

Design and Access Statement

Address: 22 Kemplay Road, London, NW3 1SY

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Existing Property

No. 22 Kemplay road is a mid terrace property spread over five levels (LGF, GF, 1F, 2F and 3F). It forms part of a group of terraced houses (no.4 - 24) that are identified as making a ‘positive contribution’ to the Hampstead Conservation Area in which they are situated. The property is not listed.

Planning Considerations

A separate planning and heritage statement has been provided which describe the key planning considerations and policy which are relevant to the site and proposals.

Pre-application advice was received and the scheme has been updated taking into consideration comments from the planning and conservation officers.

Relevant Planning History

There is no planning history regarding no.22 available on the council’s website.

A number of nearby properties have carried out extensions and refurbishment works. Of particular relevance is 20 Kemplay Rd (Ref 2016/1313/P) where permission was granted for:

Lower ground floor rear extension with roof terrace and privacy screen, and terracing of garden area. Installation of new metal framed doors and windows. Alterations to fenestration of closet wing and new parapet. Replacement of existing timber sash windows with micro double glazing to match existing design. Alterations to front boundary wall and installation of metal railings and gate to dwelling house (class C3).

Further details of this scheme can be found on the council’s website.

The Proposals:

1. Single Storey Rear Extension

The extension will be approximately 2.5m deep to align with the existing closet wing and 3.8m wide to fill in the space between the closet wing and the boundary. The extension will form part of an open plan living / dining / kitchen space on the lower ground floor. The rear elevation at lower ground floor will contain a set of bifold doors and a separate window.

2. GF Rear Terrace

The roof of the new extension will form a terrace accessed from the GF rear room. It will contain a walk-on roof light. Due to the difference in levels between no.22 and no.20 a privacy screen will be installed on the boundary up to a height of 1.8m above the new terrace level. This will be similar to the current arrangement (no.20 has a terrace) but at a higher level. The terrace will have traditional black painted metal railings.

3. Changes to the Closet Wing

It is proposed to raise the height of the existing closet wing by approximately 650mm. The current roof construction to the closet wing is very thin and does not meet current thermal requirements. Therefore as well as increasing the floor to ceiling height in the upper room, it will also allow for a better construction build up. Even with the increase in height, the parapet will still sit approximately 800mm below the level of no.24’s closet wing so the existing hierarchy will be retained. The roof covering is likely to be a single ply membrane and a new parapet wall would be included.

The sash window on the 1F rear elevation of the closet wing will be replaced and centred (moving approximately 100mm from its current location). The existing door and small window on the GF rear elevation will be removed and replaced with a single fixed piece of glazing, centred on the sash window above. This will be a modern window as internally it will be viewed in the context of the new glazing on the LGF. On the side elevation the existing window opening will be infilled with brickwork to match.

4. Replacement Windows on the Rear Elevation

The sash windows on the first and second floors of the rear elevation will be replaced with slim-line double glazed sash windows. The opening for the two sash windows to the rear of the ground floor will be combined to allow for french doors leading onto the new terrace. All the windows and glazed doors on the ground and lower ground floor will have bandit-proof glass. The modern doors and windows will be triple glazed. All glass will be solar control to minimise heat gain into the property.

5. Changes to the Rear Roof

The roof will be rebuilt and finished in slate. The third floor has already been converted to habitable space and includes a mezzanine which overlooks the 2F bedroom and a separate shower room and storage areas. This floor, as well as the staircase up to it, is being reconfigured and includes a new dormer window of traditional appearance will be constructed on the rear elevation. A new roof light will be installed over the stair. The dormer window has been sized so that it sits well below the ridge line of the existing roof and above the eaves line to avoid being overbearing.

6. Relandscaping of Rear Garden

The rear garden will be relandscaped. This will include lowering the existing garden level immediately outside the new extension to create a dining area. Retaining works will be required to the boundary walls. The remaining area of garden will have sloped planting beds with a mixture of hard and soft landscaping and replacement boundary treatments.

7. Changes to the Front Elevation

It is proposed to replace all the existing windows with slim-line double glazed sash windows which will retain the traditional aesthetic while increasing the thermal and acoustic performance of the property. Glazed windows and doors on the lower and ground floor will contain bandit-proof glass. A new roof light will be installed on the front roof slope. All glass will be solar control to minimise heat gain into the property.

The front door and the door into the lower ground floor (from the front garden) will be replaced with traditional designs in keeping with the period of the property, but with slim line double glazing and bandit-proof glass.

8. Front Roof Terrace

The roof will be rebuilt and finished in slate. The property already has a roof terrace on the front elevation which extends across approximately half the width of the house. Other houses on the street have a range of front roof treatments including dormer windows and full width terraces.

The existing width of the roof terrace will be retained although the height of the railings will be raised to 1.1m to be building control compliant.

The position of the doors accessing the terrace has been revised by approximately 300mm and the sloped glazing in front of the chimney breast cut back so that the arrangement becomes orthogonal. However, due to the angle of viewing these are not visible from the street.

All glazing from the 3F onto the terrace will be replaced. A new rooflight is also proposed on the front roof slope.

9. Changes to the Front Garden, Steps and Boundary Wall

It is proposed to refurbish and upgrade the existing front garden with high quality materials including new paving and black painted metal railings and a gate from the pavement, in a similar style to that recently approved and installed at no.20.

A bin store has been incorporated into the designs underneath the existing front steps.

A new planter is proposed to add vegetation and greenery into the garden. Underneath the planter storage will be provided, along with a zone to incorporate a parcel safe.

The door from the light well into the lower ground floor will be replaced with a high quality door, appropriate to the period of the house. The door to access the under steps bin store (old coal store) will be replaced and the opening widened to allow modern bins to be easily wheeled in and out, meaning they can be concealed from view.

The steps up to the front door appear to have been covered with a modern asphalt material which will be removed and

replaced with stone. Traditional railings and a handrail are proposed to sit on top of the low wall up to the front door, to provide protection from falling. It is proposed to raise the height of one of the piers on the boundary to allow for the new handrail to finish against it.

The boundary wall onto the pavement will be rebuilt in brickwork and black painted, traditional railings will sit on top, in a similar style to those of no.20. The existing render will be removed from the wall enclosing the steps up to the front door. Depending on the condition of the bricks underneath the render, they will be restored or replaced.

The upgrades seek to return the front garden and steps to what may have been its original aesthetic, as well as improving safety. It is suggested that these changes would have a positive impact on the wider conservation area. The materials being considered for the paving and steps include: York Stone, Portland Stone, Sandstone and decorative Victorian tiles.

CCTV will be installed by the front door and in the light well area and upgrades made to the existing lighting.

10. Cleaning of Brickwork and External materials

All the external brickwork would be cleaned and rendered elements repaired and repainted. All rainwater goods will be replaced with like-for-like materials.

11. Internal Alterations and Refurbishment

The property will be refurbished throughout including some reconfiguration. The changes are described in the accompanying plans.

Layout:

Layout changes are described in the accompanying drawings. The addition of the lower ground floor extension will add approximately 9.5m2 to the footprint of the house.

Scale:

The scale of the original building will remain unchanged and the single storey rear extension has been designed as a sympathetic addition. The new dormer window is modest in scale, sitting well below the ridge height and is less than half the width of the existing roof.

Landscaping:

A separate landscape design statement has been included as part of the application.

Appearance:

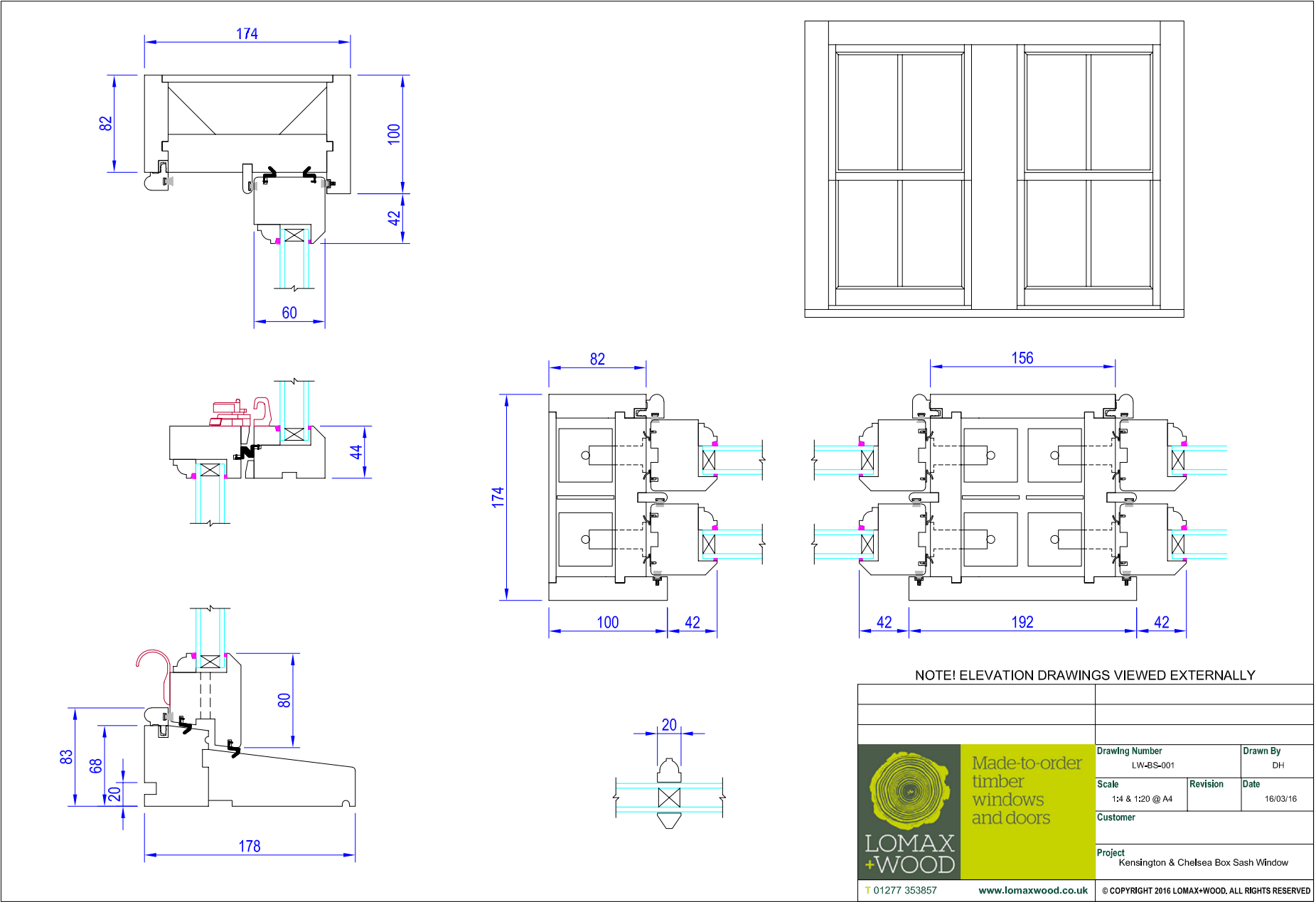
The lower ground floor extension will be built in brickwork to match the existing property. On the rear elevation the new doors and window in the extension are proposed as modern in style, as well as the proposed window on the GF of the closet wing. All other existing sash windows will be replaced with slimline double glazed units with traditional detailing such as that shown on the adjacent data sheet.

Use:

The existing property is a single family dwelling house. No change of use is proposed.

Access:

Access in and around the site will be unchanged.





front elevation of neighbouring properties showing various treatments of the front roof slope



front elevation of no.24 (neighbour) with terrace and dormer window, along with front elevation of no.22



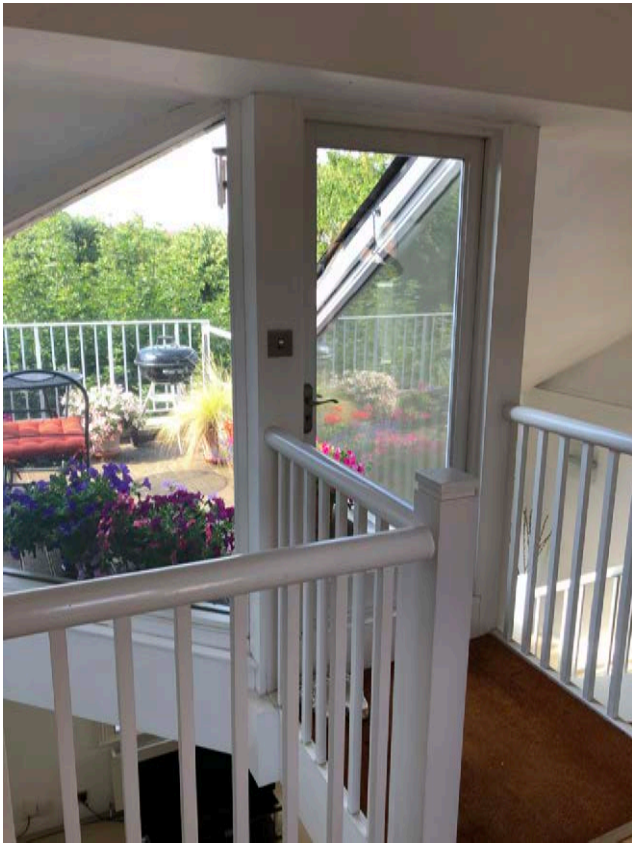
front elevation of no.22 with railings to terrace visible at roof level



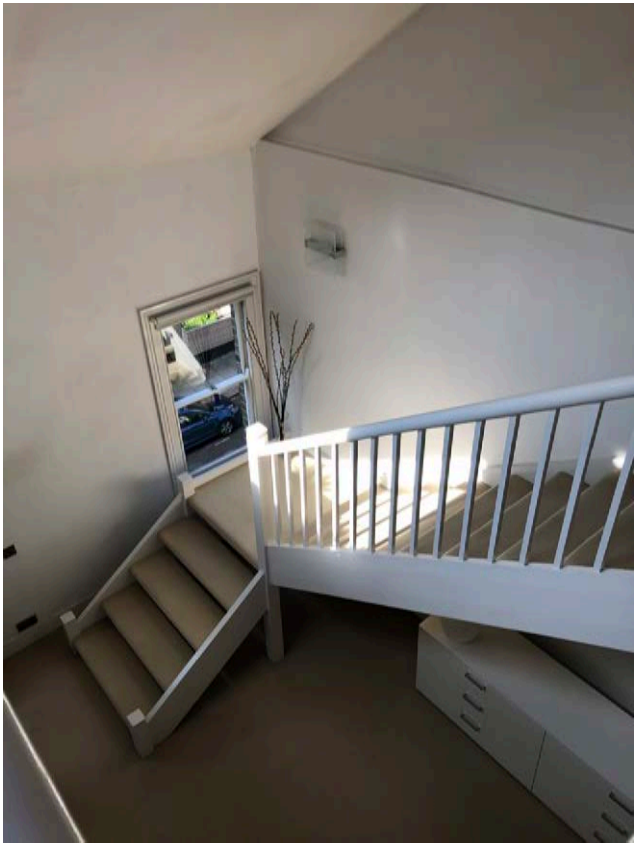
roof terrace of no.22



access to roof terrace from 3F



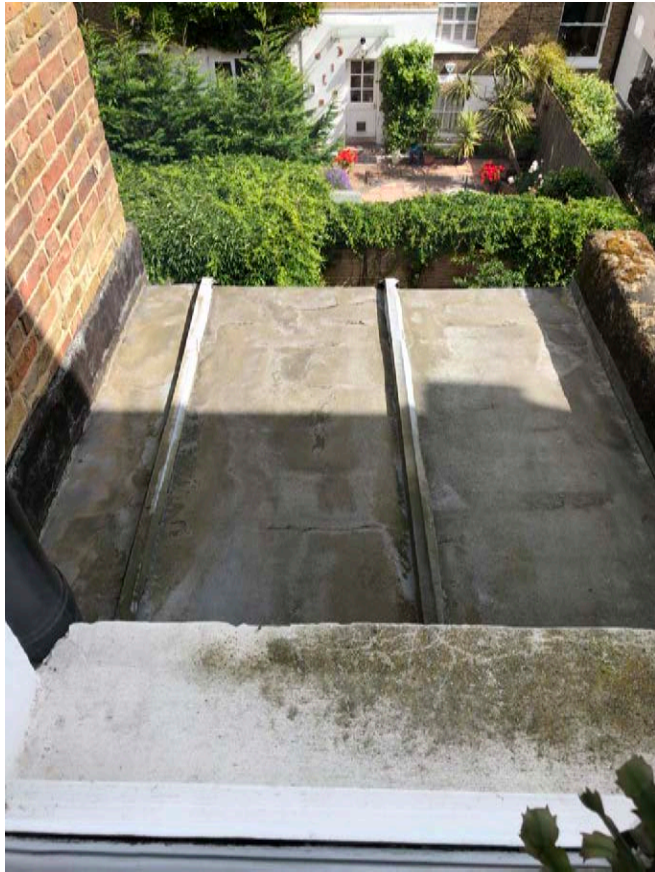
access to roof terrace from 3F



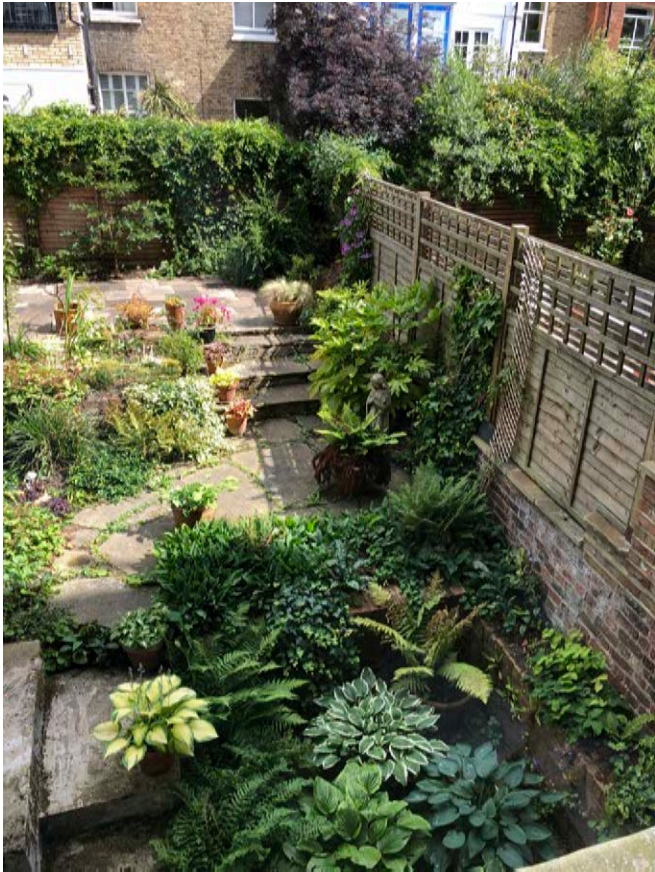
stair from 2F to 3F



rooflights on rear elevation / 3F shower room



roof of closet wing



view of rear garden from the closet wing



view of boundary with no.20



view from GF rear window



upper level of rear garden



access from the closet wing to the garden via steps



closet wing of no. 22 and no.24



rear elevation



rear elevation showing existing large GF sash windows and smaller LGF sash windows



boundary with no.20, including privacy screen



view from the upper level of the rear garden



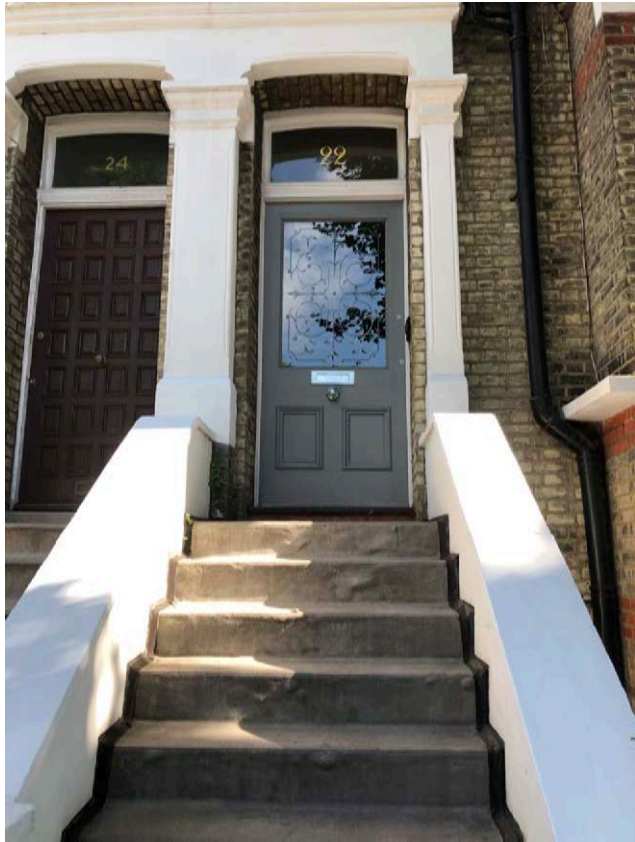
upper level of the rear garden



fence on rear boundary



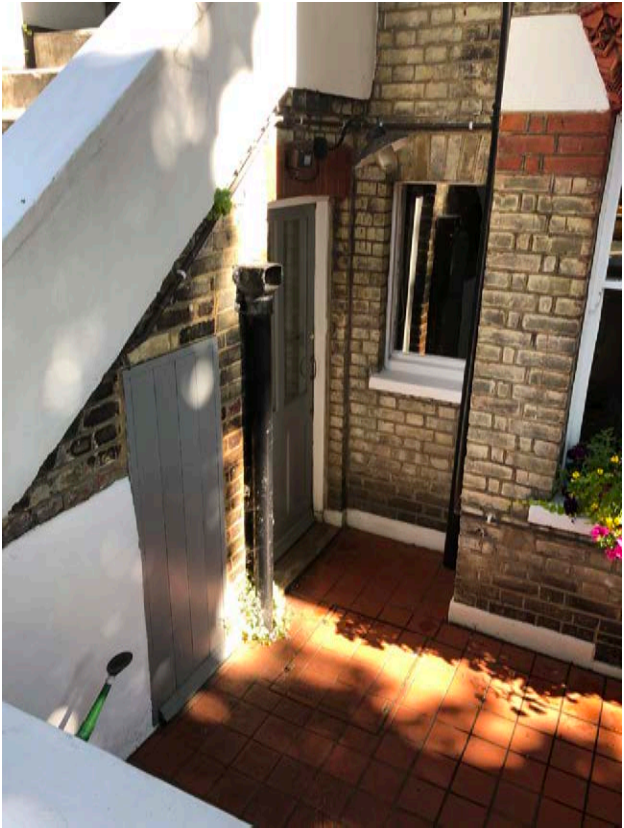
privacy screen to boundary with no.20



steps up to front door



rendered front wall and piers



access from front garden to LGF, storage under front steps



front garden with terracotta tiles



steps from pavement level to front garden



steps from pavement level to front garden