

**Apt**

**Castlewood House**  
Condition 7 - Updated Report

29/11/22 - Revision B

Project Title Castlewood House	Project Number 15023
Document Name Condition 7 - Updated Report	Date 29/11/22
Status -	Revision -B
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## Introduction

### Purpose of the Document

This document seeks to provide information in support of the proposed detailing to discharge Condition 7 regarding privacy screening to windows on Castlewood House.

We feel that whatever the solution is, it needs to be sympathetic to the rest of the building, and not at odds with the composition.

We also believe the windows in question offer some key views to occupants of the building, over the public realm of Central St. Giles and through to St Giles' High Street opposite. This was identified as a key view during the development of the buildings' massing during the Pre-Planning process and we are therefore keen to retain this. We think it would be a shame to block it entirely.

When viewed from street level, this elevation is a prominent part of the building and that to block these windows would be to the detriment of the wider composition. As such we sought to use a language we had already developed for the balustrading and louvre screening, and extend it higher up the windows so that it felt like part of a wider family of details.



*'Prior to occupation of Castlewood House details of privacy screening for the south western most column of south facing windows of the office development, located on the Bucknall Street elevation from floors 1-10, shall be submitted to and approved in writing by the local planning authority. The details thereby approved shall be implemented prior to the occupation of the building and retained as such thereafter'.*

The south facing glazing beside the south western most column is present at Levels 02-07.

At Level 01, the glazing is stepped back away from the boundary line.

The south western column of glazing terminates at Level 07. This is where we believe the privacy screening needs to reach.

At Level 08 and above, this area is maintenance terrace, with the adjacent column of glazing stepped back away from the boundary line.





## Proposal

### Metal Screening and Manifestation

Our proposal is to use a variation of the balustrade detail used elsewhere around the building, placed in front of the glass.

It has been designed so that the metalwork is above eye level so it provide a degree of visual screening whilst still allowing views out to sky and the public realm.

To further enhance this, and provide additional privacy, our approach seeks to mask the central element of glass , to obscure views out further with a translucent pattern.

Views out still aren't fully obscured and it is still possible to see down into the public realm and up to sky.

We believe this approach would have minimal impact of the buildings appearance when viewed from outside as it will be obscured by the metalwork element, and also doesn't feel too restrictive to occupants.

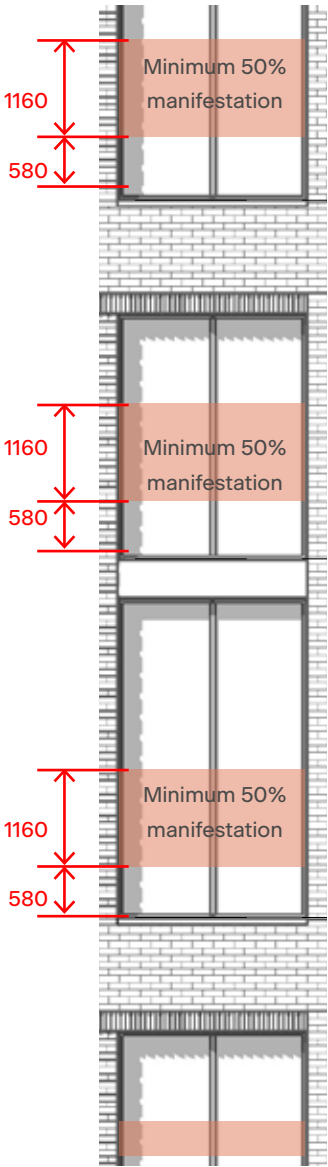


Proposal

External Metal Screening

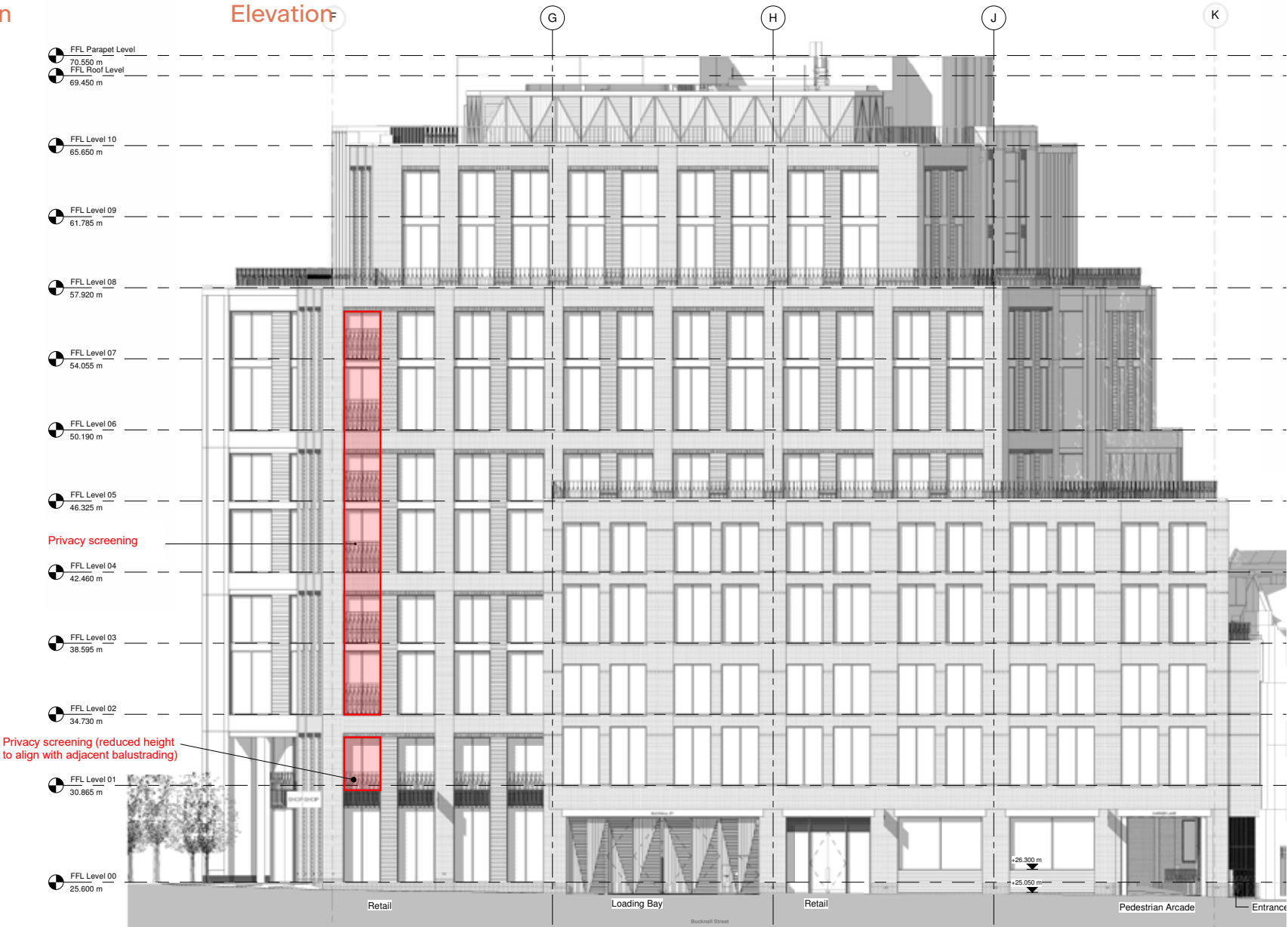


Internal Manifestation



A\_10\_303 - General Arrangement,  
South Elevation (extract)

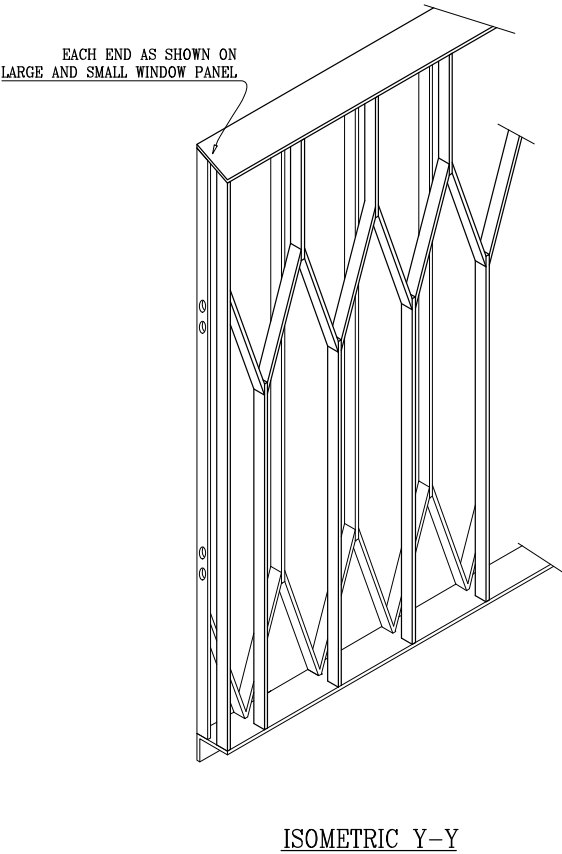
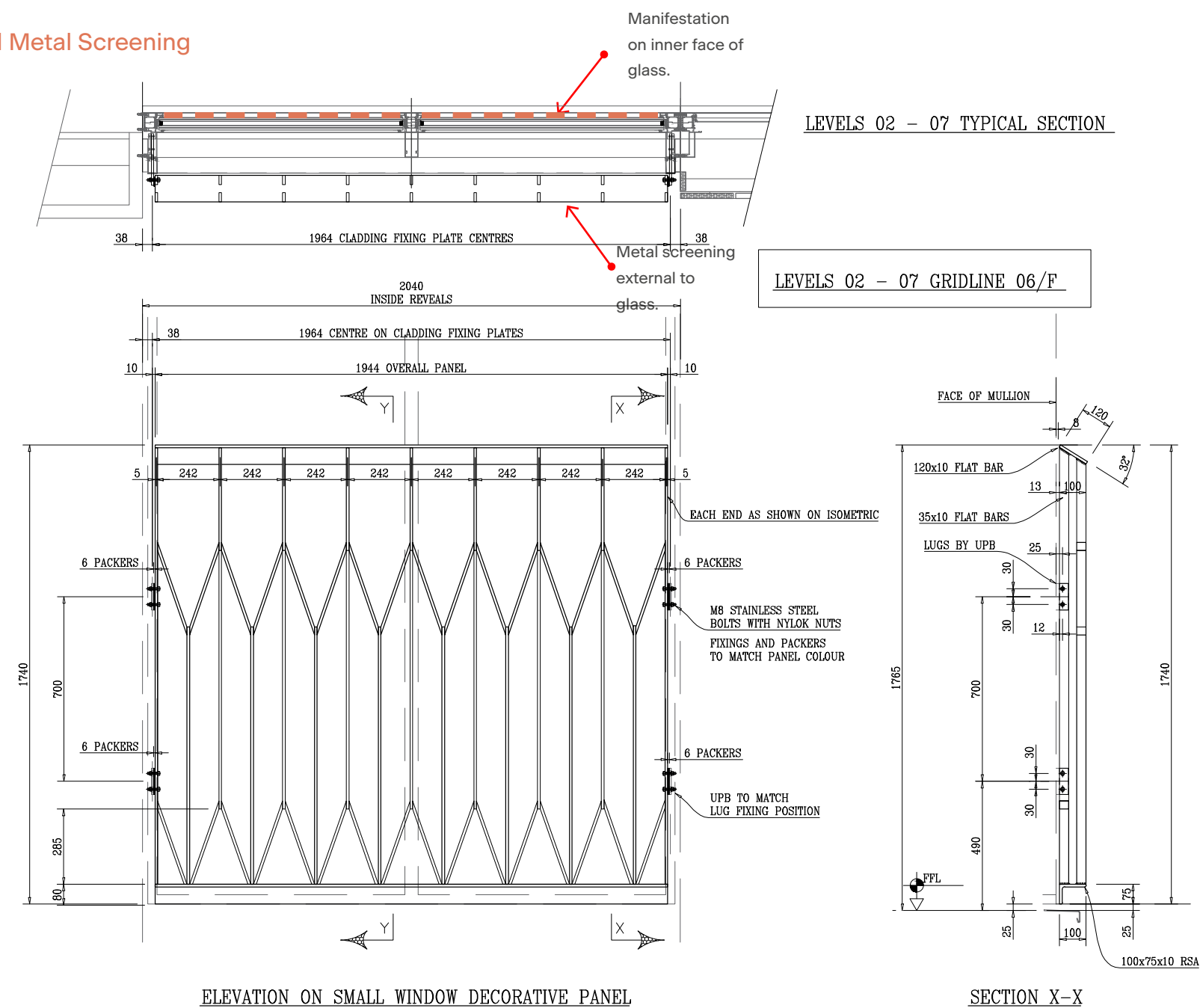
Elevation



A\_10\_303 - General Arrangement,  
South Elevation

Detail

External Metal Screening



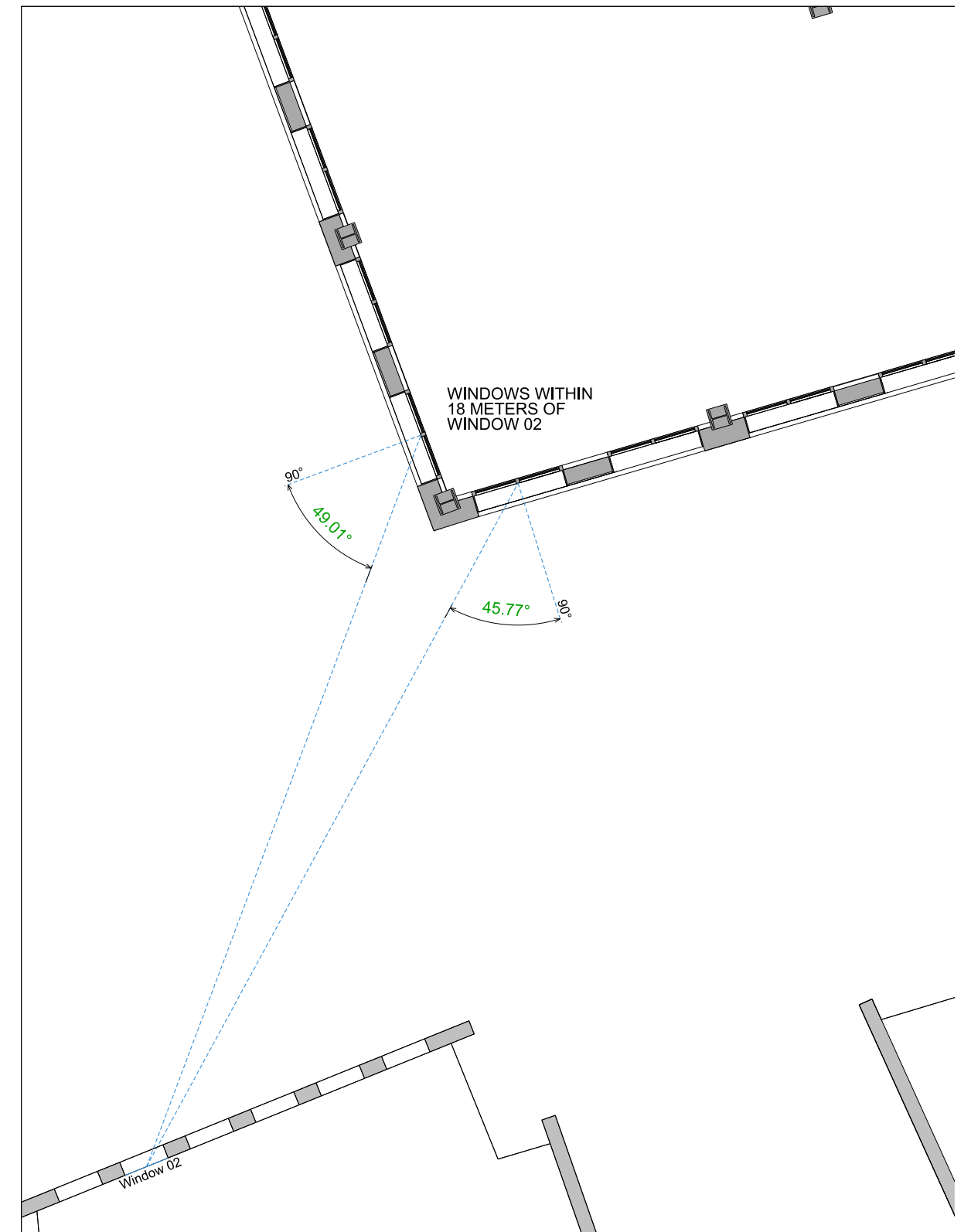
Subcontractor drawing - Panel details

## Views into Apartments

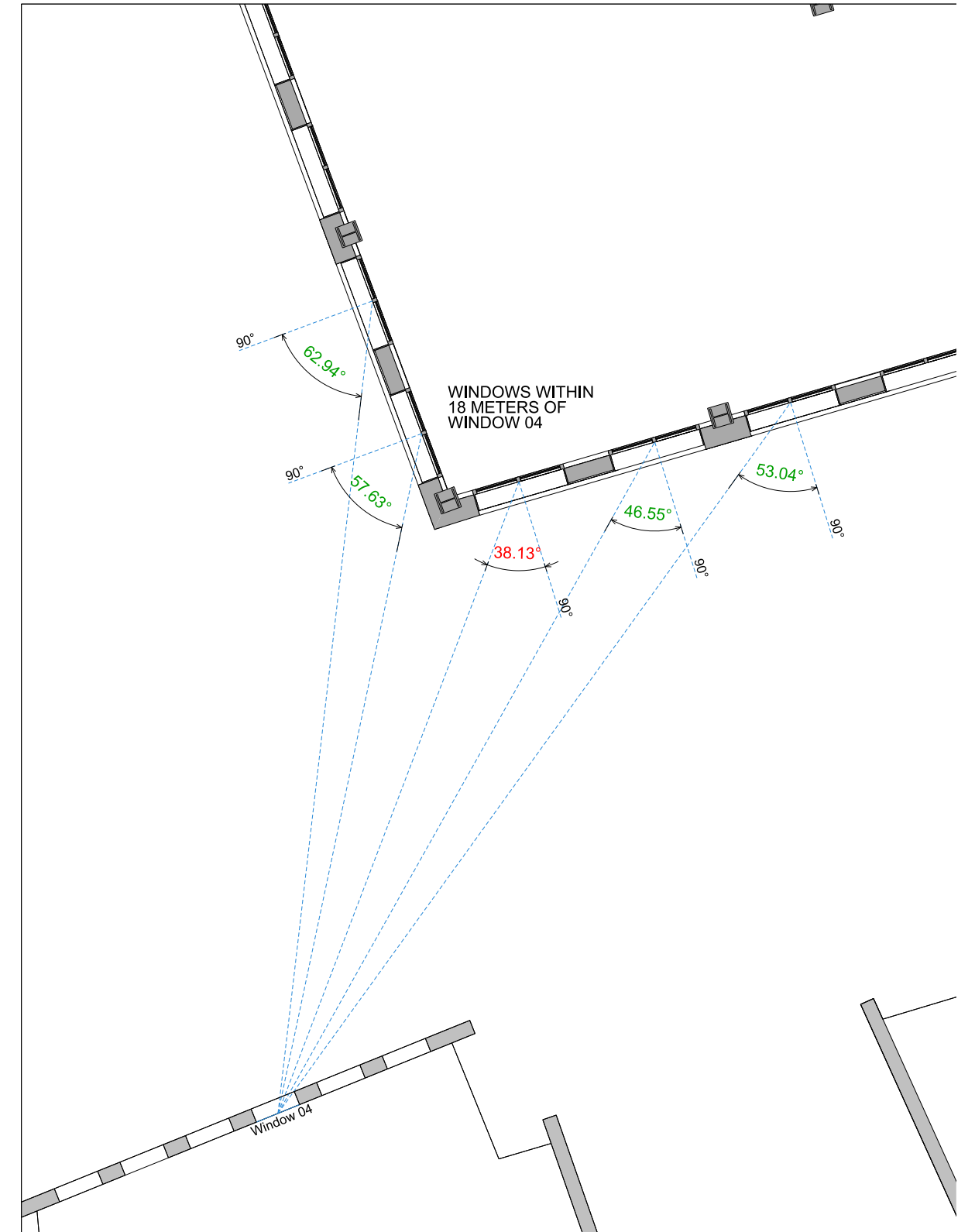
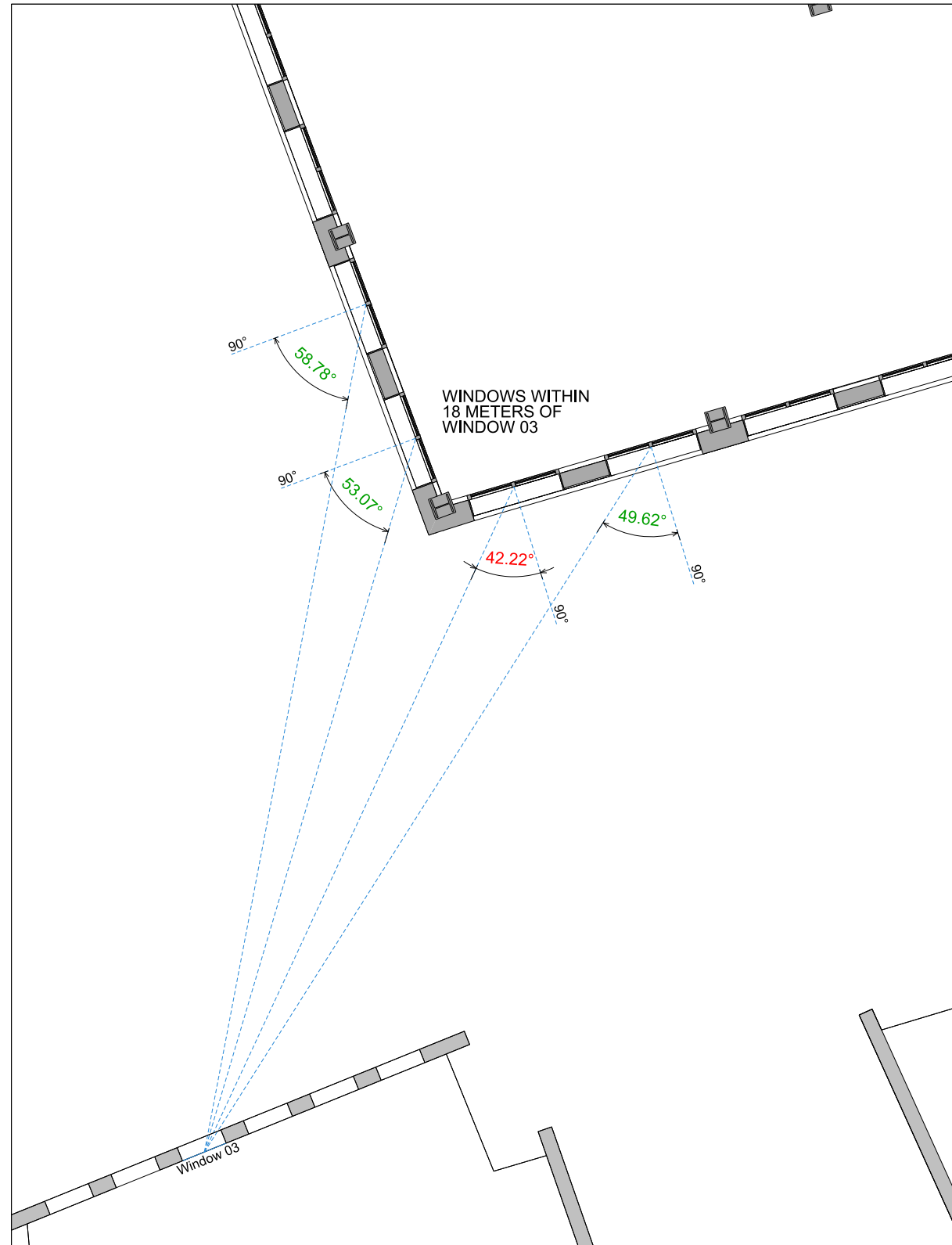
During the planning process we investigated the proximity of the Matilda Apartment windows

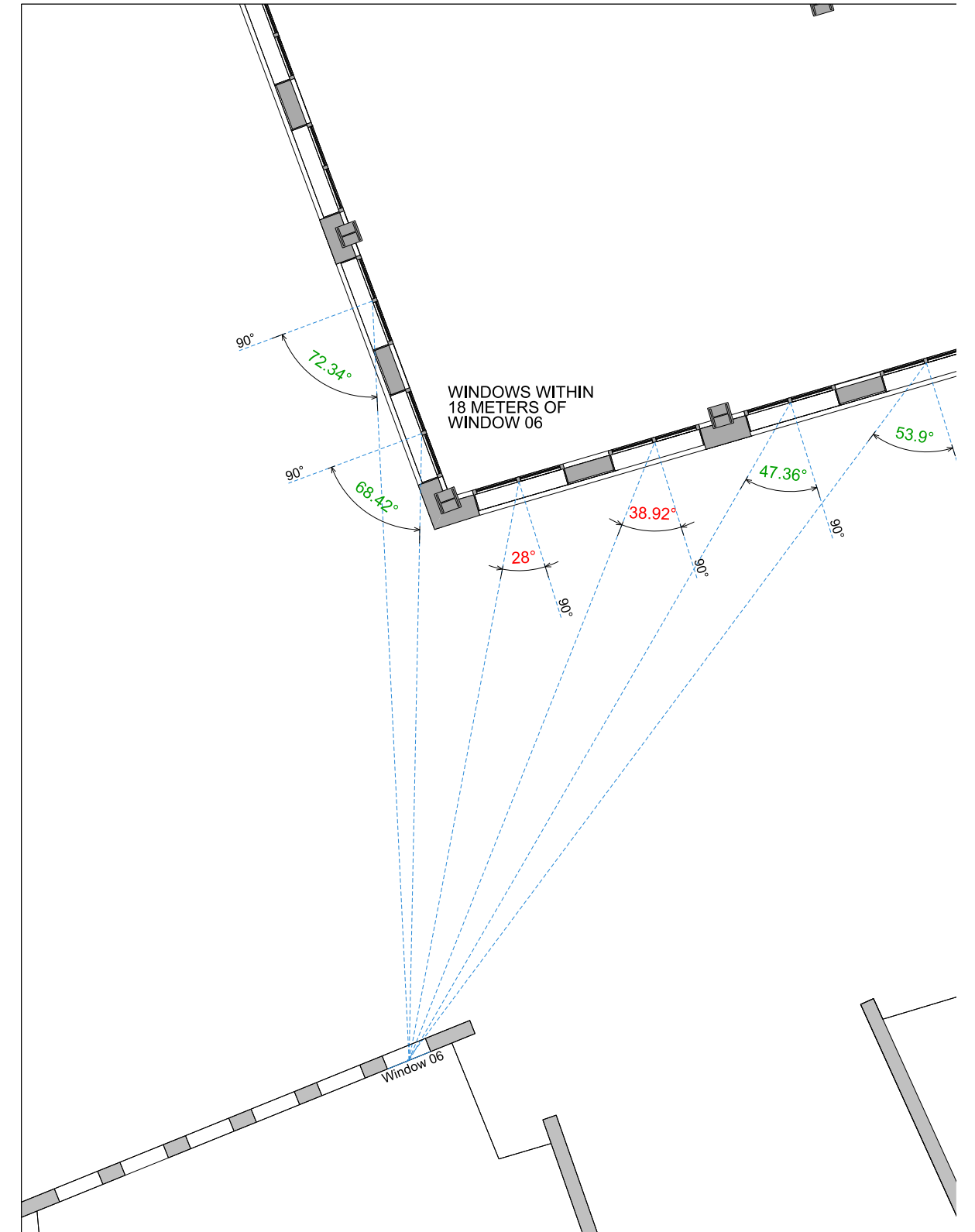
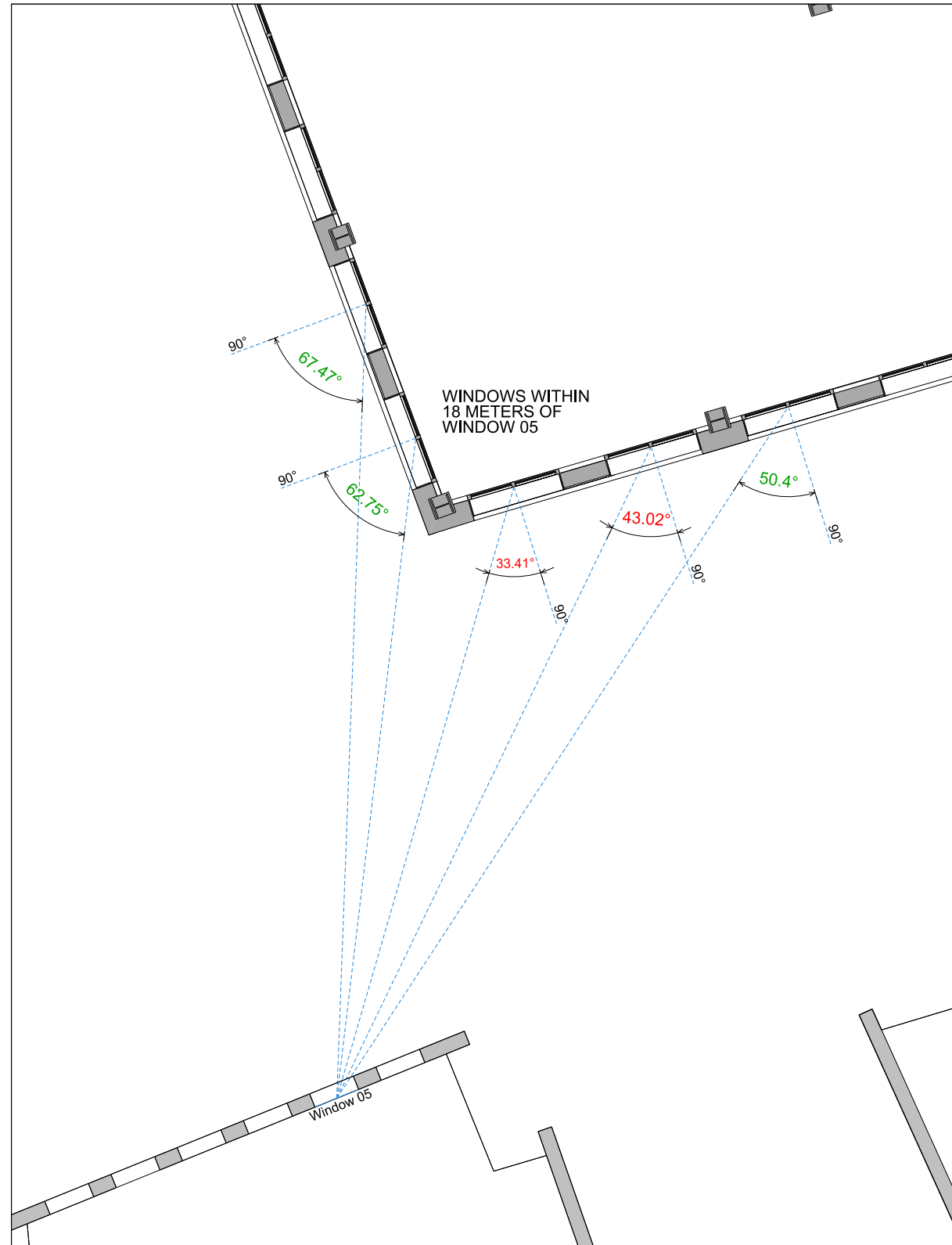
As this study demonstrates, any windows which are within 18m, are still at an angle of some 28 degrees and at the very least, 11m away.

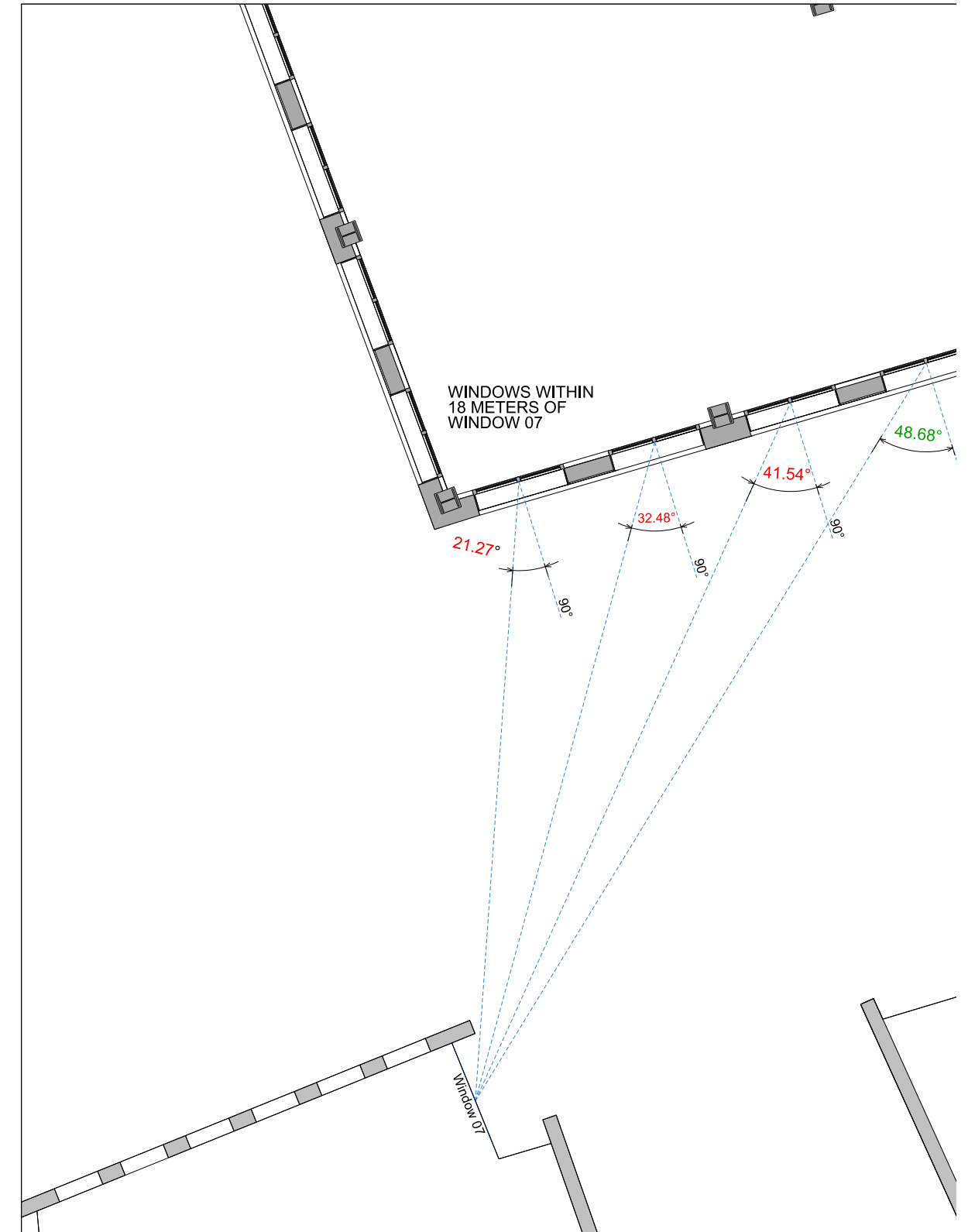
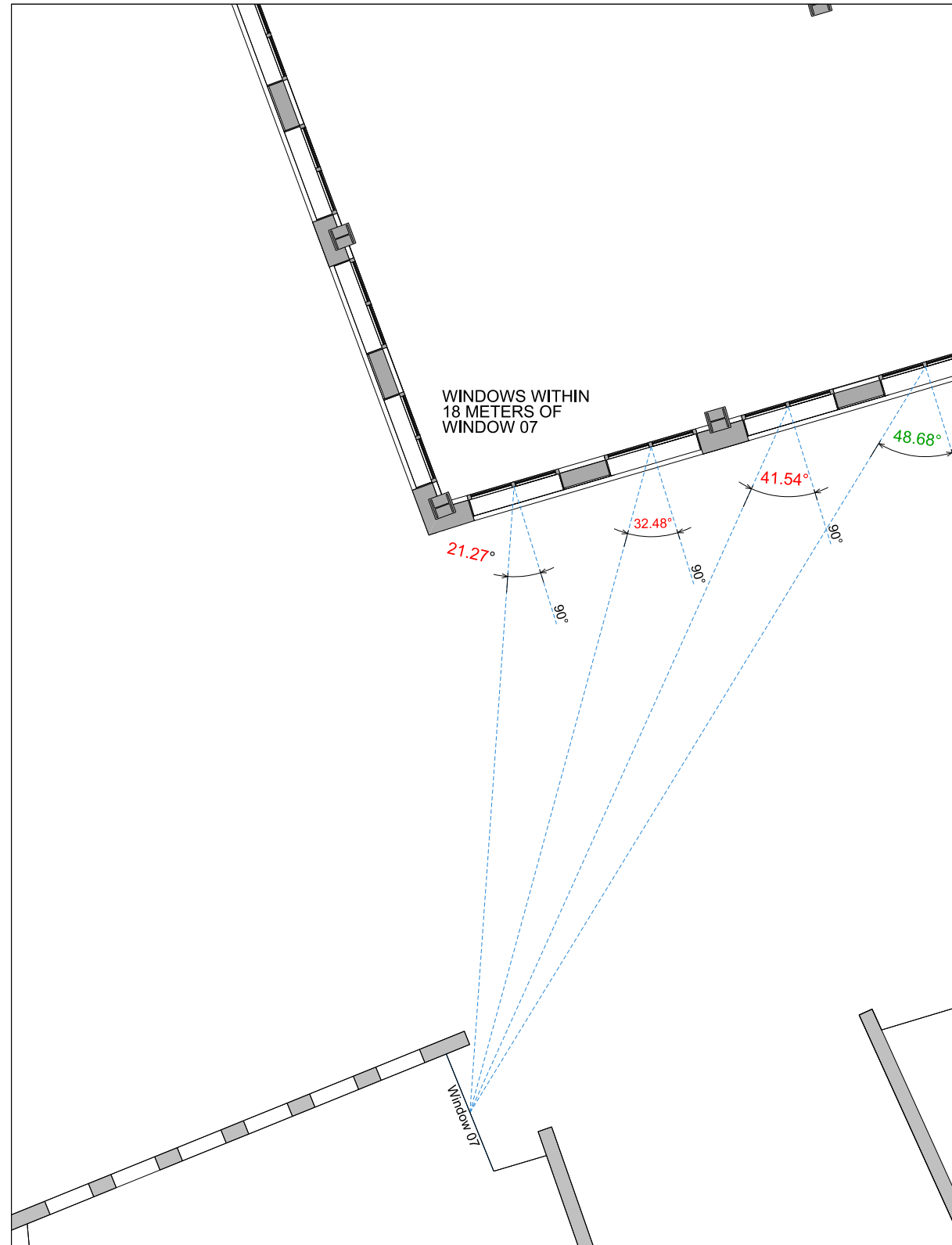
As such, we don't believe there is a sense of 'direct overlooking' but we do appreciate that it is possible to see into the apartments opposite and so some degree of screening is appropriate.











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