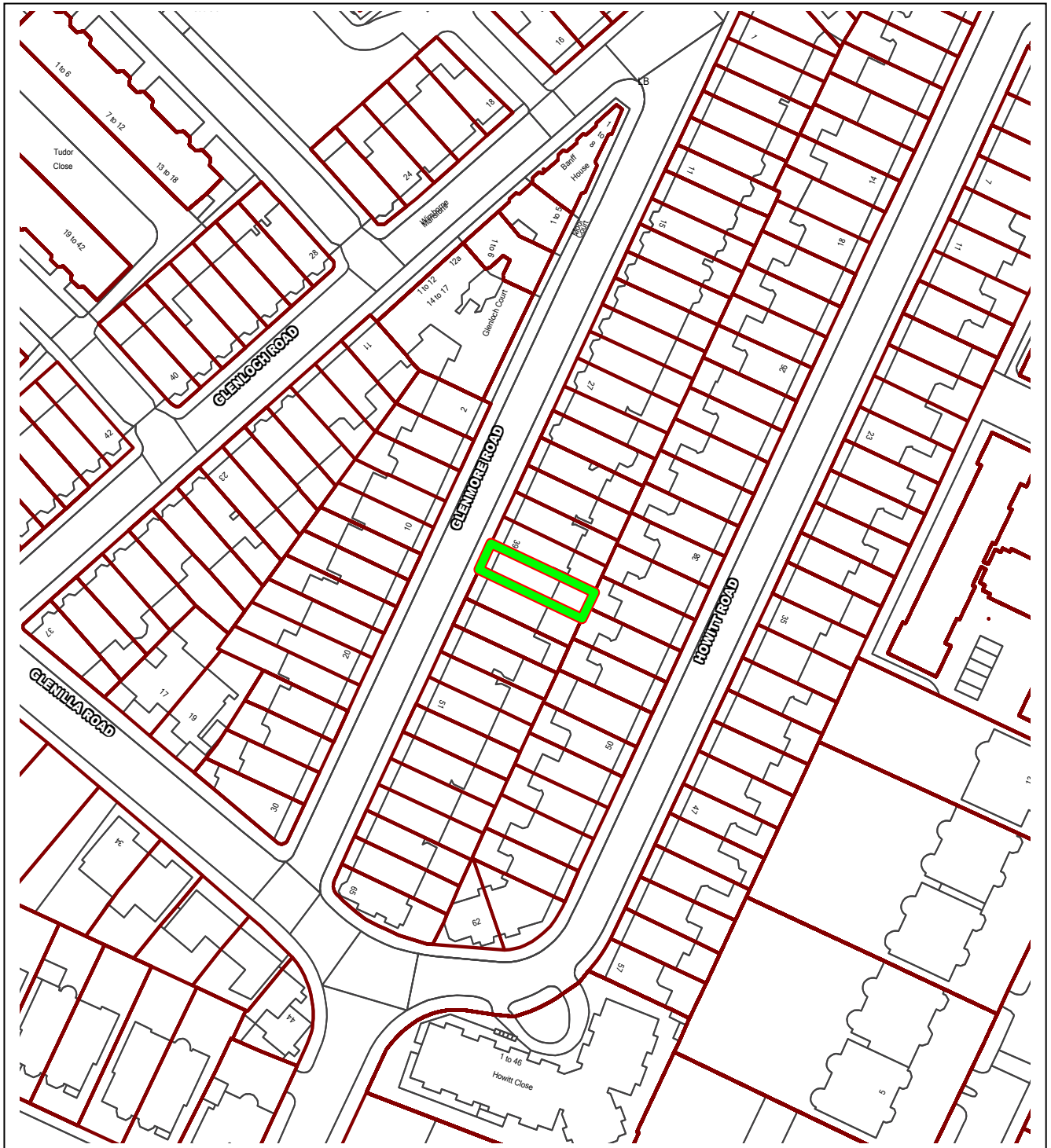


41 Glenmore Road, NW3 4DA
Ref. 2022/2081/P –



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Image 1 (above): Aerial view

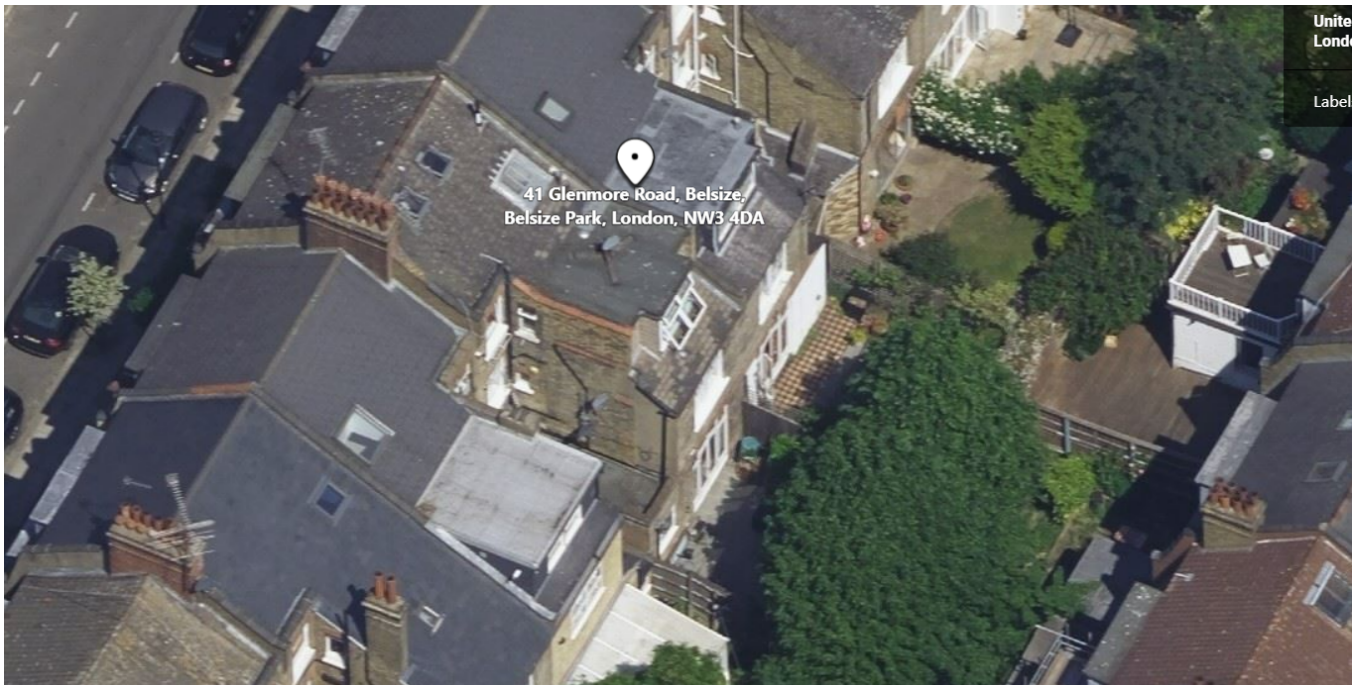


Image 2 (above): Aerial view



Image 3 (above): Front elevation



Picture 3: Rear elevation

Image 4 (above): Applicant's photos of rear elevation



Picture 4: Rear elevation & adjacent No39

Image 5 (above): Applicant's photos of rear elevation



Picture 5: Rear elevation & adjacent No39

Images 5 and 6 (above): Applicant's photos of rear elevation



Picture 7: Rear garden & fence with adjacent No39

Images 7 and 8 (above): Applicant's photos of neighbouring garden

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	08/07/2022
		N/A / attached		Consultation Expiry Date:	08/08/2022
Officer				Application Number(s)	
Leela Muthoora				2022/2081/P	
Application Address				Drawing Numbers	
Flat 1, 41 Glenmore Road London NW3 4DA				See draft decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Erection of ground floor rear infill extension.					
Recommendation:		Grant conditional planning permission			
Application Type:		Full Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Summary of consultation:	<p>The site notices were displayed near to the site and to the rear of the site outside 42/44 Howitt Road on the 29/06/2022 (consultation end date 23/07/2022). Then re-displayed following revisions on 15/07/2022 (consultation end date 08/08/2022).</p> <p>The development was also advertised in the local press on the 30/06/2022 (consultation end date 08/08/2022).</p>			
Adjoining Occupiers:	No. of responses	02	No. of objections	02
Summary of consultation responses:	<p>Letters of objection were submitted from the owners/occupiers of 39 Glenmore Road. Their objection comment can be summarised as follows (it is noted that the amended drawings overcame the majority of the objections, apart from the drainage):</p> <ol style="list-style-type: none"> 1) Drainage - concern about overflows of rainwater with proposed flat roof, and ingress into property. Compounded by existing issues of overflowing gutters, concerned the drainage shown would be insufficient. 2) Security - concern that intruder would be able to climb the roof into property. 3) Privacy - any proposed roof terrace to the extension would result in loss of privacy. An approval should include a condition to say that must not be used as roof terrace/amenity space. 4) Line of junction - It is unclear where the flank wall of the extension is proposed. Object to it being on the boundary between the two houses. Applicant stated the flank wall would be 10 cm from the existing boundary, but this is unclear on plans. A timber fence is preferred and should be replaced like-for-like. 5) Potential light pollution - object to light spill from any proposed roof lights 6) Loss of light - unclear whether extension, due to its size and height, would have an impact on daylight to our property; a light study is recommended. <p><u>Officer's response:</u></p> <ol style="list-style-type: none"> 1) <i>Drainage issues fall within Building Regulations and the Party Wall process. In the specific circumstances of this proposal, they are not considered to be a material planning consideration, and are covered by other processes/legislation. Notwithstanding this, the applicant has stated that the extension would have internal drainage and rear drainage channels, as shown on drawing numbers 021 and 023.</i> 2) <i>There is no access from the public realm to the rear garden. Due to the existing brick boundary wall and rear elevation. Therefore, the</i> 			

proposal would not materially increase the potential for intruders to any greater extent than the existing arrangement.

3) The flat roof is not proposed to be used as a terrace. Therefore, the extension would not result in any material losses of privacy. Any approval would include a condition to say that no part of the flat roof shall be used as a terrace/external amenity space.

4) The height of the extension at the neighbouring boundary with number 39 Glenmore Road is considered acceptable given the existing extension and rear building line. The flank wall would increase by 0.5m above the existing boundary fence height of 2m and sits below the existing boundary wall height of 3m, as viewed from the neighbouring property.

The applicant has confirmed the flank wall of the infill extension would not sit astride or up to the boundary of 39 Glenmore Road. Due to the existing wall between the properties, the flank wall would be built slightly offset from the boundary.

5) The replacements rooflights are smaller in area than the existing glazed roof. The rooflight nearest the rear building line includes opaque glazing and the additional rooflight above the kitchen includes blinds. Therefore, the proposal would be unlikely to result in any material increase of impacts to the amenity of neighbouring occupiers in terms of loss of privacy or light spill.

6) Revisions to the proposals led to a reduced depth. The resulting infill extension would have an increased height of 0.5m and project no further than the existing rear elevation. As a result, it would not result in a material loss of light to neighbouring windows.

As stated above – following revisions to the proposal, the neighbour's objections were withdrawn in writing, except for the concerns regarding drainage.

Belsize CAAC

A letter of objection was received on behalf of the Belsize CAAC (Conservation Area Advisory Committee). The revised plans were shared with the CAAC but they confirmed their objections still stand. Their comments were as follows:

- The proposed rear extension is too high on the boundary wall and extends too far into the garden.
- Light from the roof lights will be intrusive to neighbours.
- Object to the use of aluminium windows and doors in the Conservation Area.
- The design of the front trellis to the street is very common place and out of character with the existing architecture.

Officer's response:

- *Following discussions with the applicant, the depth of the extension has been reduced to sit within the rear building line.*
- *Following a reduction in the depth of the proposed extension, the height of the extension at the neighbouring boundary with number 39 Glenmore Road is considered acceptable given the existing extension and rear building line. The flank wall would increase by 0.5m above the existing boundary fence height of 2m and sits below the existing boundary wall height of 3m, as viewed from the neighbouring property.*
- *The long rooflight (3m x 0.6m) has been removed from the revised proposals. The replacement roof light closest to the rear building line would be angled towards the application site and opaque glazed. The nearest window serves the rear bedroom of the application site. The nearest window to the upper floor flat is approximately 2.5m above. Therefore, any potential light spill would not result in detrimental impact to any materially greater extent than the existing arrangement.*
- *Timber windows are proposed, as stated on revised drawing number 023. The revisions propose a smaller window than originally proposed.*
- *Following discussions with the applicant, the front trellis has been removed from the proposal.*

Site Description

The application site is a two-storey plus mansard (attic) house within the Belsize Conservation Area.

The building is characteristic of the local area, and with the rest of the street, identified as making a positive contribution to the Belsize Conservation Area by the Belsize Conservation Area Statement (2002). The site is also covered by an Article 4 direction which removes permitted development rights.

The site is currently sub-divided into three flats and the proposal relates to the ground floor flat.

There are no trees protected by Tree Preservation Orders within the application site.

Relevant History

The planning history for the application site can be summarised as follows:

Application ref	Development Description	Decision & Date
2020/5110/P Flat 1	Erection of a single storey outbuilding	Granted 17/08/2021
8803936 Flat 3	Erection of a roof extension and balcony to form a third floor. <u>Reason for refusal.</u> The proposed roof extension would have an adverse effect on the appearance of the building and the visual amenity of the area, and would be contrary to the Council's policy for the control of additions at roof level within the Belsize Park Conservation Area.	Refused 24/08/1988
8703118	Construction of an enlarged dormer window at the rear	Granted 04/05/1988
15697	Conversion into 3 self-contained flats.	Conditional 18/04/1973
12825	Conversion into 4 self-contained flats.	Conditional 15/06/1972

Relevant policies

National Planning Policy Framework (2021)

The London Plan (2021)

Camden Local Plan (2017)

- **A1** - Managing the impact of development
- **D1** - Design
- **D2** - Heritage

Camden Planning Guidance:

- Amenity CPG (January 2021)
- Design CPG (January 2021)
- Home improvements (January 2021)

Conservation Statements:

- **Belsize Conservation Area Statement (2002)**

Assessment

1. The proposal

1.1. Planning permission is sought for a rear infill extension at ground floor level. It would measure approximately 1.9m wide by 3m high and 5.5m deep to match the existing rear building line and include two rooflights of approximately 1.3sqm and 0.5sqm.

2. Revisions

2.1. Revisions to the proposed scheme were requested to appease concerns raised by officers. They can be summarised as follows:

- The rear element of the extension has been removed reducing the extension from approximately 8.5m to 5.5m, an addition of approximately 3m from the existing rear extension.
- The long rooflight (measuring 3m x 0.6m) has been removed.
- The installation of a timber trellis to the front boundary wall has been removed.
- The rooflights and window to the rear elevation of the extension have been reduced in size.

2.2. The revisions made to the scheme did not materially affect the scheme (impacts were reduced) and as such were accepted as amendments under the ongoing application.

3. Assessment

3.1. The principal considerations material to the determination of this application are as follows:

- The visual impact upon the character and appearance of the host property, streetscene, local area and the Belsize Conservation Area (Design and Conservation)
- The impacts caused upon the residential amenities of any neighbouring occupier (Residential Amenity)

4. Design and Conservation

4.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.

4.2. The Belsize Conservation Area Statement (2002) advises that 'Extensions and conservatories can alter the balance and harmony of a property or of a group of properties by insensitive scale, design, or inappropriate materials. Rear extensions should be as unobtrusive as possible and should not adversely affect the character of the building or the Conservation Area' (BE22). And that 'Extensions should be in harmony with the original form and character of the house and the historic pattern of extensions within the terrace or group of buildings.' (BE23)

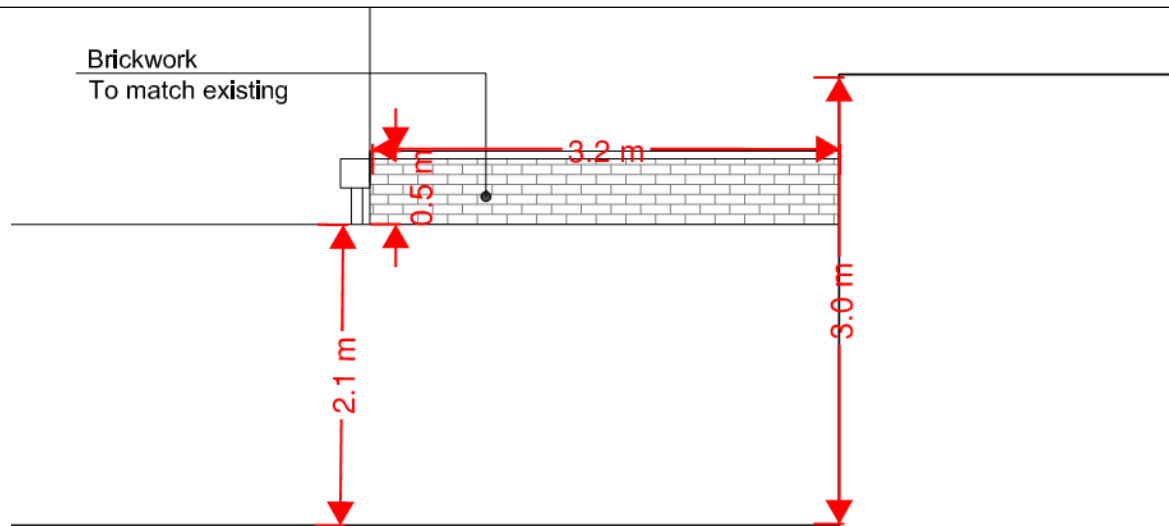
4.3. Following submission of revised plans as set out above in paragraph 1.2, the proposed single storey infill extension to the rear ground floor level would be subordinate in scale and location to the host building. The existing extensions consist of a glazed lean-to addition to the rear elevation and a small brick extension to the side return, resulting in an awkward arrangement with less than 1m to the neighbouring boundary with number 39 Glenmore Road. Following demolition, the proposal seeks to consolidate these additions by infilling between the rear elevation and boundary but projecting no further than the existing rear building line. As a result, the proposal would respect the original design and proportions of the building and preserves the character and setting

of neighbouring buildings.

- 4.4. The application site and its neighbours have modest rear gardens with short distances between the rear elevations of Glenmore Road (odd numbers) and Howitt Road (even numbers). At approximately 1.9m wide by 3m high, and an additional 3m deep (to a maximum of 5.5m deep), the extension would respect the established pattern and rhythm of rear extensions at neighbouring sites. It would not be visually prominent from within the public realm and would allow for the retention of a reasonably sized garden. As a result, it would preserve the character and appearance of the conservation area.
- 4.5. The materials are sympathetic to the existing building, constructed in brick, with the rooflights set beneath the extension parapet. The new 'picture' window would be timber framed and while it differs in type to the upper elevations, given its location and visibility it would be read as a part of the modern addition and would preserve the character and appearance of the host building and Conservation Area.
- 4.6. Whilst the development results in a full width extension, the host building has limited space within the garden to extend and the proposal seeks to reconfigure/improve the less successful additions. There are extensions of similar depth and width along the rear of the terrace on this side of the street, and the proposed extension would be an appropriate height forming boundary walls with the adjacent property. As a result, it would preserve the character and appearance of the conservation area.
- 4.7. Subject to the recommended conditions, it is considered that the proposed extension would not cause a detrimental impact upon the character and appearance of the host property and would preserve the character and appearance of the conservation area. Considerable importance and weight has been attached to the harm and special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

5. Residential Amenity

- 5.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, odour and fumes as well as impacts caused from the construction phase of development. Policy A4 seeks to ensure that residents are not adversely impacted upon by virtue of noise or vibrations.
- 5.2. Due to its location adjacent to the neighbouring site at number 39 Glenmore Road, the proposal has been considered in terms of its impact on the residential amenity of this property. The existing glazed extension forms a partial boundary (retaining) wall of approximately 3m in height closest to the rear elevation. The remaining boundary is delineated by a fence approximately 2m in height. The difference in ground level between the application site and neighbouring site is approximately 0.5m. The height of the flank wall of the proposed extension would increase this boundary by approximately 0.5m in height and 3.2m in length above the existing boundary fence, (as viewed from the neighbouring property), extending to the existing rear building line. The extension closest to the rear elevation would not be visually prominent, set behind the existing boundary wall. See the detail below, extracted from drawing number 026 Rev J.



5.3. The adjacent site also has a small extension to the side return within approximately 1m of the boundary. Given the existing arrangement does not comply with the 45-degree test as set out in CPG (Camden Planning Guidance) Amenity and BRE (Building Research Establishment) guidance, the proposal is considered acceptable in terms of impact on daylight and sunlight as it would be an appropriate depth and height to the existing boundary wall.

5.4. The reduced depth of the extension requires smaller rooflights. The replacement roof light adjacent to the rear building line would be angled towards the application site and opaque glazed. The nearest window serves the rear bedroom of the application site. This is a crucial light source to that bedroom. The nearest window to the upper floor flat is approximately 2.5m above. Therefore, any potential light spill is not considered to impact to any greater detriment than the existing arrangement.

5.5. The new window to the rear elevation would be approximately 13.5m distance from the nearest neighbour to the rear which is separated by a boundary wall at approximately 7.5m. This elevation includes double patio doors, as a result, and there would be no increase in potential overlooking than the existing arrangement.

5.6. Subject to conditions, the proposed development is not considered to lead to a significant impact upon the amenities of any neighbouring resident. The development is thus considered to be in accordance with planning policies A1 and A4.

6. Recommendation

6.1. Grant conditional Planning Permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 14th November 2022, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2022/2081/P
Contact: Leela Muthoora
Tel: 020 7974 2506
Email: Leela.Muthoora@camden.gov.uk
Date: 8 November 2022

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

V&V Architects
Flat 1C
85 Mayow Road
London
SE26 4AA

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Flat 1
41 Glenmore Road
London
NW3 4DA

DECISION

Proposal:

Erection of ground floor rear infill extension.

Drawing Nos: Design and Access Statement (April 2022), 001 Rev B, 002 Rev A, 003 Rev A, 004 Rev A, 005 Rev A, 006 Rev A, 007 Rev A, 020 Rev K, 021 Rev J, 022 Rev J, 023 Rev J, 024 Rev J, 025 Rev J, 026 Rev J

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans - Design and Access Statement (April 2022), 001 Rev B,

002 Rev A, 003 Rev A, 004 Rev A, 005 Rev A, 006 Rev A, 007 Rev A, 020 Rev K, 021 Rev J, 022 Rev J, 023 Rev J, 024 Rev J, 025 Rev J, 026 Rev J.

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 The glazed roof element in the roof of the single storey rear extension hereby approved shall be opaque glazed in accordance with the approved drawing 021 Rev J, and such glazing shall be permanently retained and maintained thereafter.

Reason: In order to prevent unreasonable light pollution to neighbouring premises in accordance with the requirements of policy A1 of the London Borough of Camden Local Plan 2017.

- 5 The roof of the extension hereby permitted shall only be used in connection with the repair and maintenance of the extension and at no time be used as an amenity or sitting out area.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy A1 of the London Borough of Camden Local Plan 2017.

DRAFT
DECISION

Informative(s):

- 1 Reasons for granting permission.

The proposed development is in general accordance with the London Borough of Camden Local Plan 2017, with particular regard to policies A1, D1, and D2. For a more detailed understanding of the reasons for the granting of this planning permission, please refer to the officer report.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).

- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 4 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 5 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>

Yours faithfully

Chief Planning Officer