

2022/2352/P 12 Strathray Gardens



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Image 1. Aerial view of 12 Strathray Gardens

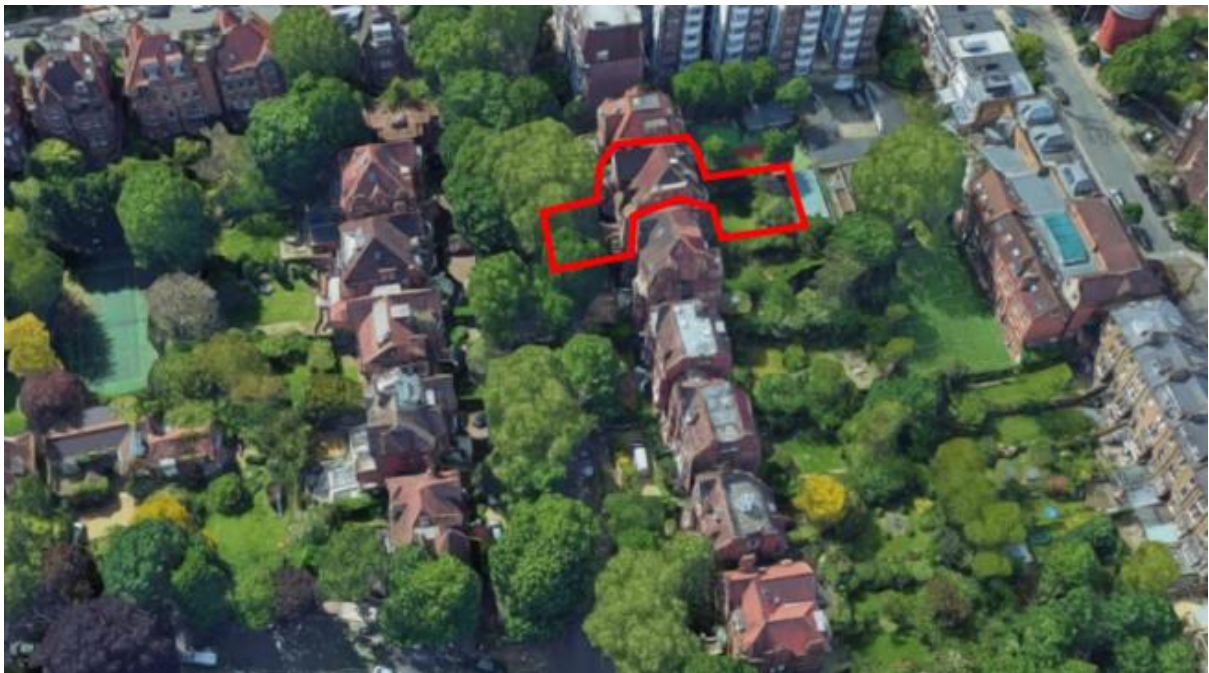


Image 2: 12 Strathray Gardens (property and building outlined in red)



Image 3: Street view (east elevation) of 12 Strathray Gardens



Image 4: Access to the lower ground floor level flat at 12 Strathray Gardens



Image 5: Existing rear (west) elevation of 12 Strathray Gardens



Images 6: Existing front lightwell



Image 7: Existing lower ground floor front roof light





Image 10: Proposed rear elevation

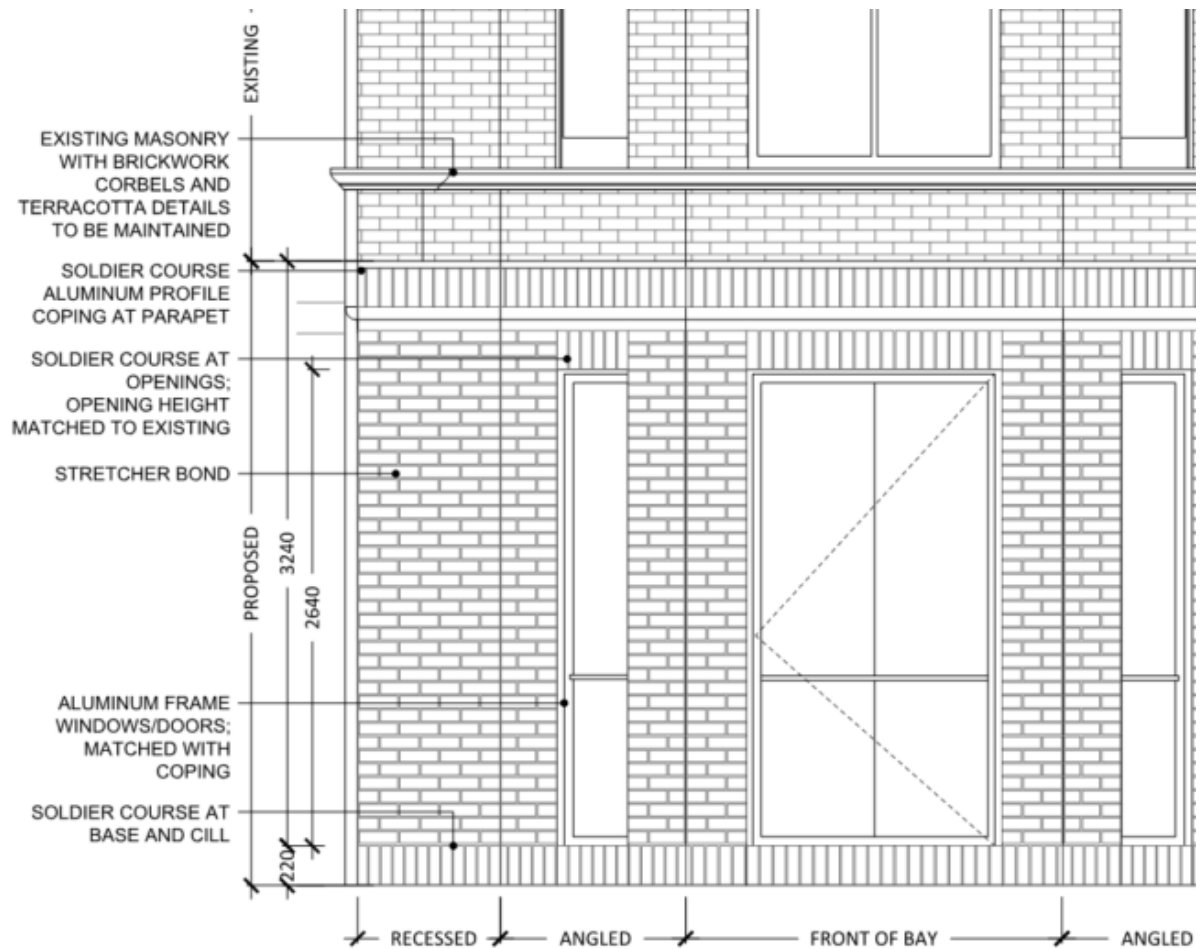


Image 11: Proposed rear extension materiality details

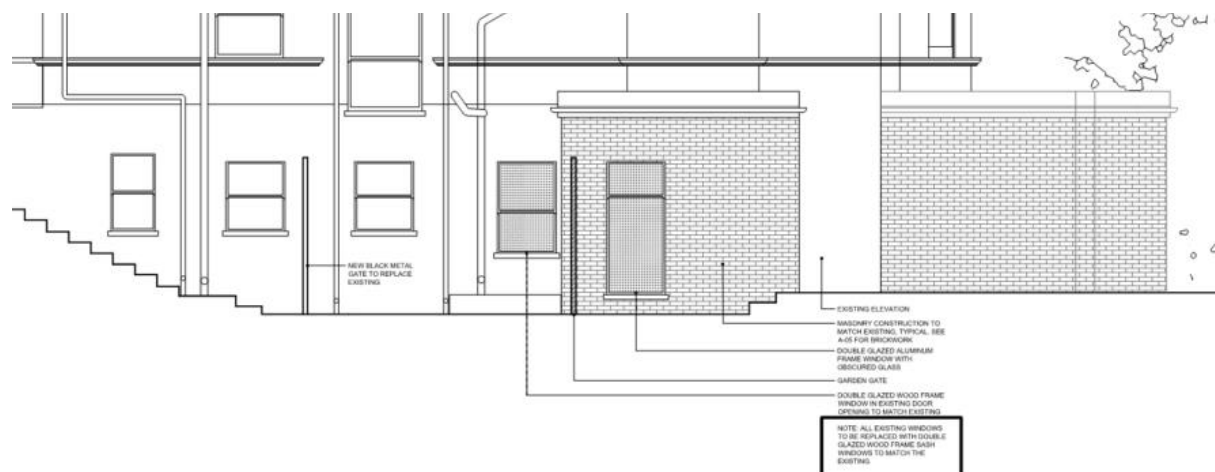


Image 12: Proposed side elevation showing side and rear extensions

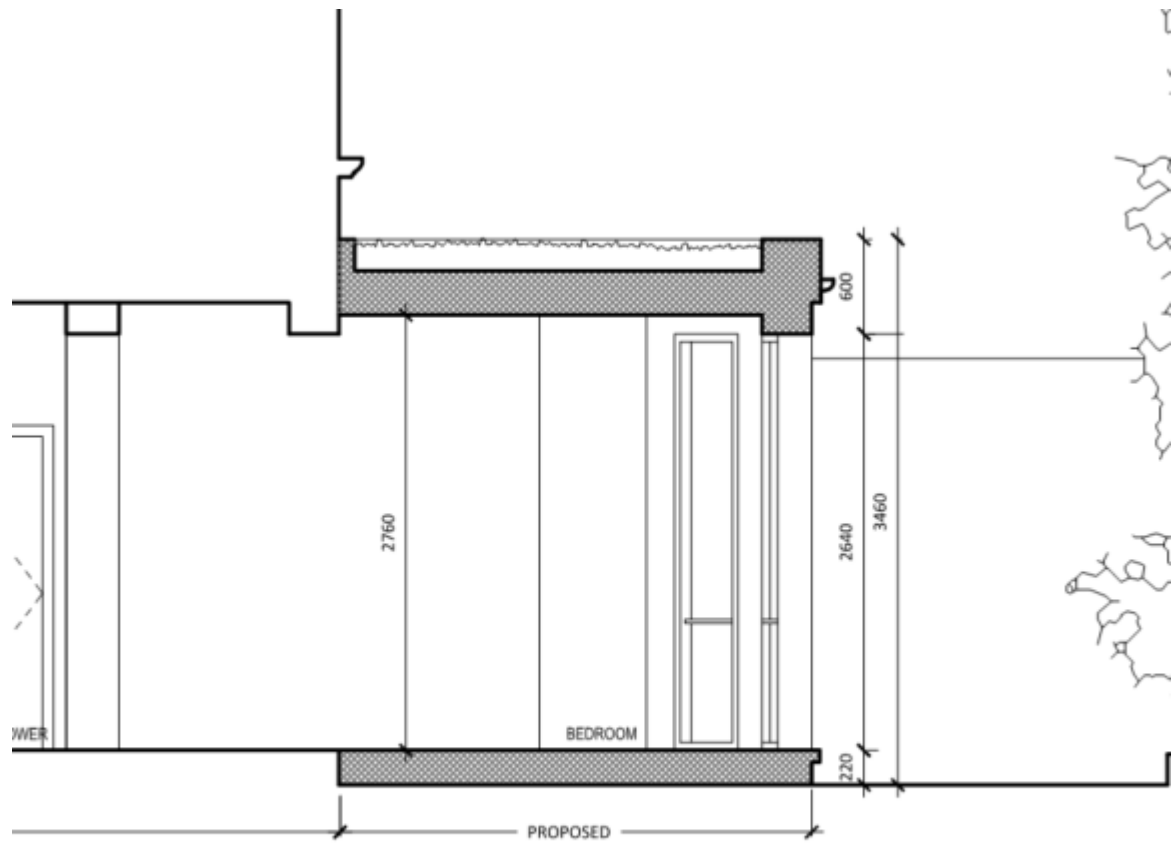


Image 13: Proposed rear extension section

Delegated Report		Analysis sheet		Expiry Date:		25/07/2022	
(Members Briefing)		N/A / attached		Consultation Expiry Date:		08/08/2022	
Officer				Application Number(s)			
Daren Zuk				2022/2352/P			
Application Address				Drawing Numbers			
Garden Flat 12 Strathray Gardens London NW3 4NY				See draft decision notice			
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature				
Proposal(s)							
Erection of single storey rear extension at lower ground level; addition of a side extension; modifications to existing side extension in lower ground lightwell.							
Recommendation(s):		Grant conditional planning permission					
Application Type:		Full Planning Permission					
Conditions or Reasons for Refusal:		Refer to Draft Decision Notice					
Informatives:							
Consultations							
Adjoining Occupiers:	No. notified	00	No. of responses	00	No. of objections	01	
Summary of consultation responses:	A site notice was displayed on 15/07/2022 (consultation expiry 08/08/2022) and notices were placed in the local press on 14/07/2022 (consultation expiry date 07/08/2022). No responses were received.						

<p>Belsize CAAC</p>	<p>A letter of objection was received on behalf of the Belsize CAAC. Their objection comments can be summarized as follows:</p> <ul style="list-style-type: none"> • Proposed rear extension results in a loss of existing architecture at the ground floor level. • New works encroaching the lower ground floor front light well bay window. <p><i>Officers' response:</i></p> <p><i>The design of the proposal is discussed in the main body of the report. The front lower ground floor extension into the front lightwell has been omitted from the proposal based on the comment from the Belsize CAAC.</i></p>
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Site Description

The application site refers to the Garden Flat, 12 Strathray Gardens, the lower ground floor flat of a large, detached, red brick property that has been divided into separate residential dwellings. Located on the southern side of Strathray Gardens close to its junction with Eton Avenue, the site has a large area of hard standing to the front which provides off street resident parking while to the rear is a generous garden area which provides private amenity space for the occupiers of the host flat.

The site is located within the Belsize Park Conservation Area, it is not a listed building but is identified as making a positive contribution to the character of the conservation area.

Relevant History

The planning history for the application site and adjacent properties can be summarized as follows:

Application Site

2016/4363/P Erection of a single storey side and rear extension to lower ground floor flat including removal of existing lower ground floor side infill extension to southern elevation. **Granted 09/11/2016**

10 Strathray Gardens

2021/6065/P Erection of a single storey side/rear extension at lower ground level, including replacement windows and doors to front and rear. **Granted 12/04/2022**

Relevant Policies

National Planning Policy Framework (2021)

The London Plan (2021)

Camden Local Plan (2017)

- A1 Managing the impact of development
- D1 Design
- D2 Heritage

Camden Planning Guidance

- CPG Amenity (2021)
- CPG Design (2021)
- CPG Home Improvements (2021)

Conservation Statements

- Belsize Conservation Area Statement 2003

Assessment

1. Proposal

1.1. Planning permission is sought for:

- The erection of a full width lower ground floor rear extension, including two new bay windows which will replicate the existing fenestration. The extension would measure 4.4 metres from the existing rear wall and have a flat roof with a height of 3.2 metres.
- The erection of a small side extension on the northern elevation which would provide a new entrance area to the lower ground floor flat. The extension would measure 3.6 metres by 1.3 metres and be finished with a flat roof with a height of 3.2 metres.
- A small infill extension at the southeast corner adjacent to no.14 Strathray Gardens (Hereward House School) to facilitate an expanded ensuite bathroom, at a height of 3.2 metres.
- Associated internal and external alterations including the replacement of all existing windows with timber framed sash windows and the replacement of a roof light at front.

2. Revisions

2.1. Based on comments from the Belsize CAAC, the applicant revised the application to remove the lower ground floor front lightwell extension. This results in a development that is acceptable in terms of design and impact on the host dwelling and wider conservation area.

3. Planning Considerations

3.1. The key considerations material to the determination of this application are as follows:

- Design and Conservation
- Effects on the amenity of neighbouring occupiers

4. Design and Conservation

4.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation.

4.2. The Belsize Conservation Area Statement (2003) states that Strathray Gardens is located within Sub-Area 3: The Eton Avenue area, which has relatively straight residential roads of large, detached brick houses. Strathray Gardens is a particularly consistent street with identical walling and gate piers, although the houses are of differing designs. All the buildings along this street positively contribute to the character of the conservation area, except for No. 11. The predominant materials are red brick, red clay tiles and tile hanging. Despite the differences in the elevation treatment along the street there are a number of recurrent themes: asymmetrical composition of the elevations, canted and curved bays, large slab chimneys, gables and white-painted timber casement and sash windows subdivided by glazing bars into smaller panes.

- 4.3. The Belsize Conservation Area Statement (2003) advises that rear extensions should be as unobtrusive as possible and should not adversely affect the character of the building or the Conservation Area. In most cases such extensions should be no more than one storey in height but its effect on neighbouring properties and Conservation Area will be the basis of its suitability. Extensions should be in harmony with the original form and character of the house and the historic pattern of extensions within the terrace or group of buildings. The acceptability of larger extensions depends on the particular site and circumstances.
- 4.4. Sections 16, 66, and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 ("the Listed Buildings Act") provide a statutory presumption in favour of the preservation of the character and appearance of Conservation Areas, and the preservation of Listed Buildings and their settings. Considerable importance and weight should be attached to their preservation. A proposal which would cause harm should only be permitted where there are strong countervailing planning considerations which are sufficiently powerful to outweigh the presumption.
- 4.5. The duties imposed by the Listed Buildings Act are in addition to the duty imposed by section 38(6) of the Planning and Compulsory Purchase Act 2004, to determine the application in accordance with the development plan unless material considerations indicate otherwise.

The National Planning Policy Framework 2021 (NPPF)

- 4.6. The NPPF requires its own exercise to be undertaken as set out in chapter 16 - Conserving and enhancing the historic environment. Paragraph 190 requires local planning authorities to identify and assess the particular significance of any heritage assets that may be affected by a proposal. Paragraphs 199-202 require consideration as to the impact of a proposed development on the significance of a designated heritage asset, including an assessment and identification of any harm/the degree of harm. Paragraph 202 states:

'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.'

Application site and assessment of significance

- 4.7. The application site is located within the Belsize Park Conservation Area and is noted in the Belsize Park Conservation Area Assessment (2003) as making a positive contribution.
- 4.8. The Belsize Conservation Area Statement (2003) states that Strathray Gardens is located within Sub-area 3: The Eton Avenue area. Strathray Gardens is a particularly consistent street with identical walling and gate piers, although the houses are of differing designs. The predominant materials are red brick, red clay tiles and tile hanging. Despite the differences in the elevation treatment along the street there are a number of recurrent themes: asymmetrical composition of the elevations, canted and curved bays, large slab chimneys, gables and white-painted timber casement and sash windows subdivided by glazing bars into smaller panes.

Assessment of Proposals

- 4.9. The proposal includes the construction of a full-width single storey rear extension, a small side entry extension, a small front infill extension, and replacement of the existing windows and front roof light.
- 4.10. The proposed rear extension is considered to form a proportionate addition that would not detract from the character and setting of the host dwelling, particularly as the property is of a size and scale which is large enough to accommodate a development of this scale. Whilst the rear extension would result in the loss of two original bay window features, the elements will be replicated almost identically and incorporated into the new rear extension thus respecting the important architectural features of the host dwelling. The extension would be single storey, and the height would match the internal height of the lower ground floor and would not extend further than the rear extension at neighbouring no.14 Strathray Gardens, which is acceptable.
- 4.11. It is noted that the rear elevations of the neighbouring properties at nos. 10 and 14 Strathray Gardens have been altered previously in the form of substantial single storey rear extensions. This is particularly evident at the existing structure at no.14 which occupies the entire width of the property at lower ground floor level. The current proposal would be similar in size and design to the extensions at the aforementioned properties and would not detract from the character and setting of the host or neighbouring dwellings as a result. Therefore, given the prevalence of structures to the rear of neighbouring properties along this side of Strathray Gardens, the proposed development is considered to have an acceptable impact on the character and appearance of the surrounding conservation area. The provision for a sedum roof would also reduce its visual impact when viewed from the upper floors of neighbouring buildings, whilst also improving the sustainability of the scheme. A condition will require details of the green roof to be approved.
- 4.12. The small side extension will facilitate a new, more prominent entryway into the lower ground floor garden flat. It is considered to form a proportionate and subordinate addition and would not detract from the character and setting of the host dwelling.
- 4.13. The small front infill extension between the shared boundary of no.14 and the host dwelling will facilitate an expanded ensuite bathroom to the front bedroom. This extension is considered minor in scale and will not significantly impact the character of the host dwelling or wider conservation area. The extension will be set well back from the front face of the dwelling and will match the height of the adjacent extension, resulting in an acceptable subordinate form.
- 4.14. The other proposed front light well extension, which would have created an unsympathetic and harmful form to the front of the dwelling, was removed from the proposed plans.
- 4.15. The proposed windows and doors on the side and rear extensions would ensure the development offers a contemporary aesthetic whilst respecting the original character and appearance of the positive contributing dwelling. The replacement of all existing windows with double glazed wood frame sash windows will help enhance the historic character of the host dwelling. Together, the combination of historically matching windows at the front and side elevations and modern windows and doors on the extensions results in a design that respects

the character of the dwelling and wider conservation area while creating a distinction between the old and new fenestrations elements. A condition will require details of all proposed windows and doors to be submitted and reviewed prior to approval.

- 4.16. The existing lower ground floor front rooflight is in poor condition and is proposed to be replaced with a new conservation style rooflight that will better match the historic style of the host dwelling. The style and design of the roof light will be secured through a condition.
- 4.17. In terms of materiality, the proposed design includes brick to match the existing masonry, including a soldier course at parapet, coping, soldier course at window/door opening, and soldier course at base and sill. A sample panel of brick, brick bond, and pointing to be submitted to the Council will be added as a condition of planning permission.
- 4.18. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the listed building and surrounding conservation area under s.16, s.66, and s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013. The size, scale, design and location of the proposed alterations are not considered to cause harm to the special architectural and historic significance of the listed building or the character of the surrounding conservation area.
- 4.19. As such, the proposed development would preserve the character and appearance of the Belsize Conservation Area, meeting the statutory tests set out in the NPPF and complying with policies D1 and D2 of the Camden Local Plan.

5. Amenity

- 5.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting planning permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, and implications to natural light, artificial light spill, odour and fumes as well as impacts caused from the construction phase of development.
- 5.2. Given the location of the proposed rear extension, it is not anticipated to have any significant impact on the amenity of neighbouring occupiers in terms of loss of light, outlook, or privacy. This is due to an over 2m setback from the shared boundary with no.10 Strathray Gardens, which would alleviate any amenity concerns. To the south, the extension would align with the existing extension at no.14 Strathray Gardens and would be of a similar height, therefore mitigating any potential impacts.
- 5.3. The relatively small size and scale of the proposed side entry extension will have minimal effects on the amenity of adjacent no.10 as there are no lower ground floors along that elevation facing towards the host dwelling. To minimize any potential impacts, the one north facing window on the side extension will be obscure glazed and secured through a condition.
- 5.4. The small southeast infill extension at the shared boundary with no.14 is not considered to have any amenity impact on neighbouring occupiers as the height will align with the existing lower ground floor height at that property.

5.5. The proposed development is not considered to lead to a significant impact upon the amenities of any neighbouring resident. The development is thus considered to be in accordance with planning Policy A1.

6. Conclusion and Recommendations

6.1. In conclusion, the proposed works would preserve the character and appearance of this part of the Belsize Conservation Area as well as the positive contributing host building. As such, the proposals are considered to accord with the requirements of Policies D1 and D2 of the Camden Local Plan and it is recommended that planning permission is granted subject to relevant conditions.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 28th November 2022, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2022/2352/P
Contact: Daren Zuk
Tel: 020 7974 3368
Email: Daren.Zuk@camden.gov.uk
Date: 17 November 2022

Development Management
Regeneration and Planning
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United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:

Garden Flat
12 Strathray Gardens
London
Camden
NW3 4NY

DECISION

Proposal:

Erection of single story rear extension at lower ground level; addition of a side extension; modifications to existing side extension in lower ground lightwell.

Drawing Nos: A-00, A-01, A-02 Rev A, A-03 Rev A, A-04, A-05, A-06, A-07, A-08, A-09, A-10, A-11, Location Plan, and Design & Access Statement.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: A-00, A-01, A-02 Rev A, A-03 Rev A, A-04, A-05, A-06,

A-07, A-08, A-09, A-10, A-11, Location Plan, Design and Access Statement.

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 3 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:
- a) Details including sections at 1:10 of all windows (including jambs, head and cill), ventilation grills, external doors and gates;
 - b) Plan, elevation and section drawings, including fascia, cornice, pilasters and glazing panels of the new shopfronts at a scale of 1:10;
 - c) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority).

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include:
- i. a detailed scheme of maintenance
 - ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used
 - iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2, and A3 of the London Borough of Camden Local Plan 2017.

- 5 The one side extension window facing towards no.10 Strathray Gardens shall be obscure glazed and fixed shut. The obscure glazing shall be retained in perpetuity thereafter unless otherwise agreed in writing by the Local Planning Authority.

Reason: In order to prevent overlooking of the neighbouring occupiers in accordance with the requirements of policy A1 of the London Borough of Camden Local Plan 2017.

- 6 The proposed new and replacement rooflights shall project no more than 100mm above the plane of the extension roof.

Reason. To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of Policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 7 The roofs of the extensions hereby permitted shall not be used as balconies, terraces or for any other ancillary residential purposes,.

Reason: In the interests of the amenity of surrounding occupiers in accordance with Policy A1 of the Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 4 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

Yours faithfully

Chief Planning Officer

DRAFT

DECISION