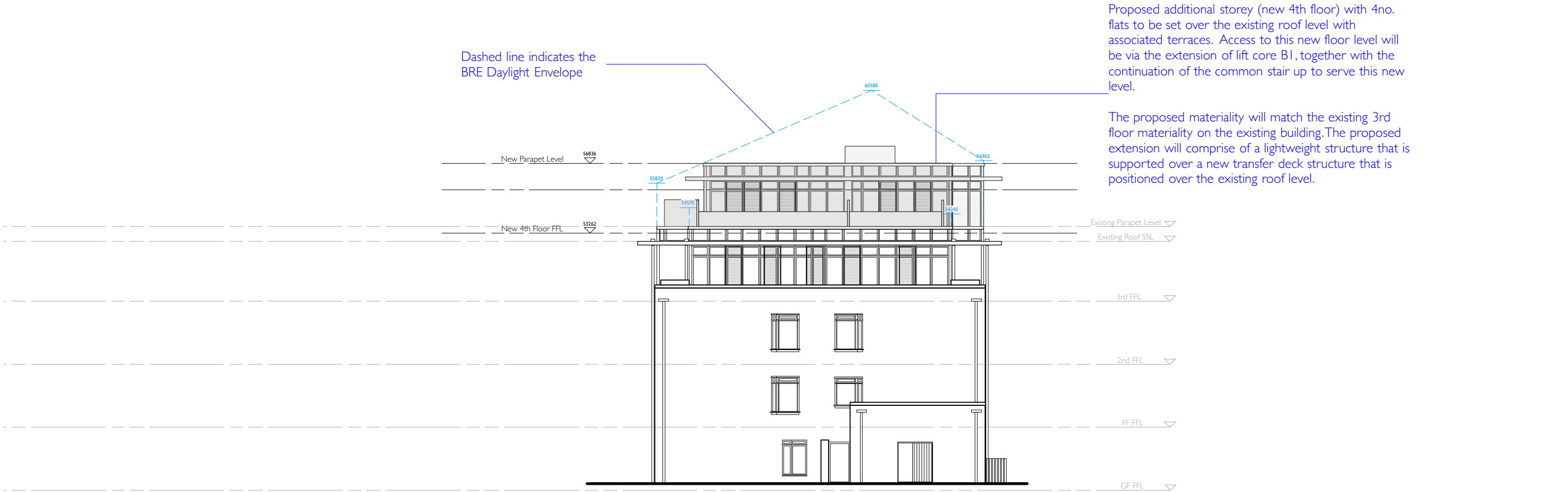
Unit 25, BASEPOINT
EVESHAM
WORCESTERSHIRE
WR11 1GP
t : 020 7328 2576
Email: info@hubarchitects.co.uk

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See service engineer's drawings for actual sizes/dimensions.
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Rev.	Date.	Description.
A	Aug'22	General drawing update & notes added.

PLANNING	
Project: Regent's Gate / Guinness Court NW8	Drawing: PROPOSED NORTH WEST ELEVATION
Scale: 1:200 @ A3	DWG: 1323 - PL - 262
Date: APRIL 2022	Revision: A

PROPOSED SOUTH EAST ELEVATION
Block B



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Rev.	Date.
A	Aug'22

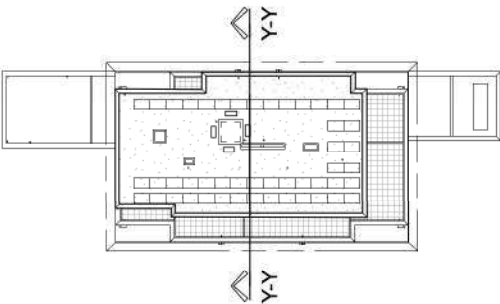
Description.
General drawing update & notes added.

Initial.
JC

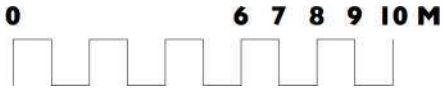
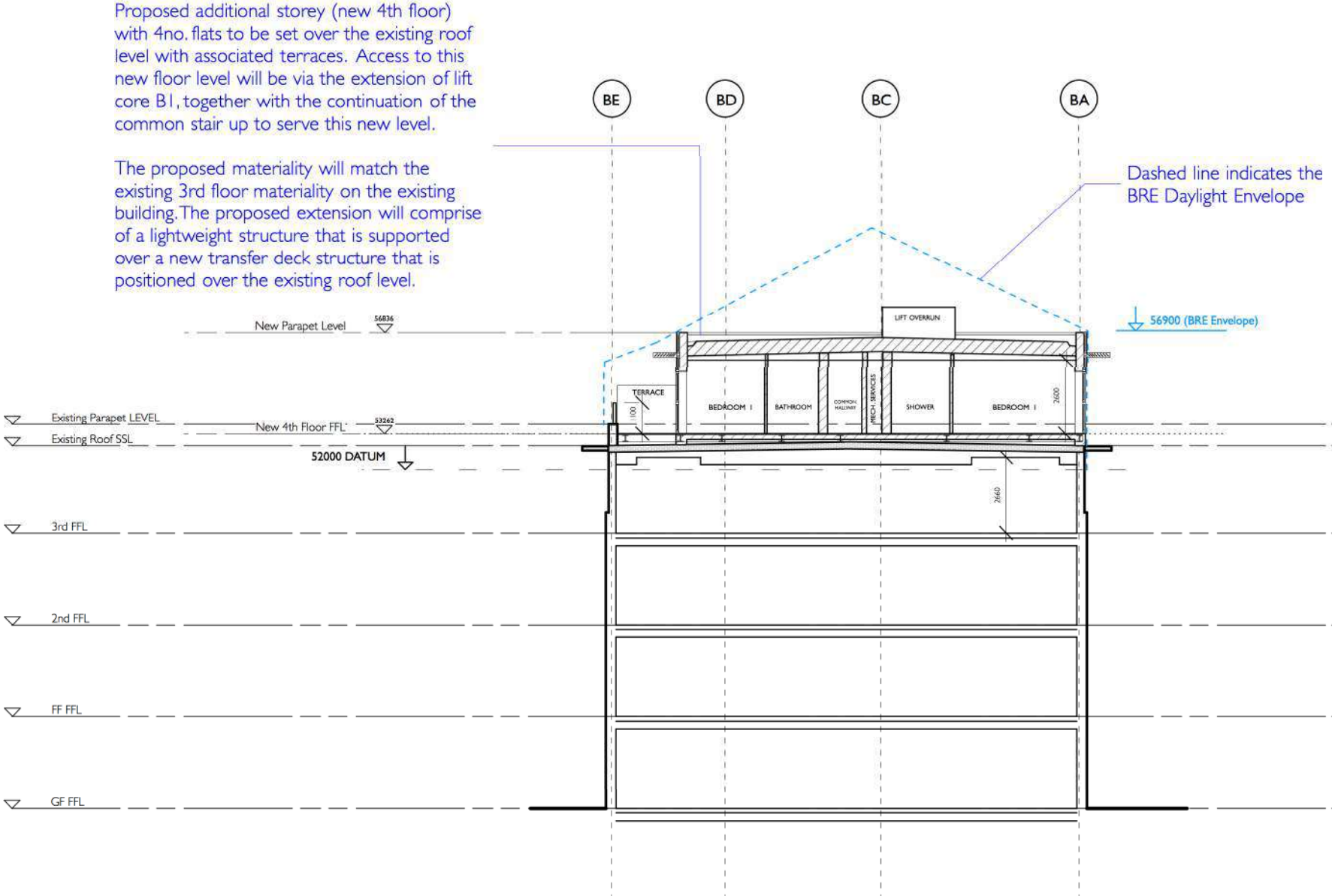
PLANNING

Project:	Regent's Gate / Guinness Court NW8	Drawing:	PROPOSED SOUTH EAST ELEVATION
Scale:	1:200 @A3	DWG:	1323 - PL - 263
Date:	APRIL 2022	Revision:	A

PROPOSED SECTION Y-Y
Block B



KEY PLAN
n.t.s



Unit 25, BASEPOINT
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See service engineer's drawings for actual sizes/dimensions.
This drawing to be read in conjunction with all relevant Architect's drawings, specifications and other consultants' information.

Rev.

Date.

Description.

Initial.

PLANNING

Project: Regent's Gate / Guinness Court NW8 Drawing: PROPOSED SECTION Y-Y

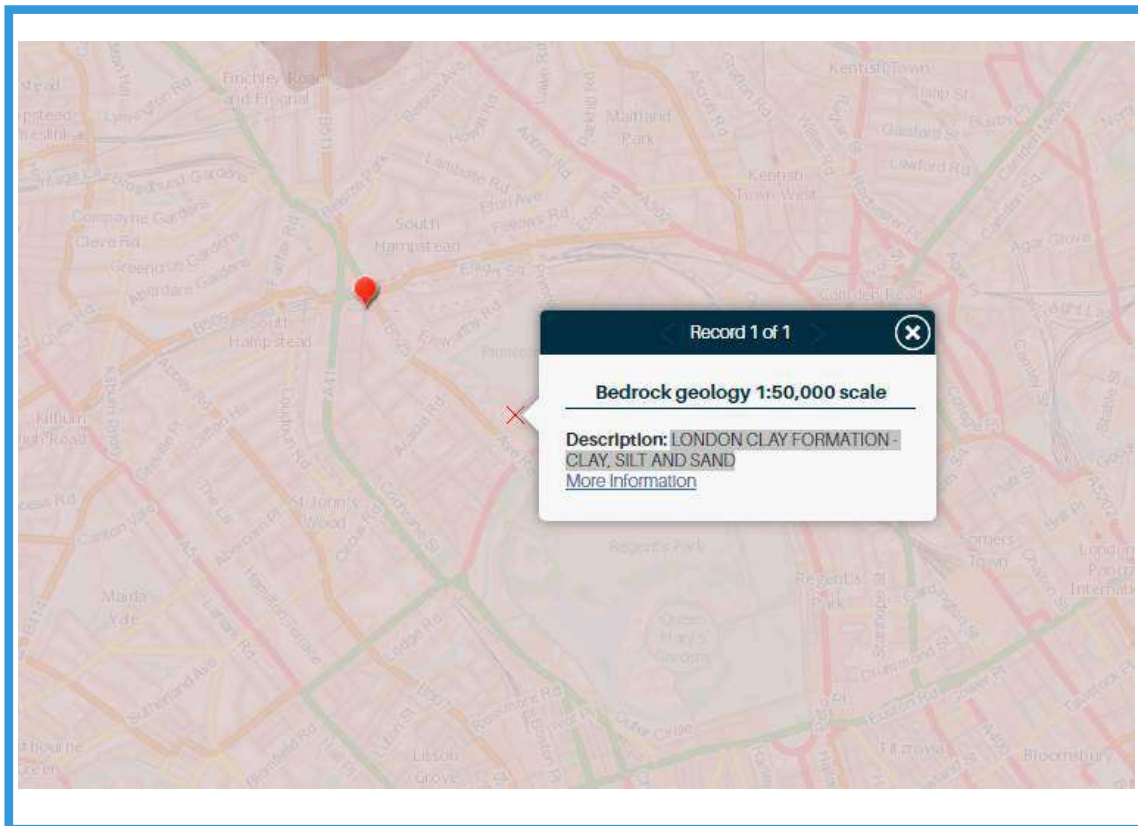
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Date: AUG 2022 Revision: /

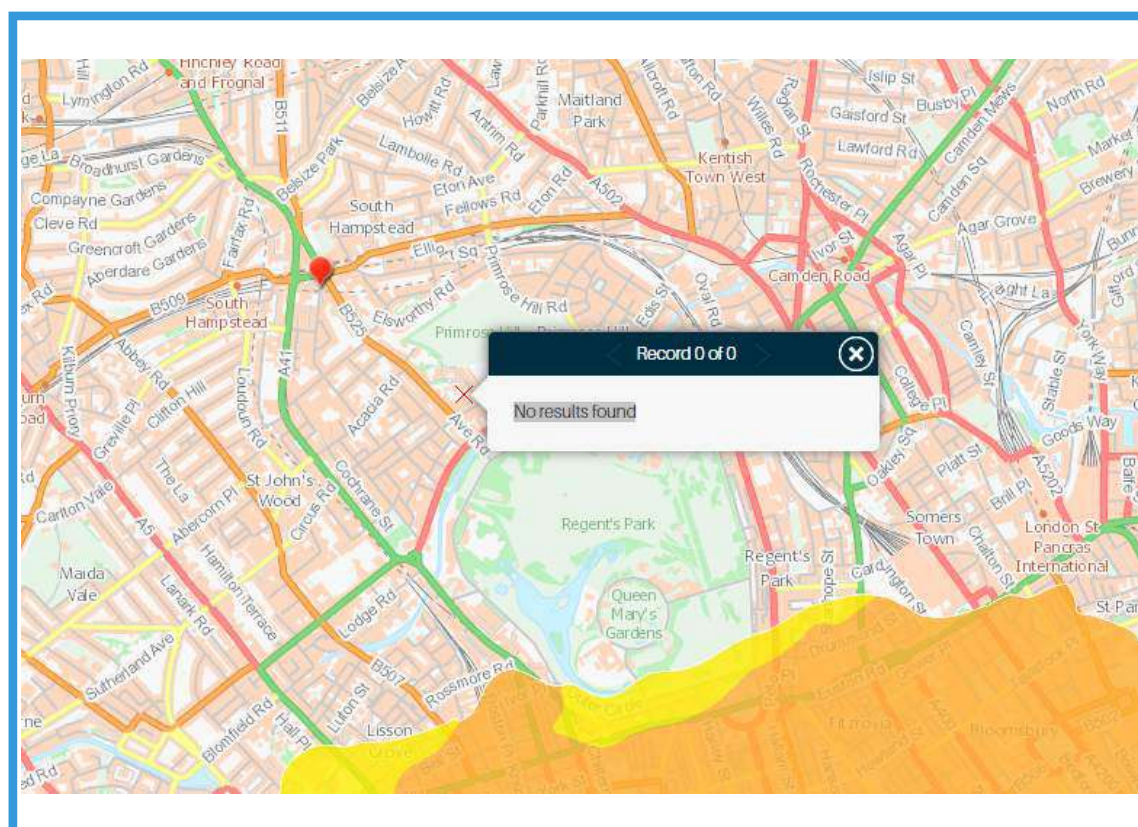
Appendix C



GEOLOGY - BEDROCK - LONDON CLAY FORMATION - CLAY, SILT AND SAND

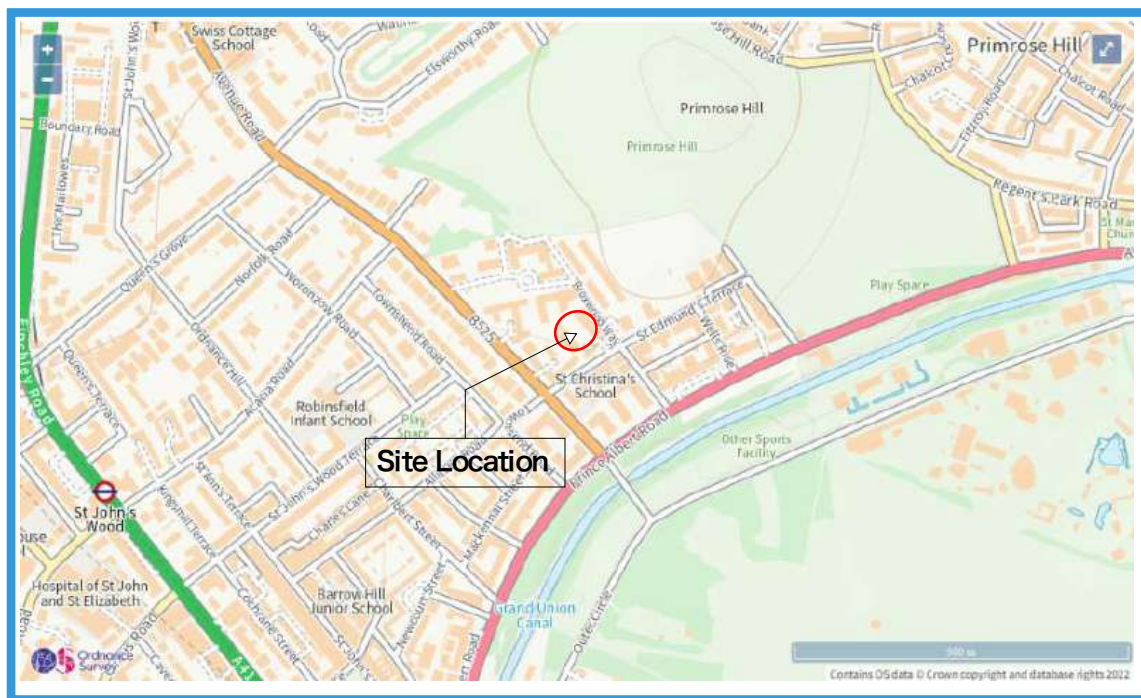
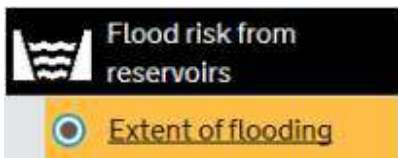
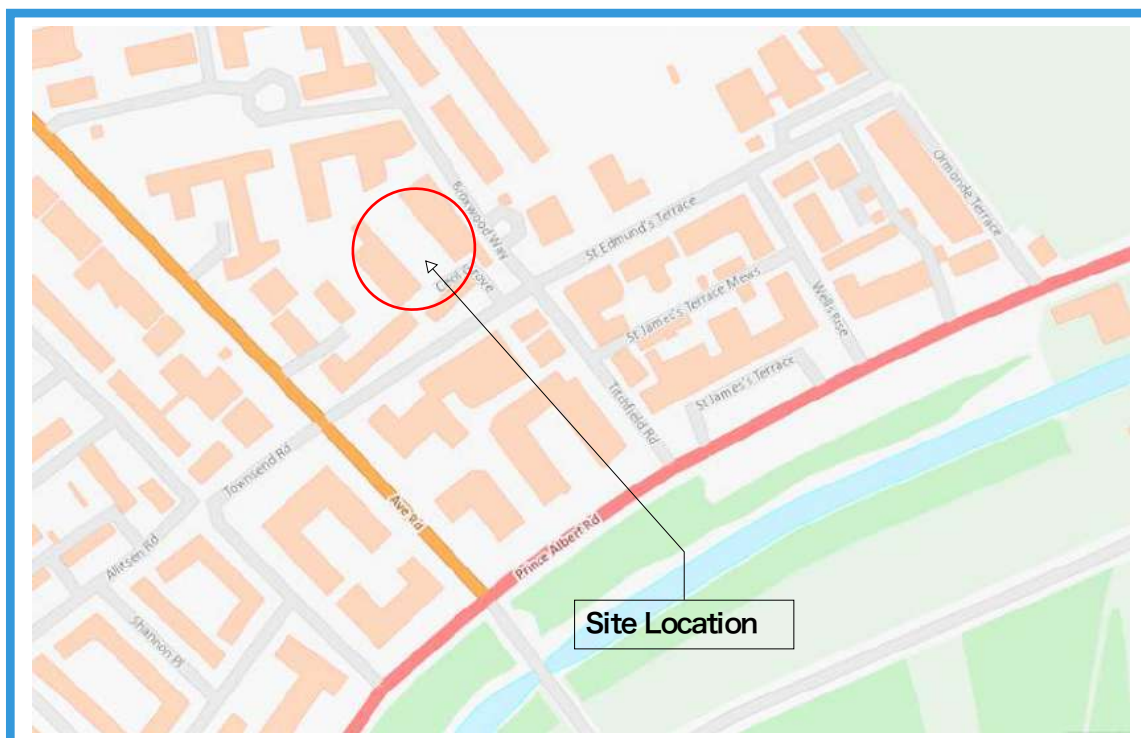


GEOLOGY - SUPERFICIAL DEPOSITS - No results found







Main River Map



SITE SURFACE WATER FLOOD RISK

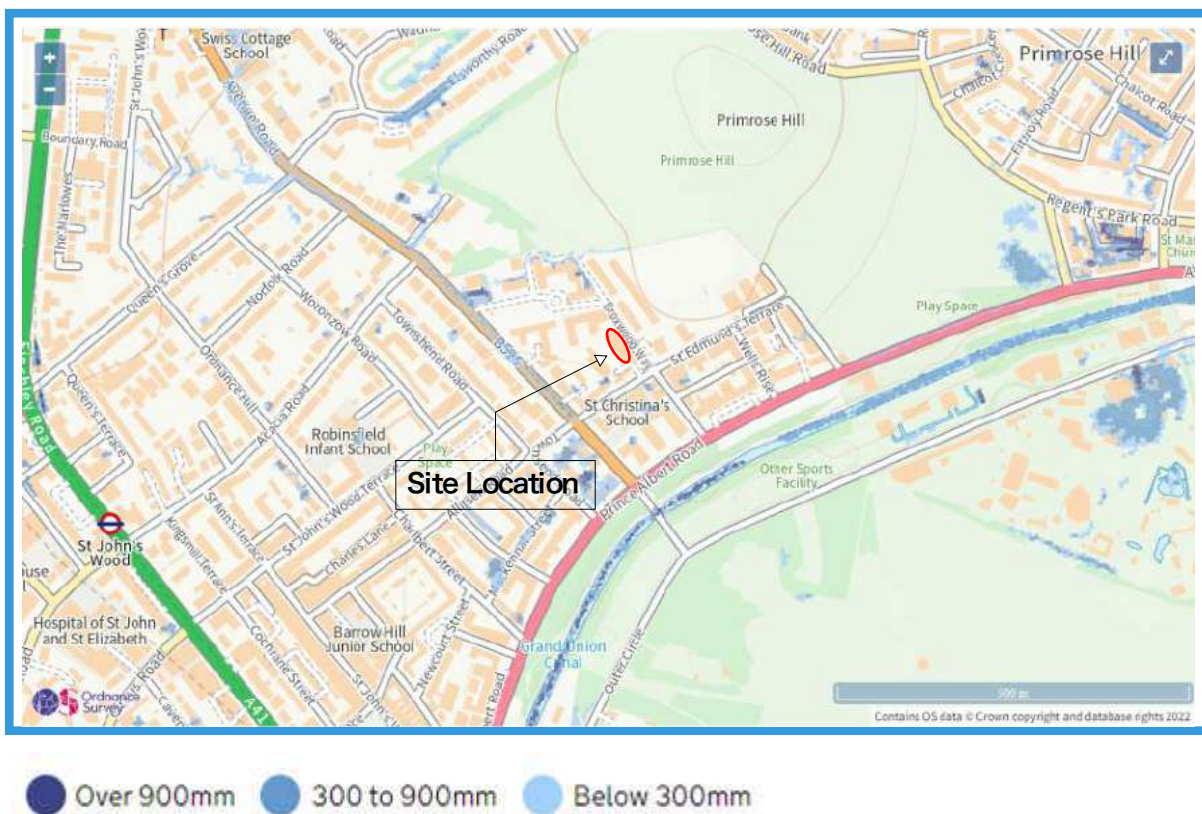


Flood risk from surface water



Extent of flooding

Low risk means that each year this area has a chance of flooding of between 0.1% and 1%. Flooding from surface water is difficult to predict as rainfall location and volume are difficult to forecast. In addition, local features can greatly affect the chance and severity of flooding.



MAGIC RESULTS

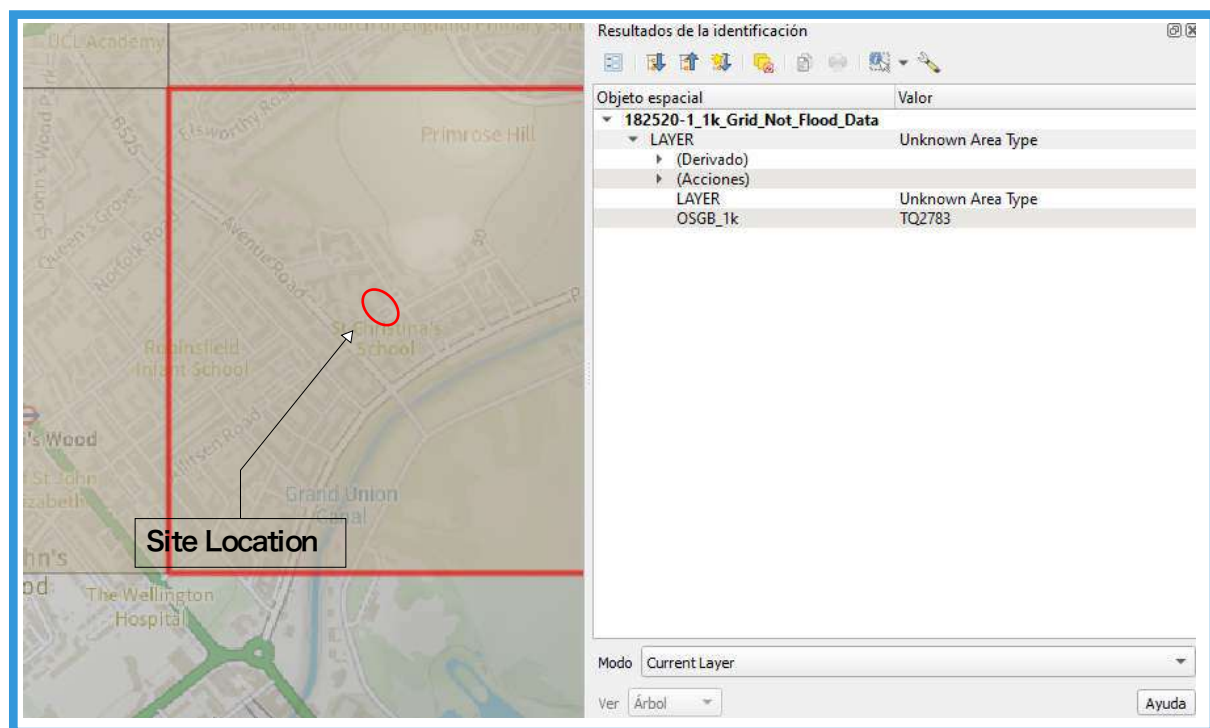


Site Check Results	
Site Check Report Report generated on Fri Feb 18 2022	
You selected the location: Centroid Grid Ref: TQ27438357	
The following features have been found in your search area:	
Source Protection Zones merged (England)	
Zone	2
Zone	1
Aquifer Designation Map (Bedrock) (England)	
Typology	Unproductive
Aquifer Designation Map (Superficial Drift) (England)	
No Features found	
OK Cancel Export to CSV Print	

SITE SEWER FLOODING




GROUND WATER FLOOD RISK

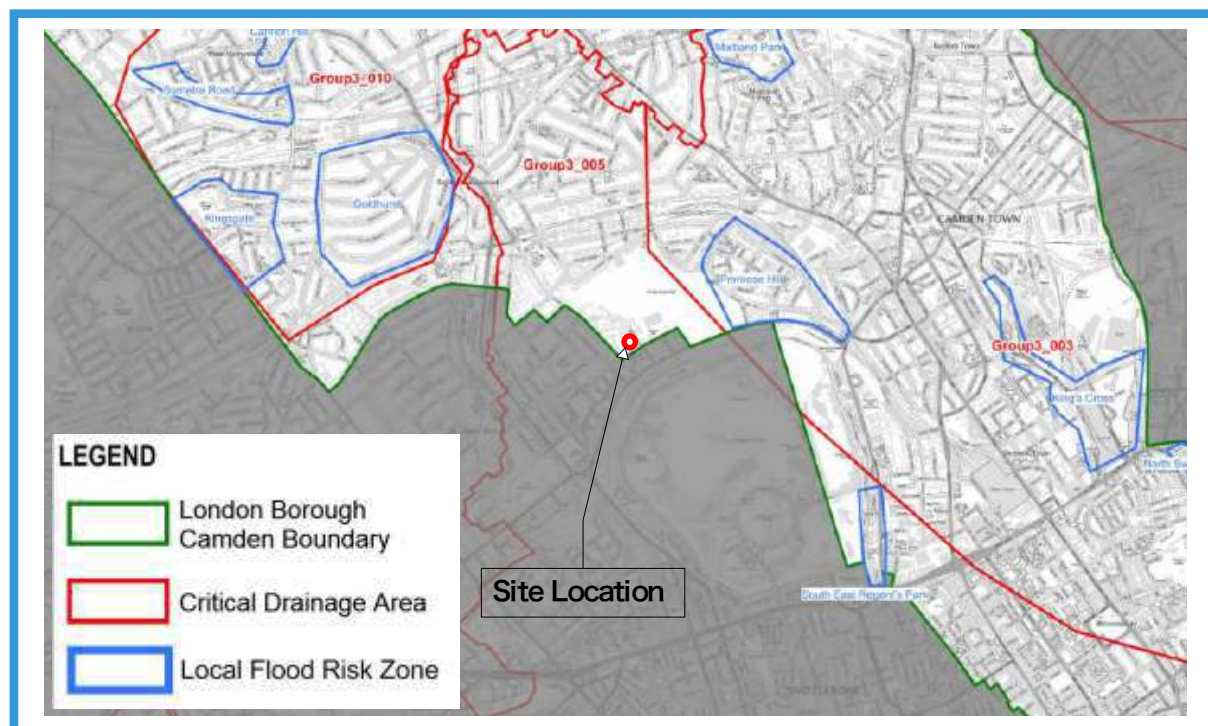


FLOOD WARNING AREA

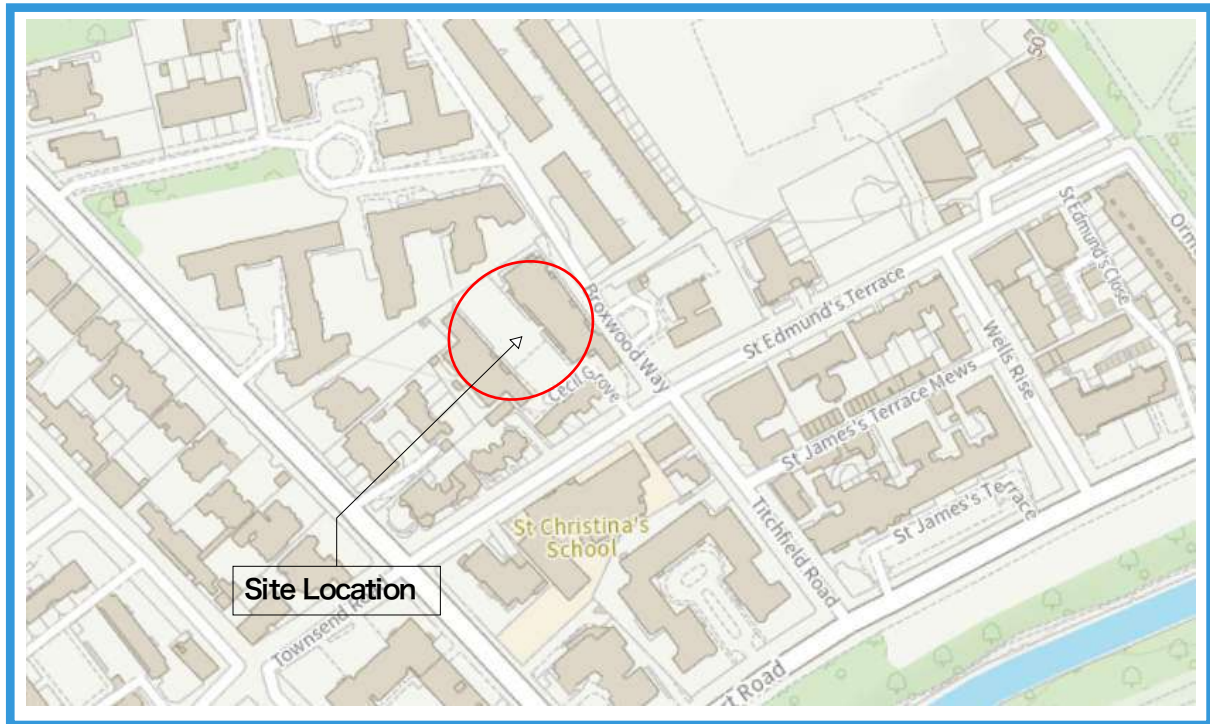


 Flood Warning areas

CRITICAL DRAINAGE AREA

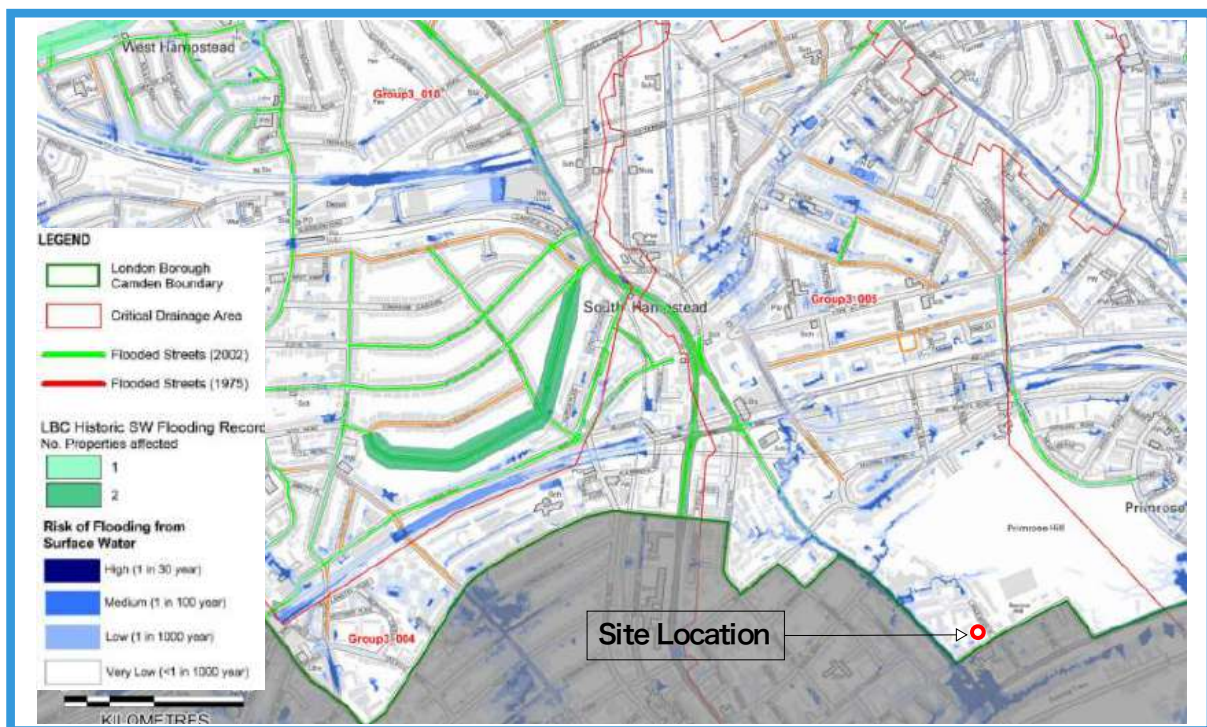


HISTORIC FLOOD MAP



 Historic Flood Outline

SURFACE WATER FLOODING



Flood map for planning

Your reference
NW8 6HY

Location (easting/northing)
527434/183578

Created
18 Feb 2022 15:04

Your selected location is in flood zone 1, an area with a low probability of flooding.

This means:

- you don't need to do a flood risk assessment if your development is smaller than 1 hectare and not affected by other sources of flooding
- you may need to do a flood risk assessment if your development is larger than 1 hectare or affected by other sources of flooding or in an area with critical drainage problems

Notes

The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

Flood risk data is covered by the Open Government Licence which sets out the terms and conditions for using government data. <https://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>

Use of the address and mapping data is subject to Ordnance Survey public viewing terms under Crown copyright and database rights 2021 OS 100024198. <https://flood-map-for-planning.service.gov.uk/os-terms>









Flood map for planning

Your reference
NW8 6HY

Location (easting/northing)
527434/183578

Scale
1:2500

Created
18 Feb 2022 15:04

-  Selected point
-  Flood zone 3
-  Flood zone 3: areas benefiting from flood defences
-  Flood zone 2
-  Flood zone 1
-  Flood defence
-  Main river
-  Flood storage area

0 20 40 60m

Page 2 of 2

