

Basement Flat, 31 Buckland Crescent, NW3 5DJ



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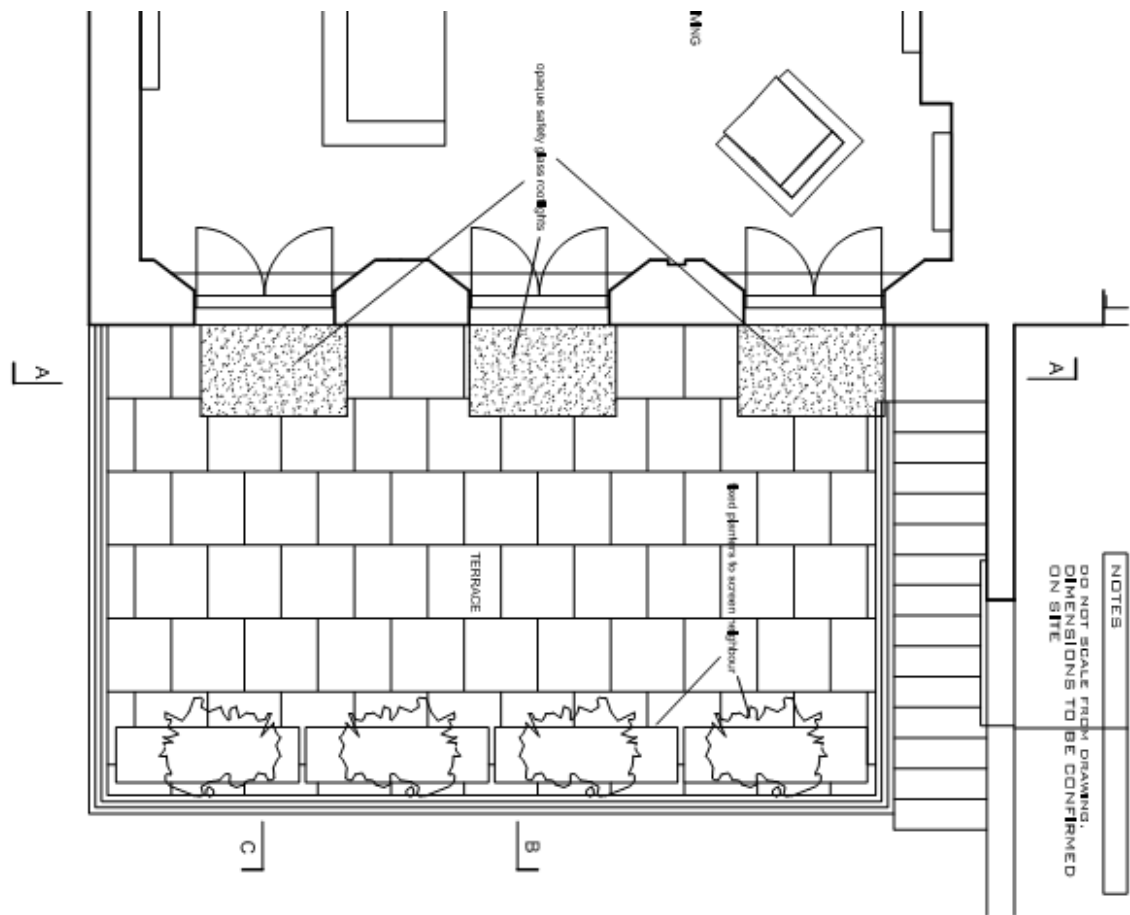
Photo 1: Aerial view of rear of 31 Buckland Crescent (above)



Photo 2: Close-up aerial view of rear of 31 Buckland Crescent (above)



Photo 3: Photograph of existing rear façade of 31 Buckland Crescent (above)



Drawing 1: Proposed terrace on top of new single storey extension with fixed planters (above)



Delegated Report		Analysis sheet	Expiry Date:	08/07/2022
(Members Briefing)		N/A / attached	Consultation Expiry Date:	14/08/2022
Officer			Application Number(s)	
Miriam Baptist			2022/2068/P	
Application Address			Drawing Numbers	
31 Buckland Crescent London NW3 5DJ			See Draft Decision Notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Erection of lower ground floor rear extension following demolition of existing conservatory, with roof terrace atop at upper ground floor level.				
Recommendation(s):	Grant planning permission			
Application Type:	Full Planning Application			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	01	No. of objections	00
Summary of consultation responses:	<p>Site notices were displayed from 15/07/2022 until 08/08/2022 and a press notice from 21/07/2022 until 14/08/2022.</p> <p>No objections were received following public consultation.</p> <p>One adjoining neighbour commented that they support the application if the planters to the end of the terrace are retained as an ongoing condition of the planning permission.</p>					
Belsize CAAC comments:	<p>The Belsize CAAC object on the following grounds:</p> <ul style="list-style-type: none"> • A bland new rear extension which extends too far into the garden and its design is not an improvement on the existing conservatory. <p><i>Officer's response: The proposed design is considered appropriate, it would not be visible from the public realm, nor harm the character and appearance of the conservation area. The design would read as a recent addition, distinct from the original building, and its simple design would not detract from the character of the original building. In terms of its projection into the garden, the extension is considered appropriate in scale (being similar in scale to nearby recent approvals) and it is considered to be subordinate in nature to the building. A large area of rear garden would be retained.</i></p>					

Site Description

The property is a four storey semi-detached building in use as two flats on the southern side of Buckland Crescent. The property is not listed but it is a positive contributor within the Belsize Conservation Area. There is an existing 2.5m deep extension at the rear on the lower ground floor and an existing 800mm deep terrace above, which can be accessed by way of existing French windows at rear upper ground floor level and also by way of existing external stairs to and from the communal garden (against the boundary with No. 29 Buckland Crescent).

The surrounding area is primarily residential in nature, the application site being sited within a row of similar 4 storey semi-detached period buildings.

Relevant History

2011/1908/P - Erection of single-storey rear extension with roof terrace above to replace existing conservatory, single-storey side extension and erection of single storey building to end of rear garden in connection with existing flats. – **Granted 20/06/2011.**

Relevant policies

National Planning Policy Framework (2021)

The London Plan (2021)

Camden Local Plan (2017)

- **A1** Managing the impact of development
- **D1** Design
- **D2** Heritage

Camden Planning Guidance (2021)

- CPG Amenity
- CPG Design
- CPG Home Improvements

Belsize Conservation Area Statement (2003)

Assessment

1.0 Proposal

1.1 The application seeks permission for a 4m deep, flat roofed single storey (lower ground floor) rear extension across the rear elevation. The extension would have a terrace on its flat roof. This would be accessible from the existing French windows at upper ground floor level and also from the existing external stairs to/from the garden, next to no. 29 Buckland Crescent.

1.2 The key planning issues are as follows:

- Design & Heritage
- Neighbouring Amenity

1.3 During the course of the application the applicant submitted revised drawings which indicated increased size and fixed planters at the end of the terrace. These were undertaken in the interests of neighbouring amenity – see section 2.2.2 below.

2.0 Assessment

2.1 Design & Heritage

2.1.1 Local Plan policy D1 seeks to achieve high quality design in all developments. Policy D1 requires development to be of the highest architectural and urban design quality, which improves the function, appearance and character of the area. Through Local Plan policy D2, the Council will seek to preserve and, where appropriate, enhance Camden's conservation areas.

2.1.2 The extension would measure 4m in depth, 6.5m wide and it would stand at 3.3m high. A gap would be maintained between the extension and the boundary with no 33. The proposed rear extension is considered to respect the main house in scale, siting and form. It would be subordinate to the existing building and similar in size, scale and siting to several rear extensions granted in the area. Many properties on this side of Buckland Crescent have been extended to the rear at lower ground floor level with more or less full-width extensions, such as (but not limited to) nos. 25, 29, 31, 33, 35, 37, 39 and 41. In terms of scale the single storey rear extension would be subordinate to the host property and neither bulky nor incongruous. It would not be visible from the public realm and therefore is considered to have very limited impact on the significance of the conservation area.

2.1.3 The extension would be of brick to match the host building, with timber glazed doors to the rear elevation and a traditional metal balustrade (to be relocated from its current position on top of the rear conservatory) on top marking the perimeter of the terrace. Three obscurely glazed rooflights to roof terrace would bring light into the extension beneath. The roof terrace will extend 0.7m further than the adjacent terrace of no 29 and a line of fixed, permanent planters are proposed to the edge of the terrace. The design and materials are sympathetic to the architecture and character of the conservation area.

2.1.4 Overall the proposal is not considered to result in any harm to the character or appearance of the host building, street scene or the Belsize Conservation Area, in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

2.1.5 Considerable importance and weight has been attached to the harm and special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

2.2 Neighbouring Amenity

2.2.1 Local plan policy A1 seeks to protect the amenity of residents by ensuring the impact of

development is fully considered. The quality of life of occupiers and neighbours are protected by only granting permission for development that would not harm the amenity of neighbouring residents. This includes factors such as light and privacy.

2.2.2 The size, siting and design of the rear extension is not considered to result in any material harm to neighbour amenity in terms of loss of light, outlook or privacy to the amenity of surrounding properties given its siting and separation distance. The roof terrace will extend 0.7m further than the adjacent terrace of no 29. However, this terrace is already overlooked to a substantial degree from the upper floor windows at the application site and the additional extent of terrace, which would extend beyond the 2.5m deep wall between the two terraces, would not result in any more significant overlooking. The planters which are to be fixed to the rear of the terrace would mitigate against direct sightlines into the rear gardens of the adjoining sites. A condition would be attached to the permission requiring them to be retained in perpetuity prior to use of the terrace. In conclusion, owing to the planters which would be provided and retained to the rear of the terrace and the existing brick boundary wall with No.29, there should be no significantly increased overlooking of any neighbouring rooms or amenity spaces.

2.2.3 Situated at lower ground floor level, behind the boundary walls and planting the proposed extension would not result in any undue loss of light or obscuring of any neighbouring rooms or gardens.

2.2.4 There would be three roof lights on the roof of the extension but these will be obscurely glazed and therefore no direct overlooking into the new lower ground floor kitchen below would result.

3.0 Recommendation

3.1 Grant conditional planning permission.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 12th December 2022, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2022/2068/P
Contact: Miriam Baptist
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Date: 5 December 2022

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DRAFT
DECISION

Dear Sir/Madam

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

31 Buckland Crescent
London
NW3 5DJ

Proposal:

Erection of lower ground floor rear extension following demolition of existing conservatory, with roof terrace atop at upper ground floor level.

Drawing Nos: Streetwise Location Plan, Design and Access Statement 31 Buckland Crescent, BUC-EX-GA-01, BUC-EX-GA-02, BUC-EX-GA-03, BUC-EX-GA-04, BUC-EX-GA-05, BUC-EX-GA-06, BUC-EX-GA-07, BUC-PL-GA-01, BUC-PL-GA-02A, BUC-PL-GA-03, BUC-PL-GA-04, BUC-PL-GA-05, BUC-PL-GA-06, BUC-PL-GA-07, BUC-PL-GA-08.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: Streetwise Location Plan, Design and Access Statement 31 Buckland Crescent, BUC-EX-GA-01, BUC-EX-GA-02, BUC-EX-GA-03, BUC-EX-GA-04, BUC-EX-GA-05, BUC-EX-GA-06, BUC-EX-GA-07, BUC-PL-GA-01, BUC-PL-GA-02A, BUC-PL-GA-03, BUC-PL-GA-04, BUC-PL-GA-05, BUC-PL-GA-06, BUC-PL-GA-07, BUC-PL-GA-08.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 Prior to the use of the upper ground floor terrace, the fixed planters, as shown on the proposed ground floor plan BUC-PL-GA-02A shall be installed. The fixed planters shall be permanently retained and maintained thereafter.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy A1 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.

- 4 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer

DECISION