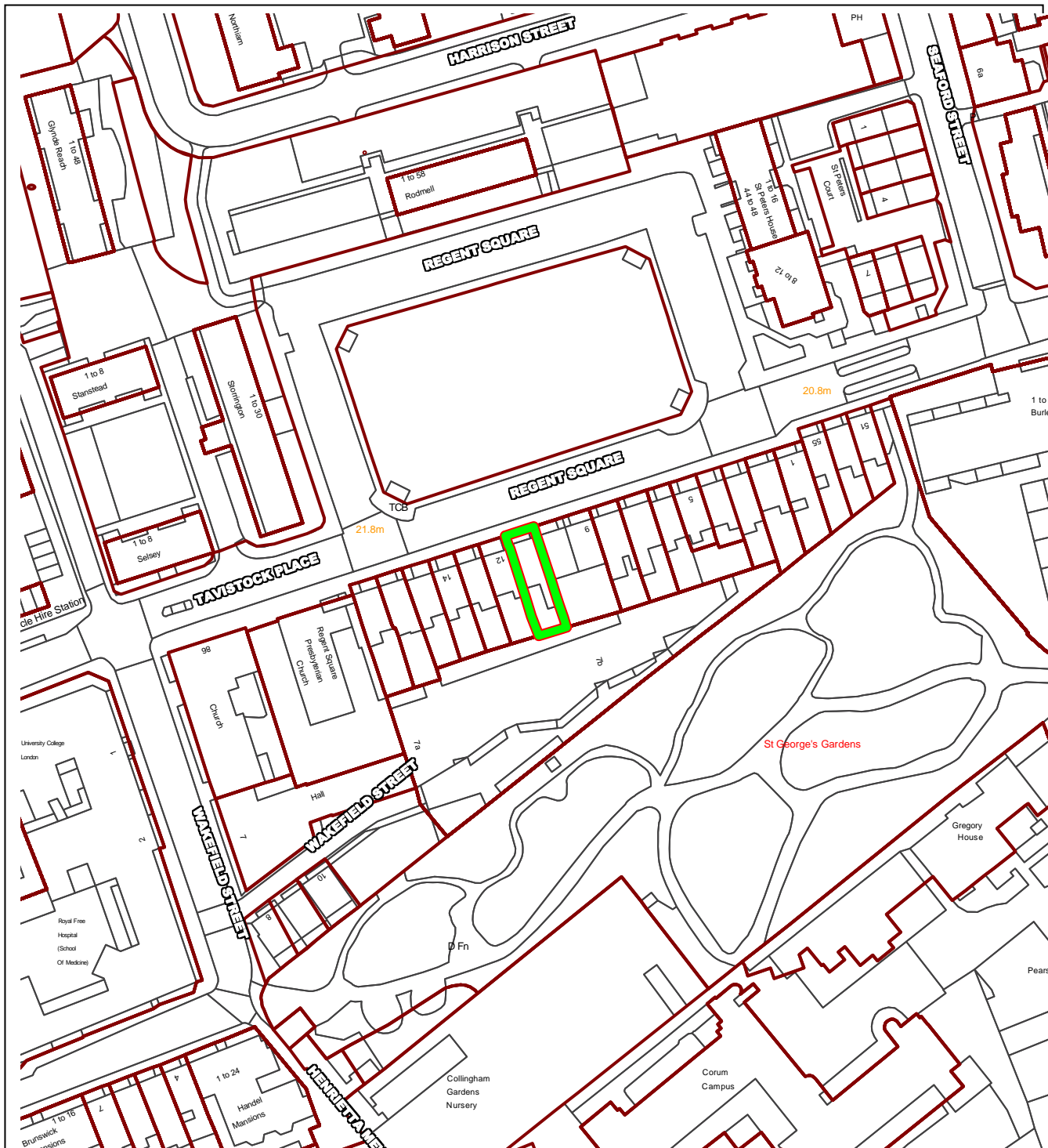


11 Regent Square



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2022.2406.P & 2022.3101.L
11 Regent Square



Image 1-2: Existing front and rear elevations



Images 3-4: Existing stair from ground to first floor, where the stair lift is proposed to be installed

2022.2406.P & 2022.3101.L
11 Regent Square



Images 5-6: Existing lower ground floor front window and door to be replaced



Image 7: Existing third floor lobby with roof access ladder



Images 8-9: Existing lower ground floor and upper ground floor plans indicating the age of existing alterations



Images 10-11: Existing first-floor and second-floor plans indicating the age of existing alterations



Images 12-13: Existing third-floor and roof plans indicating the age of the existing alterations

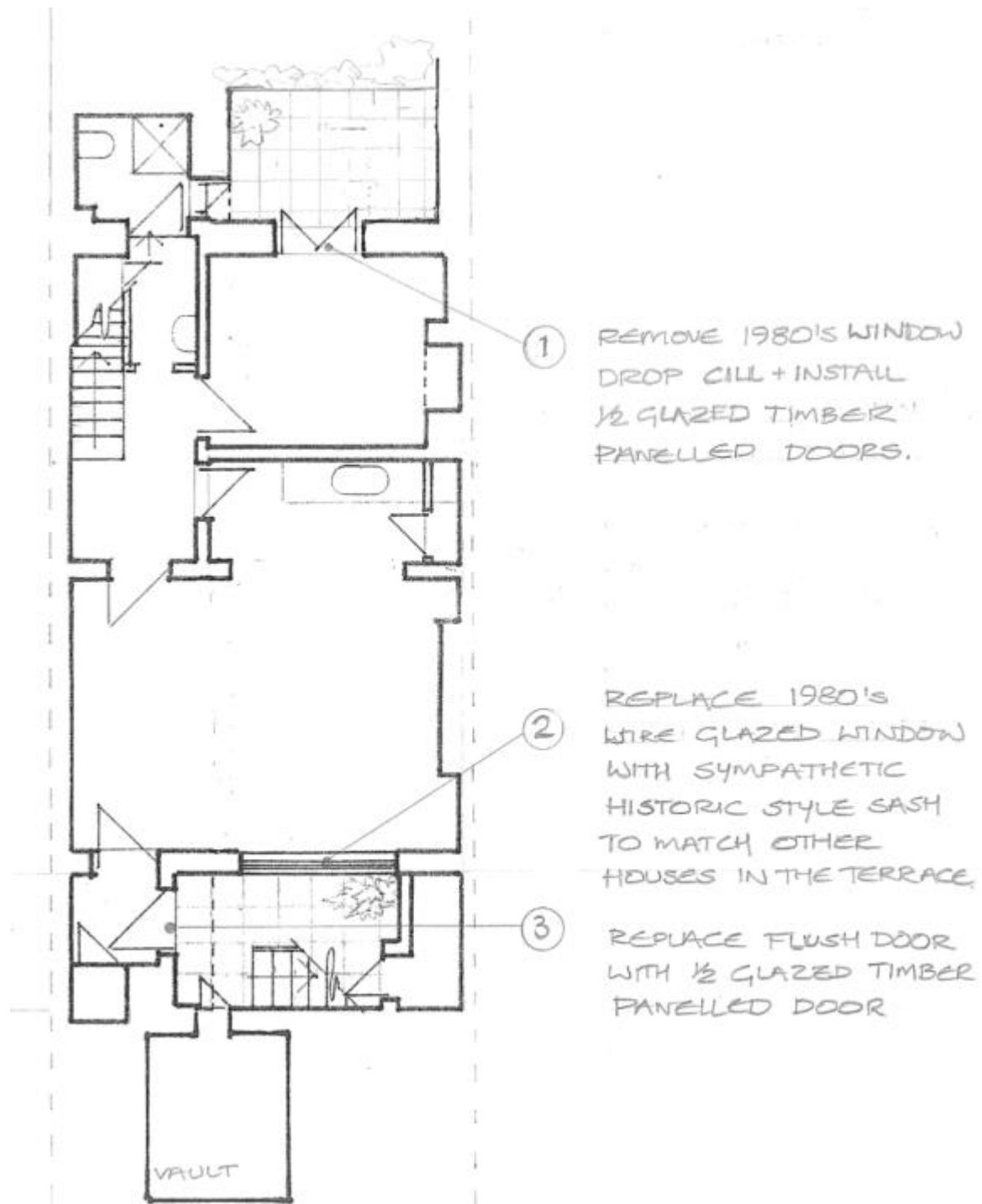


Image 14: Proposed lower ground floor plan

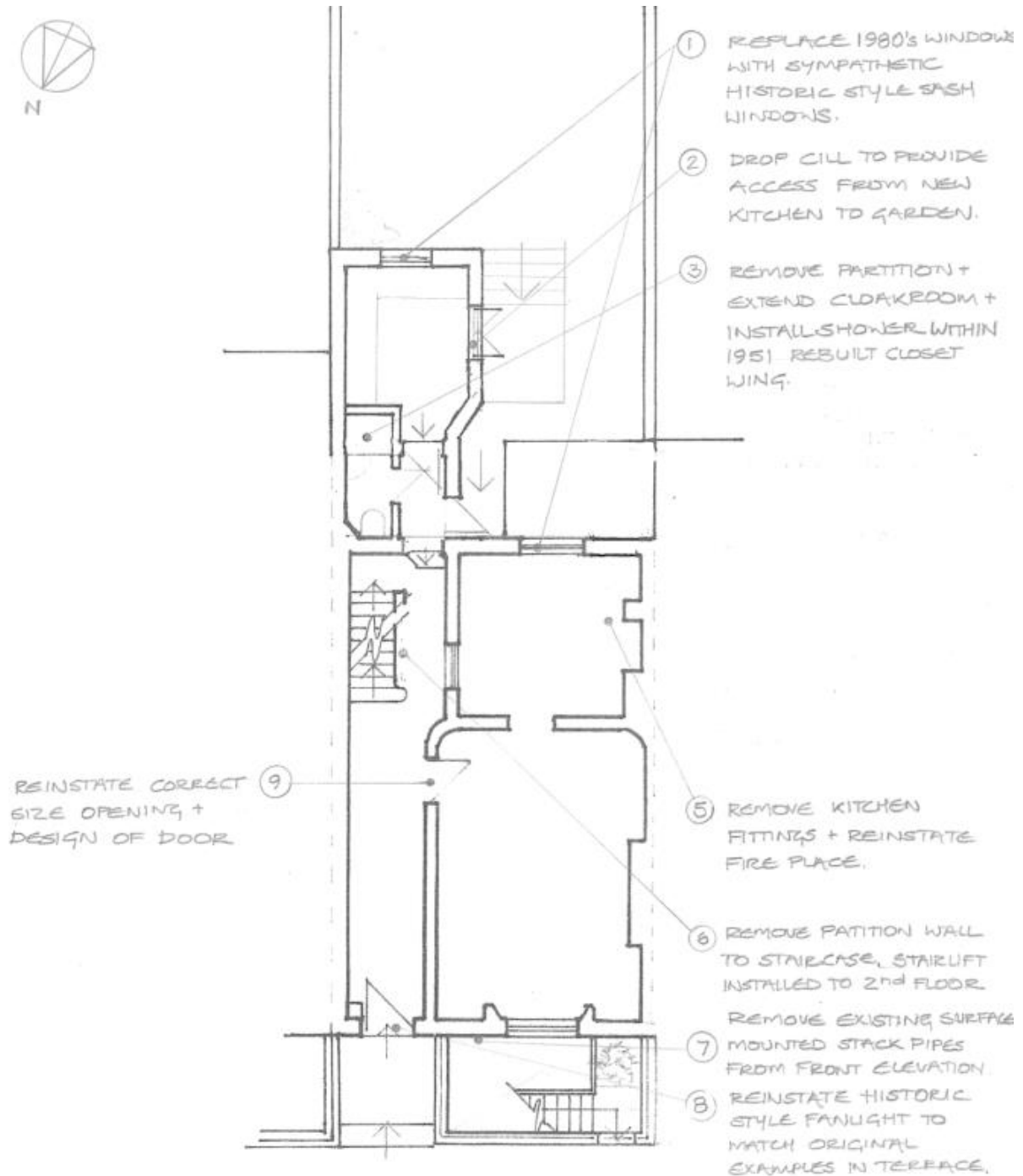


Image 15: Proposed ground floor plan

2022.2406.P & 2022.3101.L
11 Regent Square

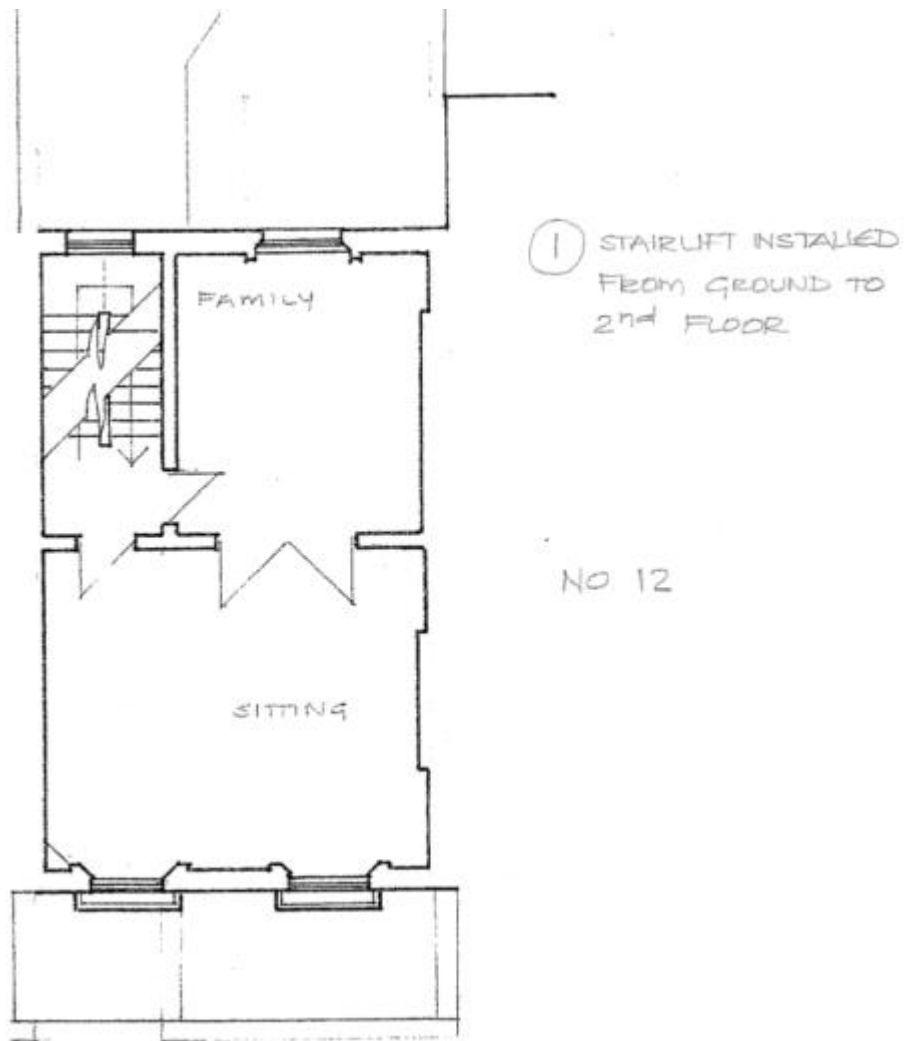


Image 16: Proposed first floor plan

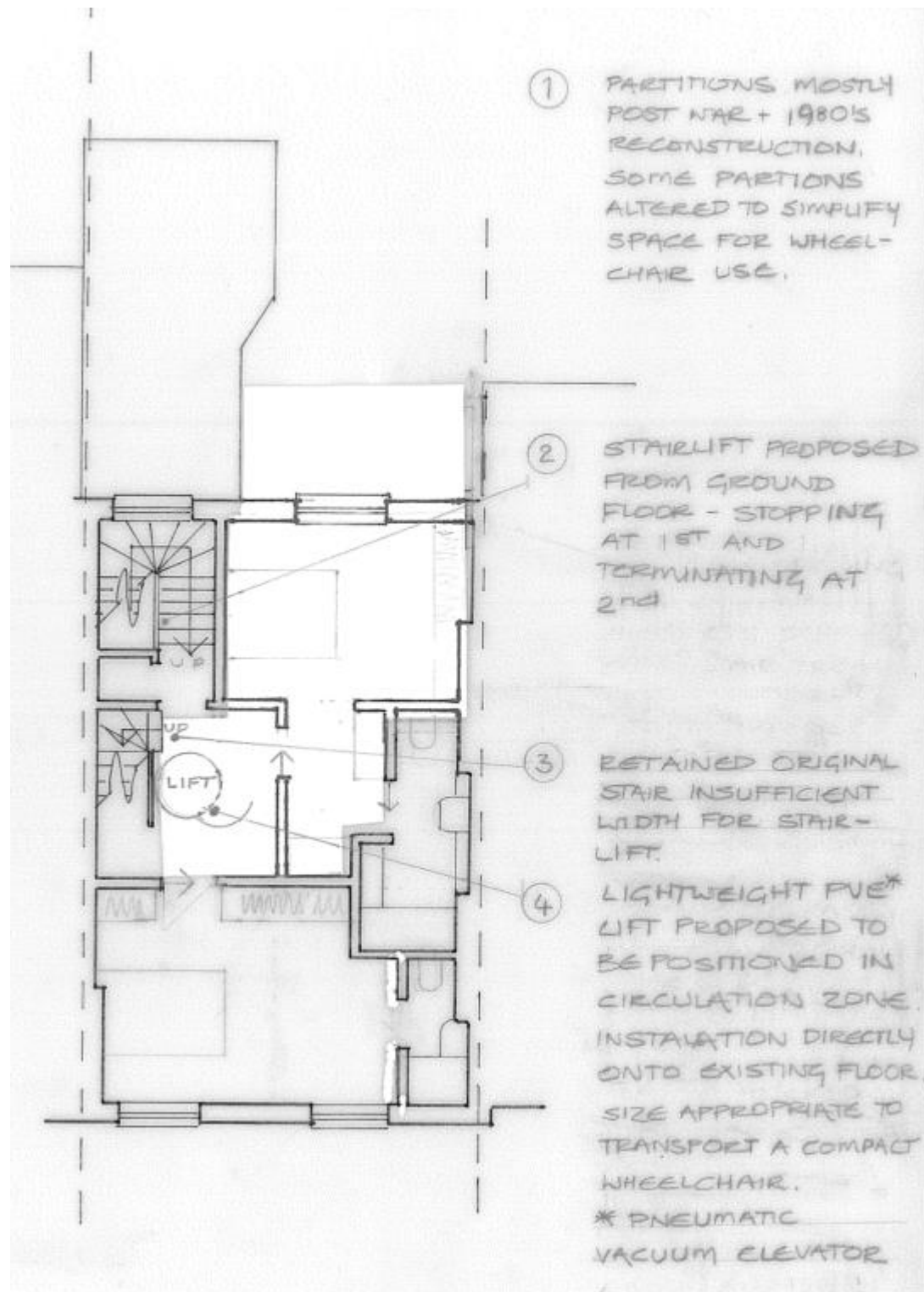


Image 17: Proposed second floor plan

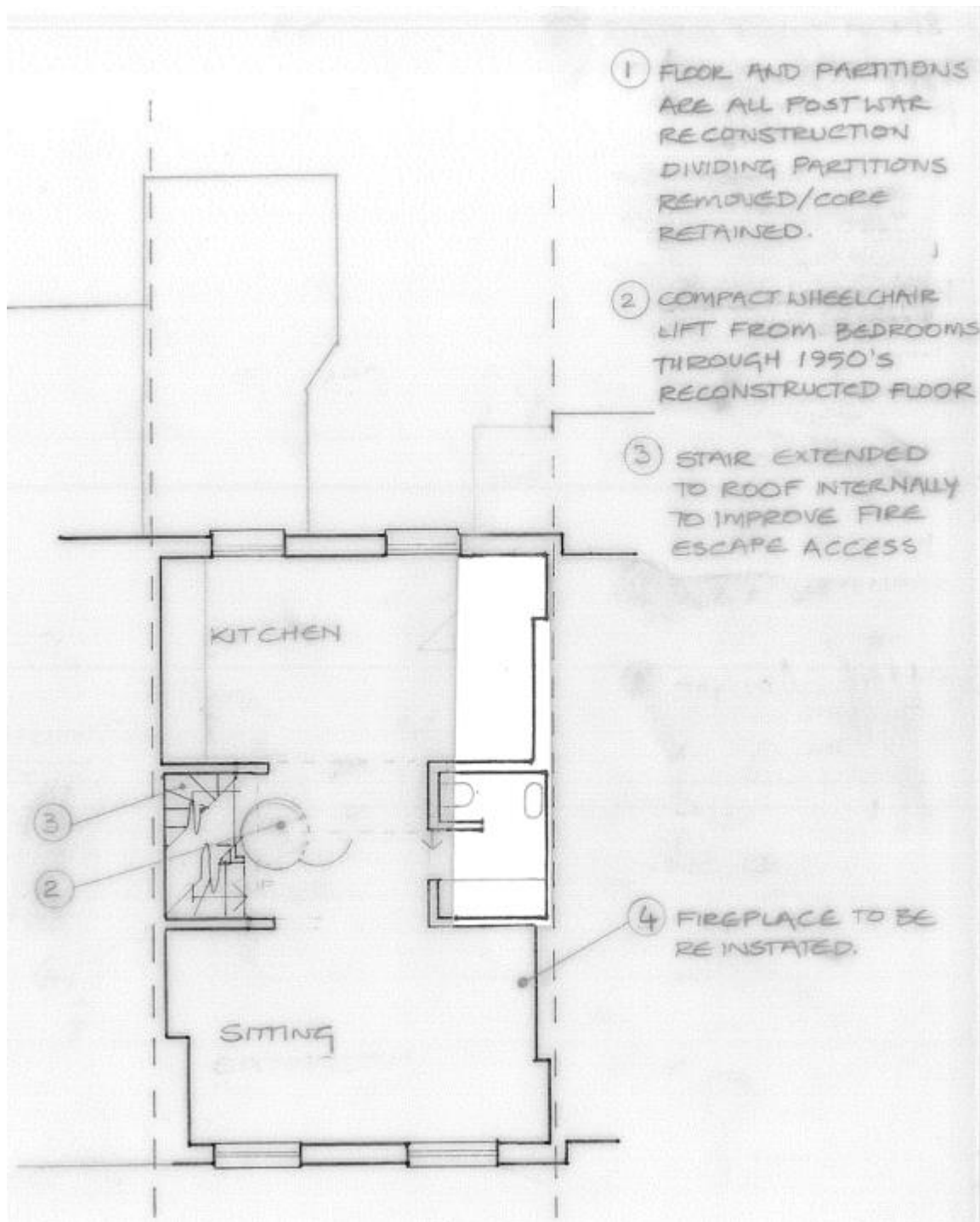


Image 18: Proposed third floor plan

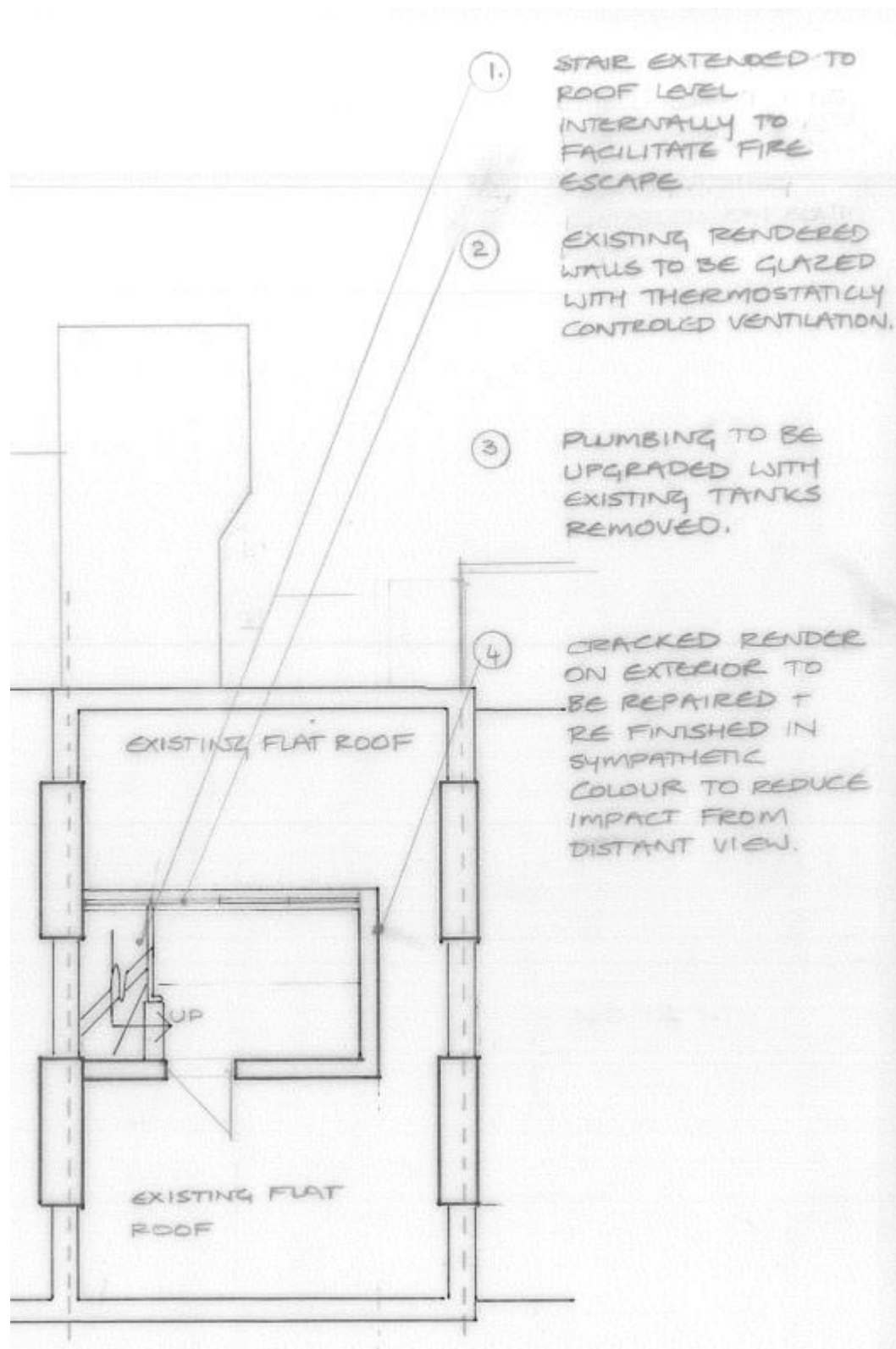


Image 19: Proposed roof plan

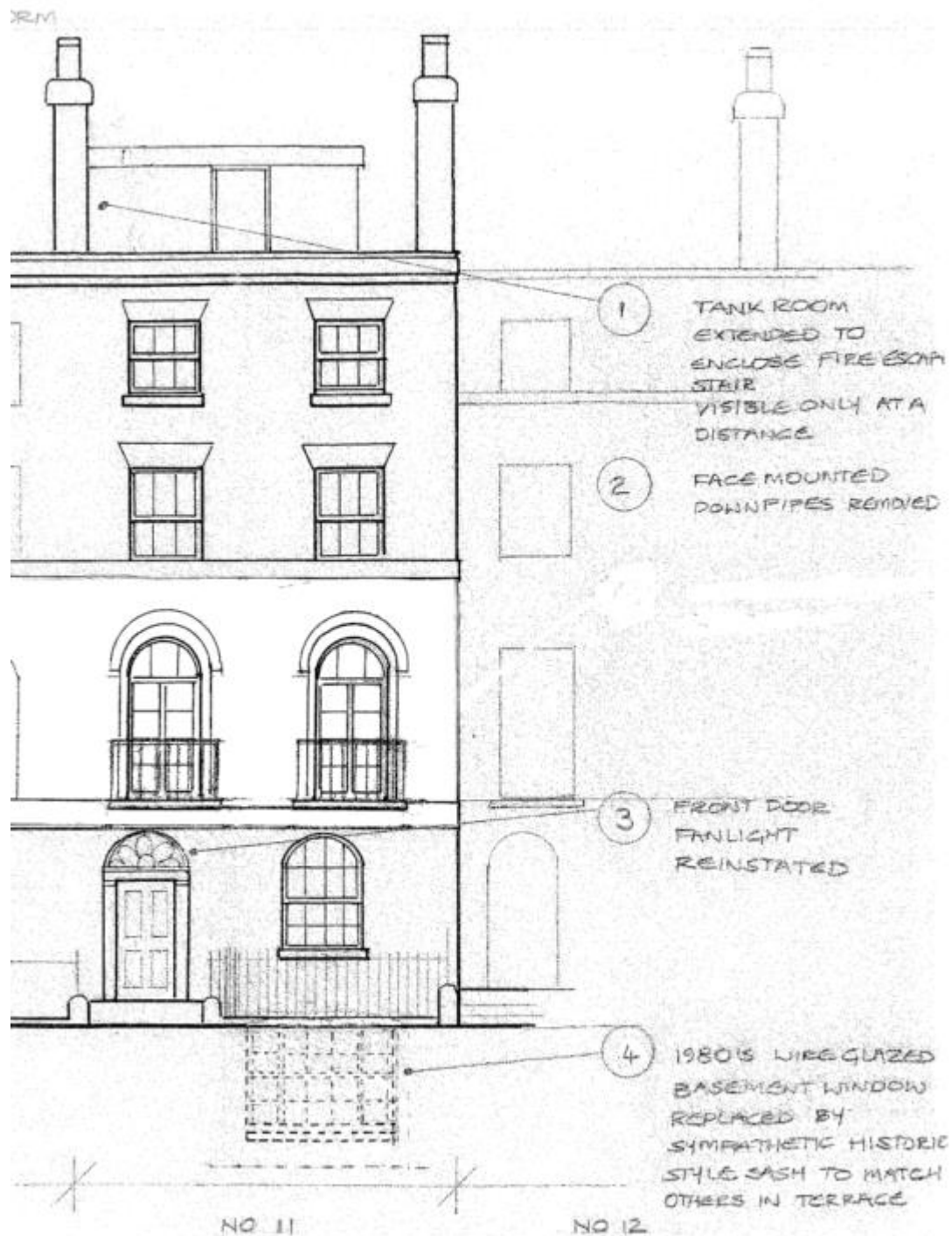


Image 20: Proposed front elevation

2022.2406.P & 2022.3101.L
11 Regent Square



Image 21: Proposed rear elevation

Delegated Report		Analysis sheet		Expiry Date:		01/08/2022	
(Members Briefing)		N/A / attached		Consultation Expiry Date:		21/08/2022	
Officer				Application Number(s)			
Daren Zuk				2022/2406/P 2022/3101/L			
Application Address				Drawing Numbers			
11 Regent Square London WC1H 8HZ				See draft decision notice			
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature				
Proposal(s)							
Proposed internal and external alterations including installation of stairlift from ground to second floor, internal lift from second to third floor, new doors to rear lower ground floor, and the extension of the rooftop tank room. (Amended description)							
Recommendation(s):		1. Grant conditional planning permission 2. Grant conditional listed building consent					
Application Type:		1. Full Planning Permission 2. Listed building consent					
Conditions or Reasons for Refusal:		Refer to Draft Decision Notice					
Informatives:							
Consultations							
Adjoining Occupiers:		No. notified	00	No. of responses	00	No. of objections	01
Summary of consultation responses:		Site Notice: displayed from 27/07/2022 – 20/08/2022 Press Notice: displayed from 28/07/2022 – 21/08/2022 No responses were received.					

Bloomsbury CAAC	<p>An objection was received from the Bloomsbury CAAC. Their reasons for objecting are summarized below:</p> <ul style="list-style-type: none"> • The installation of the stairlift and internal lift would cause harm to the listed building by introducing alien, bulky, and modern features. • Lack of information with regards to the proposed Juliet balconies and replacement fanlight <p><i>Officer's Response:</i> <i>The design and details of the interior alterations are discussed in the body of the report.</i></p>
Bloomsbury Association	No response was received.

Site Description

The application site is located on the south side of Regent Square and related to a four storey (plus basement) building that is largely unaltered externally and at its lower three storeys. The building is Grade II listed, along with the rest of terraces along this side of Regent Square and is located within the Bloomsbury Conservation Area. The Grade II listing states the following:

"Terrace of 17 houses. c1829. Darkened yellow stock brick with later patching, Nos 7-10 refaced. Stucco ground floors and plain 1st floor sill bands, Nos 9 and 10 channelled. End and central houses with stucco 2nd floor sill bands and cornices with blocking course; recessed houses with plain stucco 3rd floor sill bands and parapets. Symmetrical composition with projecting end houses (Nos 1-2 and 16-17) and central houses (Nos 7-11). 4 storeys and basements. 2 windows each. Round-arched ground floor openings. Doorways with pilaster-jambs carrying cornice-heads; fanlights (some radial) and panelled doors. Gauged brick flat arches (Nos 11-17 reddened) to recessed sashes; end and central houses 1st floor sashes in shallow round-arched recesses. Cast-iron balconies to 1st floor windows (except No.1). INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with tasselled spearhead finials to areas."

Relevant History

2020/4848/P External alterations including erection of external lift to the rear from lower ground to second floor level, replacement of non-original windows and alterations to windows of existing roof extension. **Refused 03/03/2021. Dismissed at Appeal (ref. APP/X5210/W/21/3274863) 07/12/2021**

2020/5385/L Internal and external alterations including erection of external lift to the rear from lower ground to second floor level and internal lift between second and third floor levels. **Refused 03/03/2021. Dismissed at Appeal (ref. APP/X5210/W/21/3274864) 07/12/2021**

National Planning Policy Framework (2021)

The London Plan (2021)

Camden Local Plan (2017)

- A1 Managing the impact of development
- C6 Access for All
- D1 Design
- D2 Heritage

Camden Planning Guidance

- Amenity (2021)
- Design (2021)

Conservation Statements

- Bloomsbury Conservation Area Appraisal and Management Strategy 2011

Assessment

1. Proposal

1.1. The current applications seek permission for the installation of a stairlift from ground to second floors, installation of a lift from second to third floors, new doors to the rear lower ground floor, and the extension of the rooftop tank room.

2. Revisions

2.1. Based on comments from a Conservation Officer, the applicant has revised the application to remove the proposed reinstatement of the original balcony to the front façade.

3. Assessment

3.1. The material considerations for this application are as follows:

- Design and Conservation
- Effects on amenity of neighbouring occupiers

4. Design and Conservation

Policy Background

4.1. Local Plan Policies D1 (Design) and D2 (Heritage) are aimed at achieving the highest standard of design in all developments. Policy D1 requires development to be of the highest architectural and urban design quality, which improves the function, appearance, and character of the area. Policy D2 states that the Council will preserve, and where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas and listed buildings.

4.2. Sections 16, 66, and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 ("the Listed Buildings Act") provide a statutory presumption in favour of the preservation of the

character and appearance of Conservation Areas, and the preservation of Listed Buildings and their settings. Considerable importance and weight should be attached to their preservation. A proposal which would cause harm should only be permitted where there are strong countervailing planning considerations which are sufficiently powerful to outweigh the presumption.

4.3. The effect of these sections of the Act is that there is a statutory presumption in favour of the preservation of character, appearance, and historic significance of listed buildings and conservation areas. Considerable importance and weight should therefore be attached to their preservation. Should the Council define 'harm' it would only be permitted where there are strong countervailing planning considerations which are sufficiently powerful to outweigh harm. Section 16 of the NPPF provides guidance on the weight that should be accorded to harm to heritage assets and in what circumstances such harm might be justified.

4.4. The duties imposed by the Listed Buildings Act are in addition to the duty imposed by section 38(6) of the Planning and Compulsory Purchase Act 2004, to determine the application in accordance with the development plan unless material considerations indicate otherwise.

Application Site Description

4.5. Built in 1829, the application property is considered to represent a high-quality example of late Georgian architecture which is reflected in its Grade II listed status. Officers note that WWII bomb damage maps from 1945 show no.11 to be "seriously damaged – repairable at a cost" with the two houses adjacent to the east being struck directly and "damaged beyond repair". The infill houses were built in 1951 with front facades that replicated those of the original properties in the street. The damage to no.11 required the upper levels to be rebuilt including a new flat roof and the remains of the rear closet wing were cleared and reconstructed.

4.6. Therefore, whilst there have been alterations to the 1829 building, the property is considered to retain the majority of its historic significance. This includes its largely unaltered front and rear facades (and the contribution they make to the wider terrace), and the internal layouts of the lower ground, ground, and first floor levels, which retain their original plan form and historic features.

External & Internal Alterations

4.7. At the lower ground floor level, it is proposed to convert a rear window to a French window, replace a front window with a timber sash window, and replace a flush exterior door with a glazed and panelled door. All of these alterations are considered minor and not harmful to the listed building and therefore acceptable.

4.8. At the ground floor level, it is proposed to convert a window into a door in the closet wing, enlarge a lavatory in the closet wing, and move the kitchen from the back room into the closet wing. In addition, a stair lift will be installed from the ground floor to the second floor to provide wheelchair access for the occupier. The fanlight above the front door will be reinstated with a historically accurate fixture. The proposed alterations are considered small in scale and acceptable as they will not cause any harm to the significance of the listed building.

4.9. On the second floor, the floor plan appears to have been reorganized in modern times (likely during the WWII bomb damage reconstruction); thus reordering of the partitions is proposed. This is considered acceptable as the historic plan form will be reintroduced, thus enhancing the historic character of the listed building.

- 4.10. An internal tube lift is proposed between the second and third floors, which will provide access to these floors to the occupier. It is noted that because the floors between these two levels is of a modern construction the alterations will not further harm the heritage significance of the building and are thus supportable.
- 4.11. At roof level, the existing tank room is accessed from the second floor by a fire escape ladder. In order to provide a more accessible fire escape egress, a staircase is proposed to be installed connecting the second-floor level to the roof level. To facilitate this, the roof level tank room is proposed to be extended 1.0 metres towards the shared chimney stack with neighbouring no.10 Regent Square. The existing south facing rendered walls will be replaced with full height glazed panels with thermostatically controlled ventilation, and the render repaired/refinished. This is considered acceptable as the proposed changes will not be visible from the public realm and will therefore not impact the character of the listed building or of the wider conservation area. Access to the roof will be maintained, and a condition will be added to ensure the exterior of the roof level will not be used as a terrace.
- 4.12. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the listed building and surrounding conservation area under s.16, s.66, and s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013. The size, scale, design and location of the proposed alterations are not considered to cause harm to the special architectural and historic significance of the listed building or the character of the surrounding conservation area.
- 4.13. As such, the proposed development would preserve the significance of the host listed building and the character or appearance of the Hampstead Conservation Area, meeting the statutory tests set out in the NPPF and complying with Policies D1 and D2 of the Camden Local Plan.

5. Amenity

- 5.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting planning permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, and implications to natural light, artificial light spill, odour and fumes as well as impacts caused from the construction phase of development.
- 5.2. The proposed development is not considered to lead to a significant impact upon the amenities of any neighbouring resident. The development is thus considered to be in accordance with planning policies A1 and A4.

6. Conclusion and Recommendations

- 6.1. In conclusion, the proposed works would preserve the significance and setting of the listed building and the character and appearance of this part of the Bloomsbury Conservation Area. As such, the proposals are considered to accord with the requirements of Policies D1 and D2 of the Camden Local Plan and it is recommended that planning permission and listed building consent are granted subject to relevant conditions.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 28th November 2022, nominated members will advise whether they consider this application

should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2022/2406/P
Contact: Daren Zuk
Tel: 020 7974 3368
Email: Daren.Zuk@camden.gov.uk
Date: 18 November 2022

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Leigh & Glennie Ltd
6 All Souls Road
Ascot
SL5 9EA

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:

**11 Regent Square
London
WC1H 8HZ**

Proposal:

Proposed internal and external alterations including installation of stairlift from ground to second floor, internal lift from second to third floor, new doors to rear lower ground floor, and the extension of the rooftop tank room. (Amended description)

Drawing Nos: PA091, PA092, PA093, PA094, PA095, PA096, PA097, PA098 Rev A, PA200, PA201, PA202, PA203 Rev A, PA204, PA205, PA206, PA207, PA208, Planning Statement (May 2022), Heritage Statement (September 2022)

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: PA091, PA092, PA093, PA094, PA095, PA096, PA097, PA098 Rev A, PA200, PA201, PA202, PA203 Rev A, PA204, PA205, PA206, PA207, PA208, Planning Statement (May 2022), Heritage Statement (September 2022).

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 3 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Details including sections at 1:10 of all windows (including jambs, head and cill), ventilation grills, external doors and fanlights;

b) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority).

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 The roof of the subject dwelling hereby permitted shall not be used as a terrace or for any other ancillary residential purposes.

Reason: In the interests of the amenity of surrounding occupiers in accordance with policy A1 (Managing the impacts of development) of the Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.

- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

Yours faithfully

Chief Planning Officer

Application ref: 2022/3101/L
Contact: Daren Zuk
Tel: 020 7974 3368
Email: Daren.Zuk@camden.gov.uk
Date: 18 November 2022

Development Management
Regeneration and Planning
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Leigh & Glennie Ltd
6 All Souls Road
Ascot
SL5 9EA

DRAFT

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
11 Regent Square
London
WC1H 8HZ

DECISION

Proposal:

Proposed internal and external alterations including installation of stairlift from ground to second floor, internal lift from second to third floor, new doors to rear lower ground floor, and the extension of the rooftop tank room. (Amended description)

Drawing Nos: PA091, PA092, PA093, PA094, PA095, PA096, PA097, PA098 Rev A, PA200, PA201, PA202, PA203 Rev A, PA204, PA205, PA206, PA207, PA208, Planning Statement (May 2022), Heritage Statement (September 2022)

The Council has considered your application and decided to grant subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: PA091, PA092, PA093, PA094, PA095, PA096, PA097, PA098 Rev A, PA200, PA201, PA202, PA203 Rev A, PA204, PA205, PA206, PA207, PA208, Planning Statement (May 2022), Heritage Statement (September 2022).

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 3 Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:

a) Details including sections at 1:10 of all windows (including jambs, head and cill), ventilation grills, external doors and fanlights

b) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority).

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

Informative(s):

- 1 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy Building Regulations or Fire Certification may require a further application for listed building consent.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer