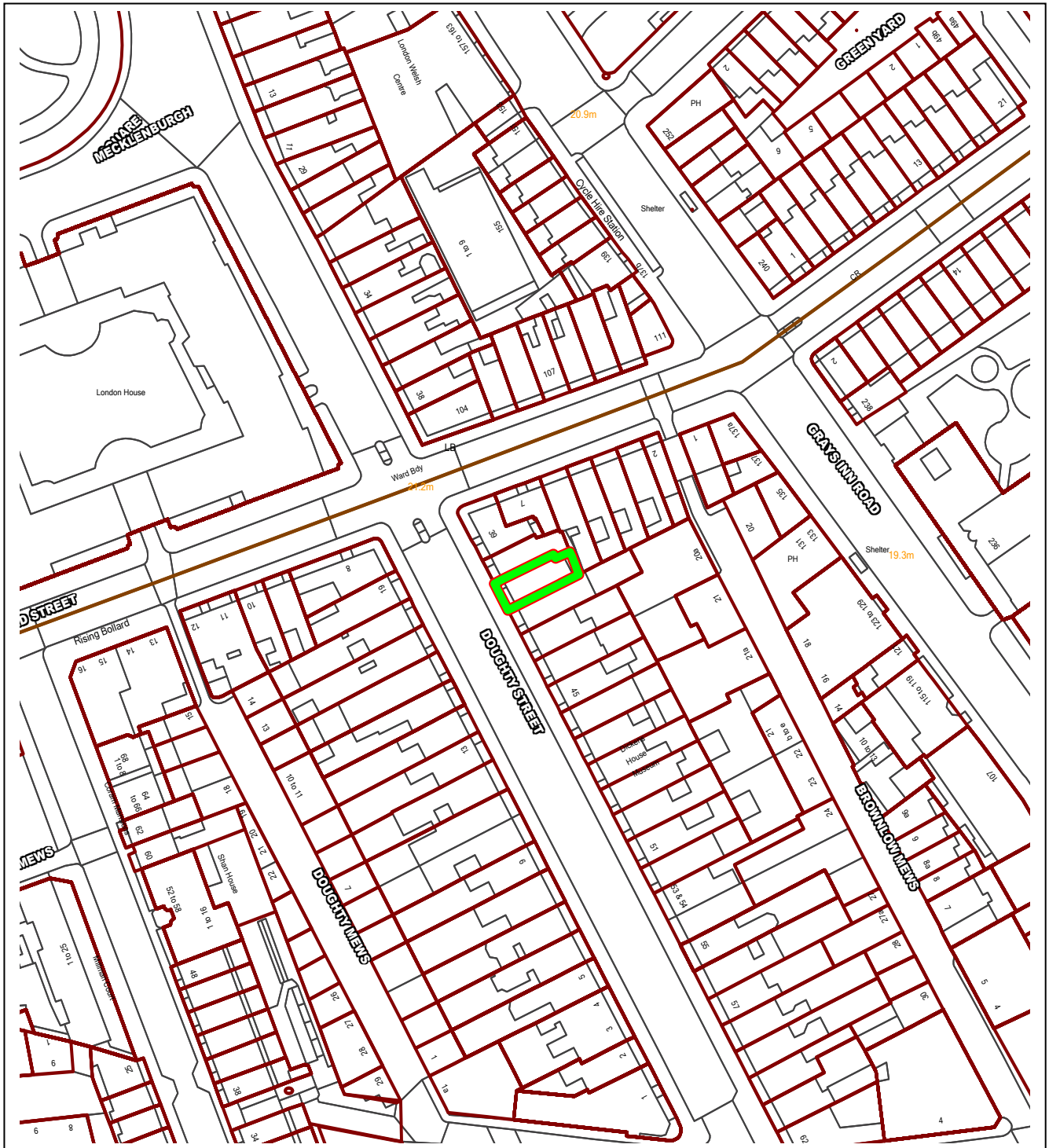


2022/3236/P and 2022/3928/L – 41 Doughty Street



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Application site (red door)



Proposed front elevation



Other examples of railings on street



Other examples of railings on street

Delegated Report		Analysis sheet		Expiry Date:	22/09/2022
(Member's Briefing)		N/A		Consultation Expiry Date:	07/11/2022
Officer			Application Number(s)		
Kristina Smith			1. 2022/3236/P 2. 2022/3928/L		
Application Address			Drawing Numbers		
41 Doughty Street London Camden WC1N 2LF			Refer to Draft Decision Notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Installation of wrought iron balustrades to front windows at first floor level					
Recommendation(s):		1. Grant Conditional Planning Permission 2. Grant Conditional Listed Building Consent			
Application Type:		1. Householder Application 2. Listed Building Consent			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Adjoining Occupiers:	No. of responses	00	No. of objections	00
Summary of consultation responses:	<ul style="list-style-type: none">A site notice was displayed on 16/09/2022 (expiry 16/10/2022)A press advert was published on 16/09/2022 (expiry 10/10/2022) <p>No responses received</p>			
Bloomsbury CAAC	<p><u>The Bloomsbury Conservation Area Advisory Committee (CAAC) object to the application on the following grounds:</u></p> <p>The application site is Grade II listed and situated within the Bloomsbury Conservation Area (CA). The preserved terrace facades on this street are of high architectural and historic significance. Alterations to the facades of these buildings, in general, should not be permitted unless there is some element of restoration or conservation involved. This is because alterations which obscure or alter the historic appearance of these buildings would erode significance and fall under harm as defined under the NPPF 2021. Applications which cause harm to heritage assets should be refused unless there is some public benefit offered (also NPPF 2021) which outweighs this harm. In this case there is not.</p> <p>In layman terms, the addition of steel railings would change the preserved appearance of this terrace, which is unacceptable. Even if the railings were designed to replicate an historic example on the street, it is far preferable to retain the authentic historic appearance of a building, than attempt to add modern, yet apparently traditional, elements to its appearance</p>			

Site Description

The site is a three storey (plus basement and mansard) grade-II-listed townhouse of 1792 making a positive contribution to the Bloomsbury Conservation Area. It is located on the eastern side of Doughty Street close to the junction with Guilford Street.

Relevant History

2018/1227/P and 2018/1684/L - Erection of part two, part three storey rear extension with terraces at ground and first floor levels following demolition of existing 3 storey rear extension; various external works including reconfiguration of front dormer, alterations to front and rear fenestration and installation of 2no.rooflights; lowering of internal lower ground floor level. **Granted 24/08/2018**

2010/6055/P - Change of use of basement, ground and first floor levels from offices (Class B1) and maisonette on second and third floor to create a single residential dwelling (Class C3). **Granted 10/01/2011**

Relevant policies

National Planning Policy Framework (2021)

London Plan 2021

Camden Local Plan 2017

A1 Managing the impact of development

D1 Design

D2 Heritage

Camden Planning Guidance

CPG Design 2021

CPG Amenity 2021

Bloomsbury Conservation Area appraisal and management strategy (2011)

Assessment

1.0 Proposal

- 1.1 The applicant seeks permission for the installation of black wrought iron railings at first floor level to accommodate window box planters.
- 1.2 Since the application was received, revisions have been made to remove railings initially proposed at second floor level to the front and to the rear. Amendments have also been made to the material and fixing method.

2.0 Assessment

2.1 The main planning considerations in the assessment of this application are:

- Design and conservation
- Amenity

3.0 Statutory provisions

3.1 Special regard has been attached to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses, under s.66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory

Reform Act 2013.

3.2 Special regard has been attached to the desirability of preserving the listed building and its features of special architectural or historic interest, under s.16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013

3.3 Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

4.0 Design and impact on conservation area

4.1 Of the 24 buildings that make up the eastern Doughty Street terrace between Guilford Street and Roger Street junctions, 10 other properties include railings at first floor level (and some at second floor). The proposal would therefore not be introducing an incongruous feature. There is no typical design to the existing railings with various patterns and designs evident, but they are all black metal construction and of a similar height.

4.2 The material has been revised from sprayed zinc to wrought ironwork and the method of attachment from being attached to the inner window reveals to being set into pockets in the masonry. This would be suitably traditional and fitting for the host building.

4.3 Given the minor nature of the proposal and the fact it would be in-keeping with other properties on the street, the special interest of the building would be preserved. The character and appearance of Bloomsbury Conservation Area would also be preserved.

5.0 Amenity

5.1. There are no amenity considerations associated with the proposal.

6.0 Conclusion

6.1 Grant conditional planning permission and conditional listed building consent

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 21st November 2022, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2022/3236/P
Contact: Kristina Smith
Tel: 020 7974 4986
Email: Kristina.Smith@camden.gov.uk
Date: 15 November 2022

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk

Mr Andrew Love
41 Doughty Street
London
WC1N 2LF
United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
41 Doughty Street
London
Camden
WC1N 2LF

DECISION

Proposal:
Installation of wrought iron balustrades to front windows at first floor level

Drawing Nos: 101A; 102A; Location plan

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: 101A; 102A; Location plan

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

Yours faithfully

Chief Planning Officer

Application ref: 2022/3928/L
Contact: Kristina Smith
Tel: 020 7974 4986
Email: Kristina.Smith@camden.gov.uk
Date: 15 November 2022

Development Management
Regeneration and Planning
London Borough of Camden
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Phone: 020 7974 4444
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www.camden.gov.uk

Mr Andrew Love
41 Doughty Street
London
WC1N 2LF
United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
41 Doughty Street
London
Camden
WC1N 2LF

DECISION

Proposal:
Installation of wrought iron balustrades to front windows at first floor level

Drawing Nos: 101A; 102A; Location plan

The Council has considered your application and decided to grant subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: 101A; 102A; Location plan

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 3 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

Informative(s):

- 1 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy Building Regulations or Fire Certification may require a further application for listed building consent.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer