

48 Bedford Row

Balcony Repair Design & Access Statement

REVISION 05-12-22

46-48 Bedford Row



1.00 Introduction

This Design & Access Statement has been prepared to support a Planning Application and Listed Building Application for works to repair an existing balcony at 48 Bedford Row, Holborn, London, WC1R 4LR.

46-48 Bedford Row is a trio of Grade II listed Georgian terraces (list entry: 1244583) which terminates Bedford Row where it meets Sandland Street. The terrace forms the north flank of the High Holborn Estate, the estate is also bounded by Brownlow Street to the east, Hand Court to the west and High Holborn to the south.

2.00 Access Statement

Whilst during the designing and planning phases of the project every endeavour was made to make these buildings as accessible as possible, due to the listed nature of all three properties and the tight constraints of the site the project is unable to comply with Part M of the Building Regulations and the Disability Discrimination Act (1995)

3.00 Site Context

The High Holborn Estate is located in the heart of the city centre, close to the City of London, lively theatre district and nearby local amenities. Within 5mins walking distance are the London Underground Stations of Chancery Lane and Holborn. Bus from High Holborn Road link the site further to West End and to the city's financial district.

Nos. 46-48 Bedford Row are located in the Bloomsbury Conservation Area which was first designated by Camden Council in 1968 and subsequently extended. The site forms a city block in this part of London. Buildings of different ages sit together forming elevations on High Holborn to the South, Hand Court to the West, Bedford Row to the North and Brownlow Street to the East.

46-48 Bedford Row

4.00 Existing Buildings

46-48 Bedford Row is a row of four-storey Grade II listed 18th Century townhouse buildings. The buildings were used as offices, however they are unoccupied at the beginning of the project and in significant state of deterioration.

The terrace is predominantly of traditional brick construction with timber windows and doors. All three properties have non-original ground floor extensions to the rear as well as non-original brickwork projections to upper floors which house washbasins and toilets. It is believed that these were added when the buildings were converted from residential to office use. The buildings extend up to third floor and down to one basement level. The roofs to 46 and 47 are double pitched while number 48 has a butterfly roof.

5.00 Existing Balcony

The existing balcony is at first floor level on 48 Bedford Row and extends across the majority of the facade, in front of 2no. windows.

During an inspection of the building, it has been ascertained by a Structural Engineer (Heyne Tillett Steel) that the balcony is in poor structural condition and at risk of collapse - (see email from HTS).

The balcony is currently propped from underneath to prevent further degradation - see Fig A. Fig B shows the cracks in more detail.



Fig A - Existing balcony at 48 Bedford Row



Fig B - Existing cracks to underside of balcony

46-48 Bedford Row

6.00 Proposals

The proposals are to retain the balcony in place and to structurally strengthen it. This will be achieved by a structural solution proposed by HTS - refer to Appendix A for Structural Engineer's drawings - in summary:

- Install a new steel angle underneath the balcony to support it
- Stitch the existing cracks with stainless steel U-bars

In order to mitigate the visual impact of the required structural work, the following is proposed:

- Cover the new steel angle with a new section of cornice to match that on the adjacent 49 Bedford Row
- Repair balcony finishes, like for like.

Refer to Architect's drawings for further details.

Repairs to the balcony will be localised to the cracks and therefore repairs to existing finishes (including asphalt) will be localised.

7.00 Summary

The existing balcony is in poor structural condition and at risk of collapse.

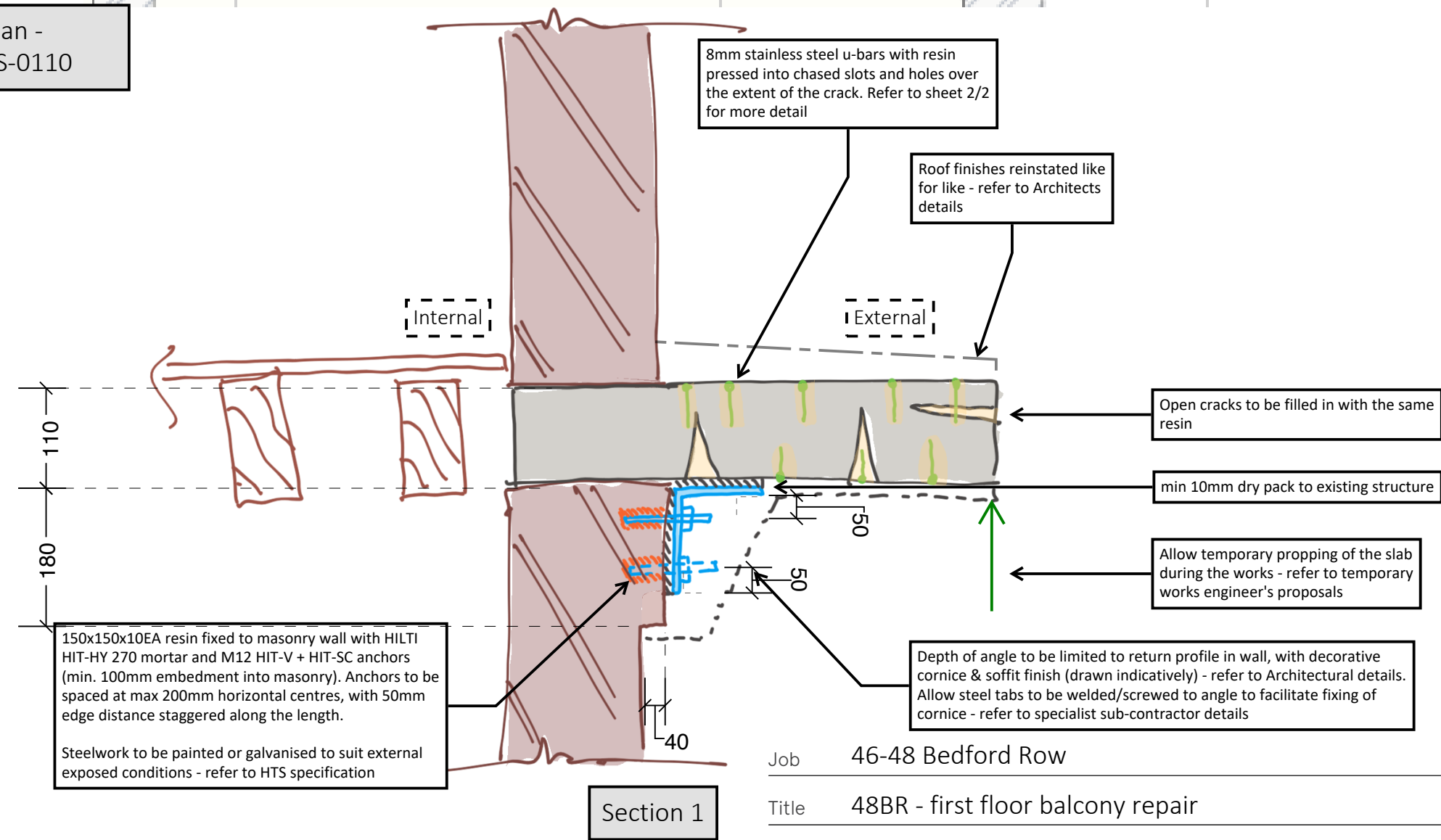
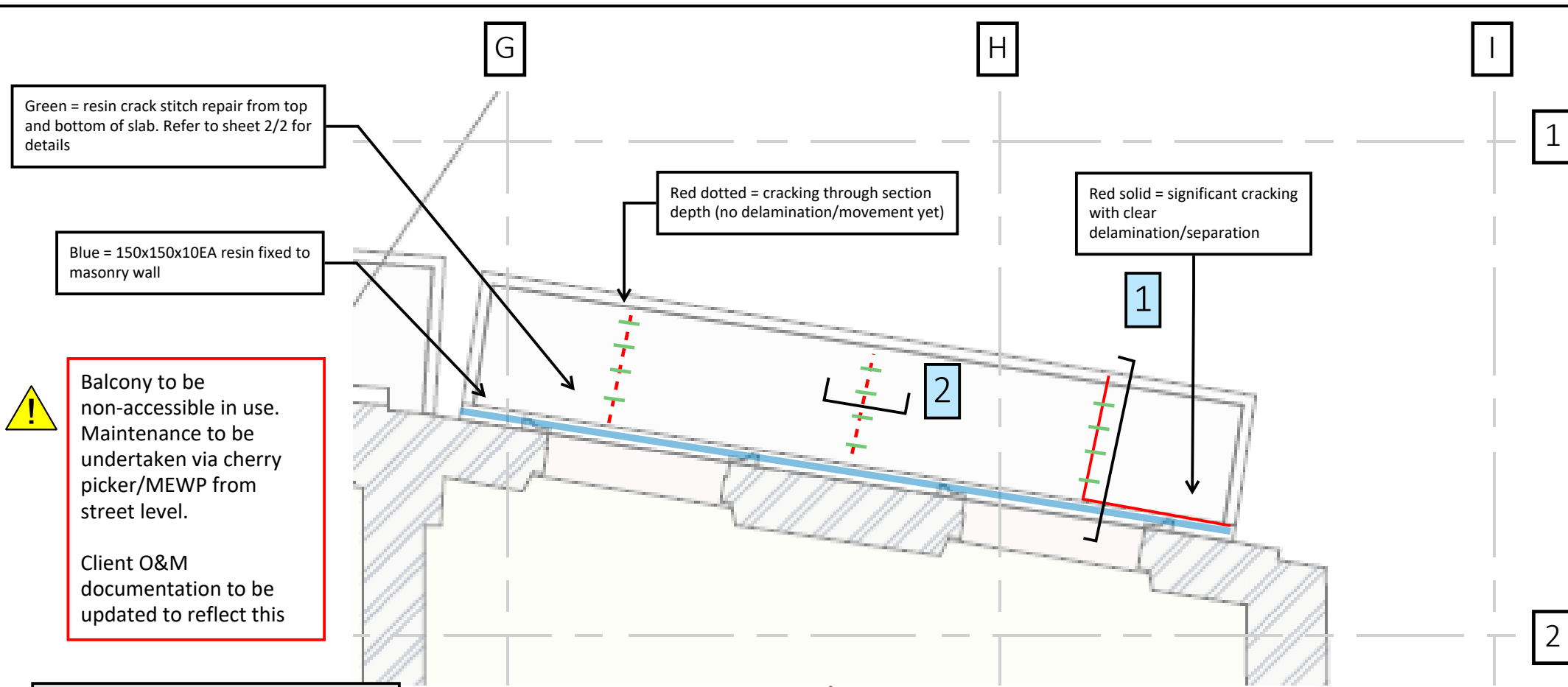
Required works have been identified by the Structural Engineer and have been kept to the minimum necessary to stabilise the balcony.

The nature of the works will retain the maximum of the existing fabric, whilst preventing further damage and therefore risk of losing fabric.

46-48 Bedford Row

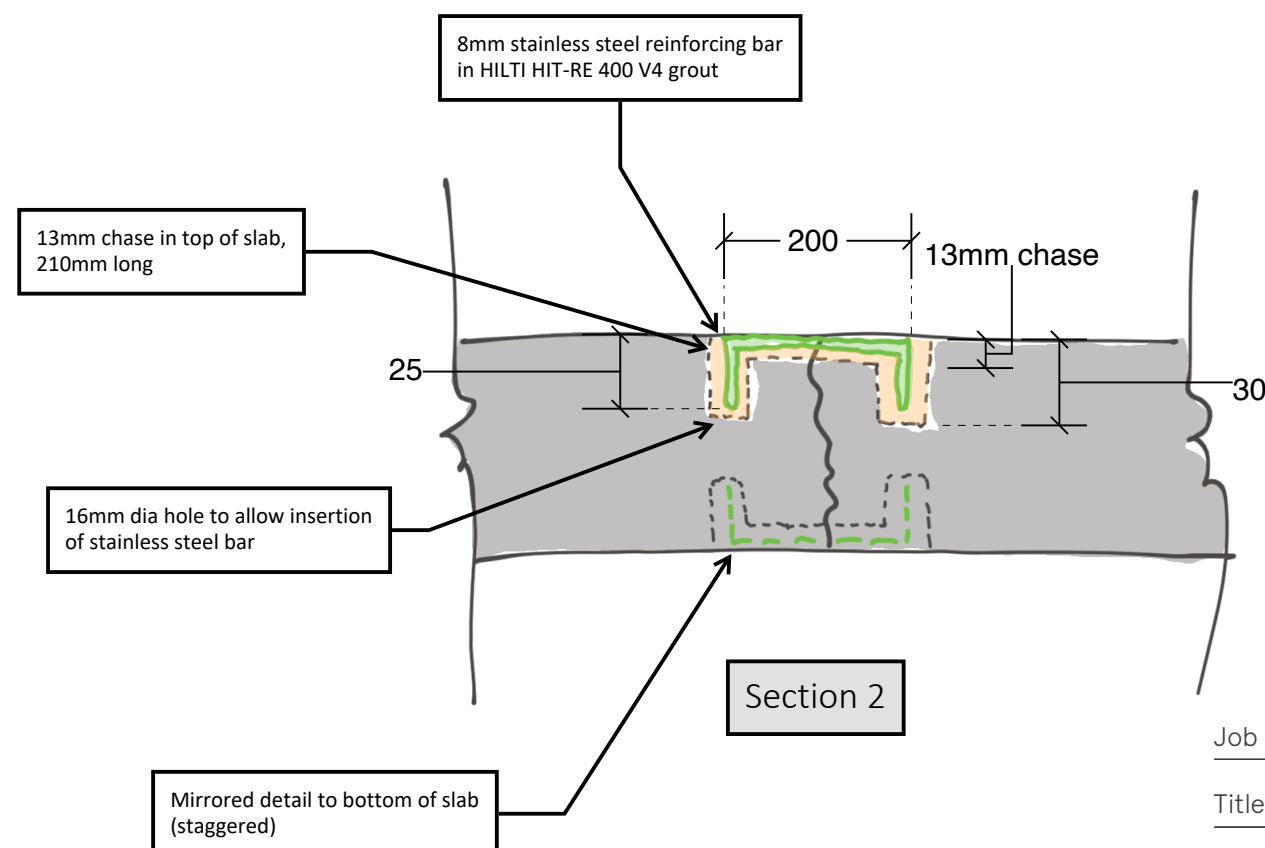
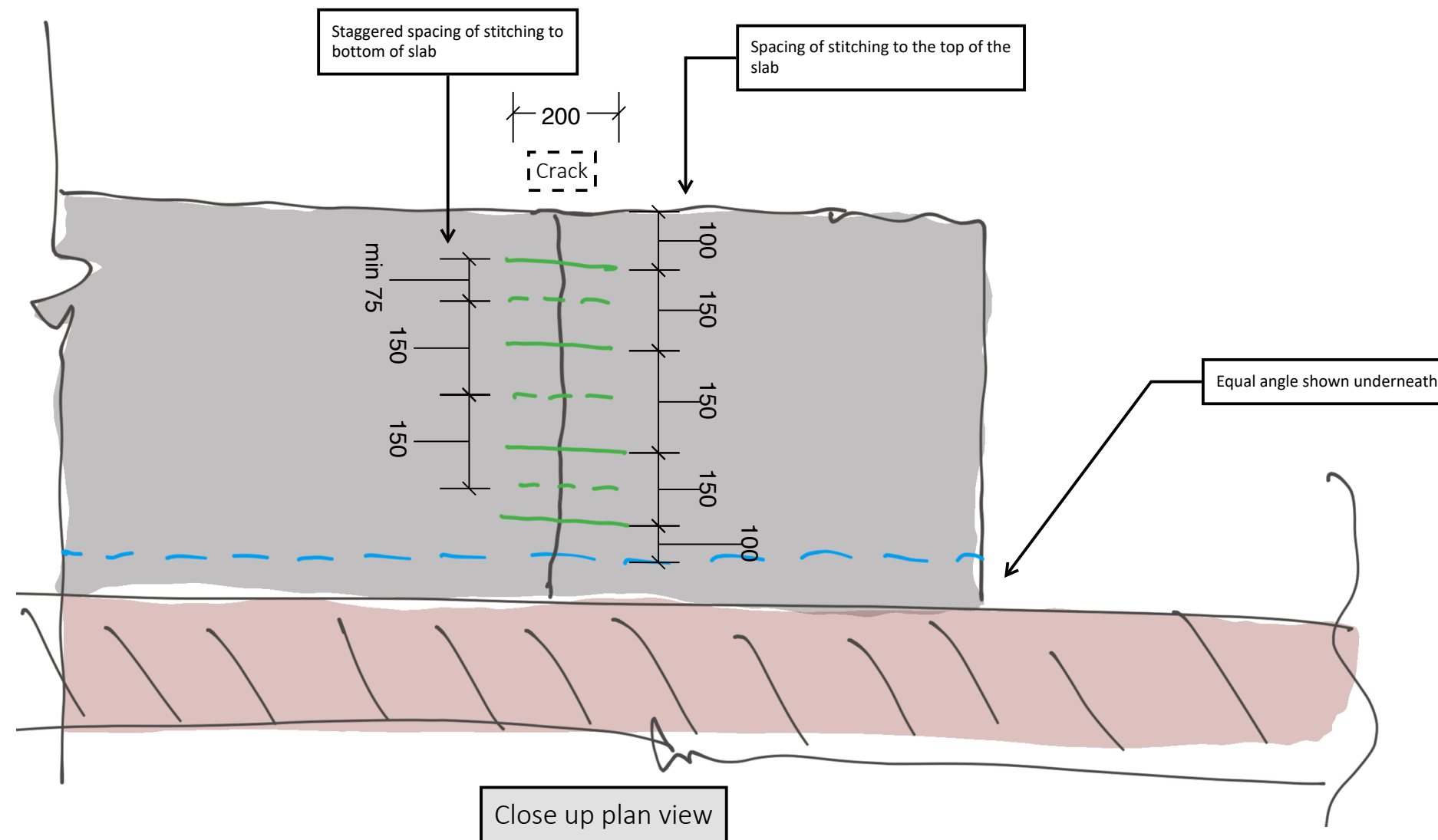
Appendix A

STRUCTURAL ENGINEER'S DRAWINGS



Notes:

- Works to be undertaken by a suitably qualified and experienced contractor in accordance with manufacturer's requirements.
- Temporary works proposals (by others) to be submitted to the Engineer for review and comment prior to the works.
- Refer to Architectural information for finishing details to suit Heritage requirements



Notes:

- Works to be undertaken by a suitably qualified and experienced contractor in accordance with manufacturer's requirements.

- Temporary works proposals (by others) to be submitted to the Engineer for review and comment prior to the works.

- Refer to Architectural information for finishing details to suit Heritage requirements

Indicative sequence of works:

1. Cut 13mm deep, 210mm long chase in top and bottom (staggered) of slab across crack.

2. Drill 16mm dia hole 30mm deep (top or bottom) at each end of the chase.

3. Clean the chase and holes from dust and debris.

4. Fill chase and holes with HILTI HIT-RE 500 V4 grout in accordance with manufacturer's requirements.

5. Push 8mm U-shaped stainless steel bar into chase and ensure pressed well into the grout along the chase, leaving the top of the bar flush with the top of the slab.

6. Allow grout to fully cure in accordance with manufacturer's requirements.

Job 46-48 Bedford Row

Date 26/07/2022

Title 48BR - first floor balcony repair

Eng. KK

Job No. 1508

Sheet SK174-p2/2

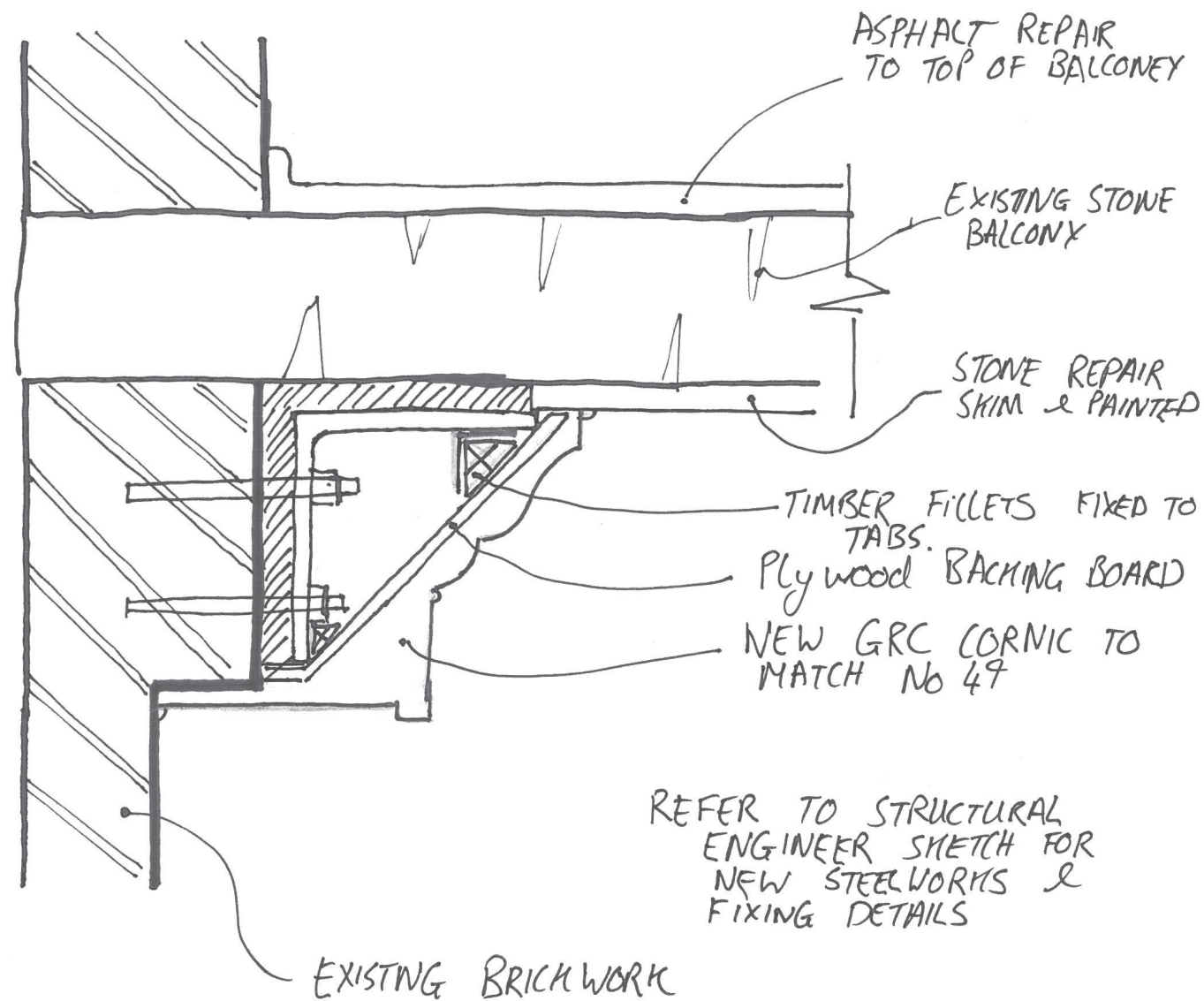
Rev. P3

**HEYNE
TILLET
STEEL**

46-48 Bedford Row

Appendix B

ARCHITECT'S SKETCH



1 SKETCH SECTION - New Cornic to hide structutal works.
NTS

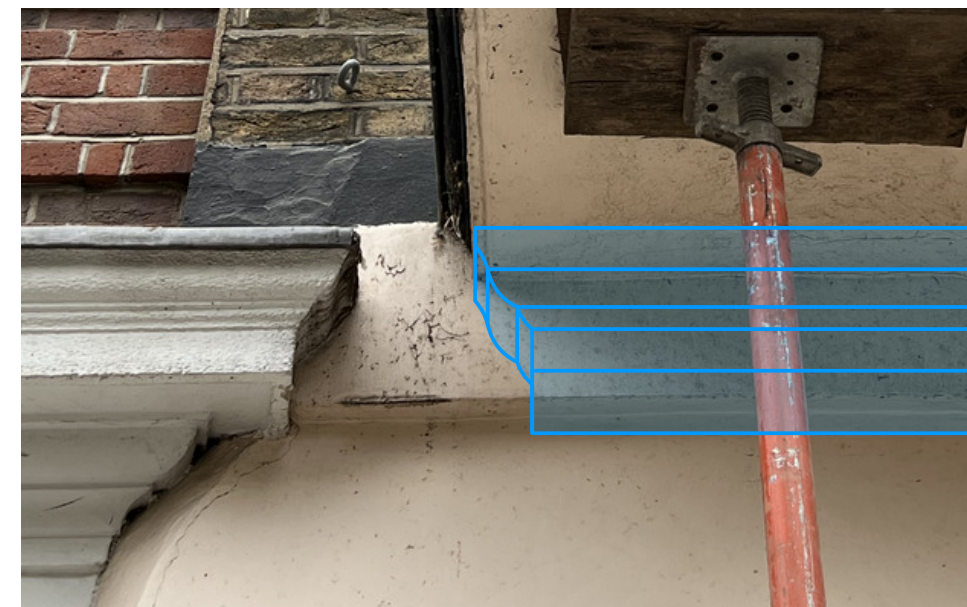
Notes:

- Details to be developed further with specialist subcontractors.
- Works to be undertaken by a suitably qualified and experienced contractor in accordance with manufacturer's requirements.
- Refer to Structural Engineers Sketch 1508_SK174-p1/2 for structural details in how to support existing failing stone balcony.



2 No.48 Underside of Balcony
NTS

New Cornice to run lenght of balcony and return in to building at ends.



3 No.49 Cornice meeting No.48
NTS

GENERAL NOTES.

All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.

Sizes of and dimensions to any structural elements are indicative only. See structural engineers drawings for actual sizes / dimensions.

Sizes of and dimensions to any service elements are indicative only. See service engineers drawings for actual sizes and dimensions.

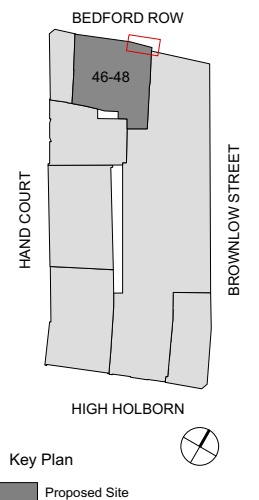
This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.

All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.

Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect

DO NOT SCALE FROM THIS DRAWING.

NOTES.



Key Plan

Proposed Site

SK1 Sketch Issue for Conservation Officer 25/07/2022

REVISION DATE

Buckley Gray Yeoman

Studio 4.04 The Tea Building 56 Shoreditch High Street
London E1 6JJ T: 020 7033 9913 F: 020 7033 9914

CLIENT
SRG Holborn Limited

PROJECT
46-48 Bedford Row

DRAWING
SKETCH
No.48 New Cornice to hide structure

SCALE
NTS NTS

DATE
July 2022

DRAWN BY
APB

DWG No.
1092_SK-045

REVISION
SK1

DRAWING STATUS
FOR INFORMATION

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46-48 Bedford Row

Appendix B

PRE-APPLICATION DISCUSSIONS

Subject: RE: 48 Bedford Row - Structural defective front facade balcony.
Date: Wednesday, 17 August 2022 at 15:55:40 British Summer Time
From: Rose Todd
To: 'Khizer Khan', Alexander Buck
CC: Simon Rooke, David Thomson, Nick Wharton
Attachments: image003.png, image005.png

Good afternoon Khizer

Thank you for the update on the extent of the 'repair'.

I understand that intervention to stabilise the balcony is clearly necessary here. Can I please ask that whatever structural solution is decided upon is well documented within the listed building application so that consent can be granted without need for further clarification or the need for conditions.

Kind regards

Rose Todd DPhil MSc BSc(Hons) IHBC
Senior Planner (Conservation)
Supporting Communities
London Borough of Camden

Telephone: 020 7974 3109

Web: www.camden.gov.uk

5 Pancras Square
London N1C 4AG

From: Khizer Khan <kkhan@hts.uk.com>
Sent: 17 August 2022 11:31
To: Rose Todd <Rose.Todd@camden.gov.uk>; 'Alexander Buck' <Alexander.Buck@bgy.co.uk>
Cc: Simon Rooke <simon.rooke@cyrilleonard.co.uk>; David Thomson <David.thomson@cyrilleonard.co.uk>; Nick Wharton <Nick.Wharton@bgy.co.uk>
Subject: RE: 48 Bedford Row - Structural defective front facade balcony.

[EXTERNAL EMAIL] Beware – This email originated outside Camden Council and may be malicious. Please take extra care with any links, attachments, requests to take action or for you to verify your password etc. Please note there have been reports of emails purporting to be about Covid 19 being used as cover for scams so extra vigilance is required.

Morning Rose,

Just stepping in regarding structural repairs. The stitching is suitable for some of the minor cracking further along the balcony which has been specified on the sketch provided.

However, there is one end that has significant separation and cracking parallel to the balcony (i.e., total loss of support) and therefore would be beyond a crack stitch repair at this stage. We have therefore provided an angle to reinstate the support.

Initially we wanted to put the angle only over the required extent, however as a team we felt a

continuous angle would read better architecturally plus allow for support to the cornice.

Hope this clarifies. Similar to the process undertaken for the staircase, would a teams meeting or a meeting on site be beneficial to run through the proposals? Let us know your thoughts.

Kind Regards,

Khizer Khan
Associate

HEYNE TILLET STEEL

16 Chart St, T: 020 7870 8050
London, N1 6DD M: 077 7586 4286
hts.uk.com

Heyne Tillett Steel Ltd is a Private Limited Company registered in England and Wales No. 7155581.
Registered Office: 16 Chart Street, London N1 6DD.

From: Rose Todd <Rose.Todd@camden.gov.uk>

Sent: 16 August 2022 11:30

To: 'Alexander Buck' <Alexander.Buck@bgy.co.uk>

Cc: Simon Rooke <simon.rooke@cyrilleonard.co.uk>; David Thomson
<David.thomson@cyrilleonard.co.uk>; Khizer Khan <kkhan@hts.uk.com>; Nick Wharton
<Nick.Wharton@bgy.co.uk>

Subject: RE: 48 Bedford Row - Structural defective front facade balcony.

Good morning Alexander

I consulted Historic England yesterday to get a steer on the proposed repairs to the balcony. The conclusion - which aligns with mine – was that stitching and reinforcement was preferable to wholesale replacement.

HE questioned the specification of the asphalt top. Is that simply because there is asphalt there already (without authorisation it would seem)? The suggestion was that good flashing and provision for drainage would be the most appropriate finish.

I trust this is of assistance.

Kind regards

Rose Todd DPhil MSc BSc(Hons) IHBC
Senior Planner (Conservation)
Supporting Communities
London Borough of Camden

Telephone: 020 7974 3109
Web: www.camden.gov.uk

5 Pancras Square
London N1C 4AG

From: Alexander Buck <Alexander.Buck@bgy.co.uk>

Sent: 11 August 2022 17:57

To: Rose Todd <Rose.Todd@camden.gov.uk>

Cc: Simon Rooke <simon.rooke@cyrilleonard.co.uk>; David Thomson
<David.thomson@cyrilleonard.co.uk>; Khizer Khan <kkhan@hts.uk.com>; Nick Wharton

<Nick.Wharton@bgy.co.uk>

Subject: RE: 48 Bedford Row - Structural defective front facade balcony.

[EXTERNAL EMAIL] Beware – This email originated outside Camden Council and may be malicious. Please take extra care with any links, attachments, requests to take action or for you to verify your password etc. Please note there have been reports of emails purporting to be about Covid 19 being used as cover for scams so extra vigilance is required.

Hi Rose,

Now you are back from annual leave have you had a chance to look into the email below I sent you on the 1st August?

Kind Regards,

ALEXANDER BUCK
HE/HIM
ARCHITECT

BGY

BUCKLEY GRAY YEOMAN
4.04 THE TEA BUILDING
56 SHOREDITCH HIGH STREET
LONDON E1 6JJ
+44 20 7033 9913
WWW.BGY.CO.UK

From: Alexander Buck

Sent: 01 August 2022 17:35

To: rose.todd@camden.gov.uk

Cc: Simon Rooke <simon.rooke@cyrilleonard.co.uk>; David Thomson

<David.thomson@cyrilleonard.co.uk>; Khizer Khan <kkhan@hts.uk.com>; Nick Wharton

<Nick.Wharton@bgy.co.uk>

Subject: 48 Bedford Row - Structural defective front facade balcony.

Dear Rose,

Hope you are well.

Whilst the works having been progressing with No.48 Bedford Row, it has been discovered that the stone balcony to the front of No.48 at first floor is failing structurally.

Once the front façade scaffolding was removed our structural engineer (HTS) observed 3 cracks to the underside of the stone balcony.

Upon more detailed inspection it was felt by HTS that without intervention the balcony could fail and so a prop has been left in to temporarily support it.

As a design team we looked at number of options of how we could retain the existing balcony and make it safe.

Please see attached HTS sketch of the structural works which would be required.

And BGY's sketch on how we wish to conceal the new steel, so it is in keeping with the building.

As the project is drawing to a close [Expected completion of No.48 in October] we want to get a quick decision from yourself that you are happy with the proposed remedial works required.

Let me know if you need any more information or would like to discuss the proposals further.

Kind Regards,

ALEXANDER BUCK
HE/HIM
ARCHITECT

BGY

BUCKLEY GRAY YEOMAN
4.04 THE TEA BUILDING
56 SHOREDITCH HIGH STREET
LONDON E1 6JJ
+44 20 7033 9913
WWW.BGY.CO.UK

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London

4.04 The Tea Building
56 Shoreditch High Street
London E1 6JJ
+44 20 7033 9913

Bristol

3.01 St Nicholas House
31-34 High St,
Bristol BS1 2AW
+44 117 4566 899